

Draft Central District Specific Plan

Preliminary Development Standards
19 November, 2020



DRAFT



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Note: This Draft Central District Specific Plan document is intended for public review at the Our Pasadena Public Workshops - Round Three (Virtual Open House). This document includes draft content for the three chapters of the Specific Plan that introduce new regulations, standards, and guidelines for development; this draft does not include introductory and administrative chapters, policies, definitions, or appendices. The draft standards presented in this document are informed by multiple stages of prior community input and extensive technical analysis. This document is made public for the purpose of receiving further community feedback, and contents are subject to change.

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LAND USE

IMPORTANCE

The Land Use and Zoning regulations in this chapter are intended to guide development and Land Use decision-making to achieve the Central District Specific Plan Vision. Permitted uses are intended to foster a pedestrian-oriented setting that supports a robust commercial corridor with active uses and destinations for residents, students, and transit users.

Land Use regulations are tools that can be used to maintain the character of a particular neighborhood, or to guide a neighborhood's evolution toward a character that better supports residents, businesses and employees, and visitors. While broader land use categories are assigned in the General Plan, the Specific Plan establishes a detailed list of allowed land use categories and the permit requirements or limitations for each zoning district within the Specific Plan Area.

CHAPTER OVERVIEW

The Land Use chapter includes a discussion and map on allowed land uses (simplified into residential, commercial, and mixed uses) as they apply to the Specific Plan Area in general, as well as ground floor spaces. Following the land use section, this chapter covers designated zoning districts with a map followed by a detailed table indicating which land uses are allowed within each zoning district of the Specific Plan area. Certain uses may be subject to special conditions or permitting, requiring an application and approval process determining whether the proposed use is permitted, conditionally permitted, prohibited, or allowed as a temporary use.

- » **4.1 Land Use.** Introduces allowed uses and ground floor location requirements for commercial/residential mixed-use areas.
- » **4.2 Zoning Districts.** Introduces the Central District Specific Plan zoning districts, identified as unique areas in need of tailored standards. Introduces allowed uses and permit requirements by zoning district.

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Commercial Use



Residential Use



Mixed Use

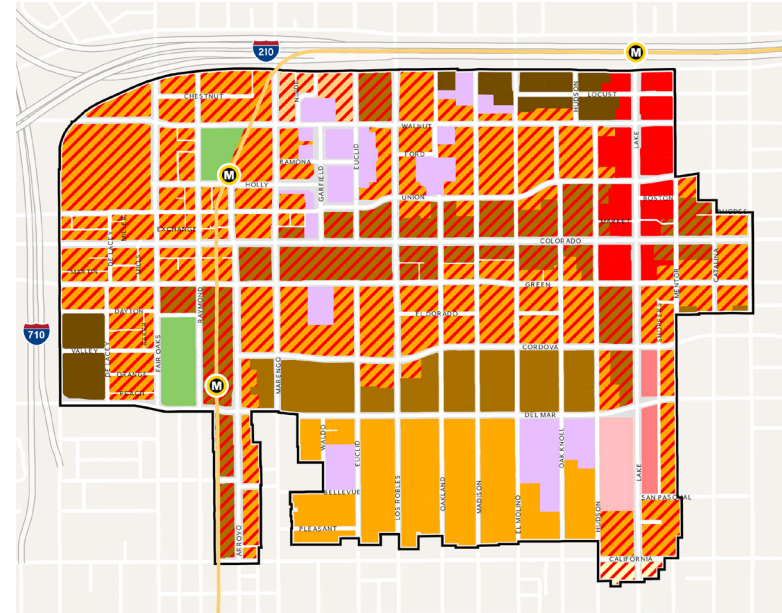
4.1 LAND USE

The broad land use classifications established by the General Plan shown in Map 4.1-1 provide a framework for use permissions in Central District and can be organized into the following general use categories as shown in Map 4.1-2:













- » **Residential** supports a diversity of living environments and choices, both ownership and rental, for Pasadena's residential. Neighborhoods such as the City Garden and Locust Street areas are examples in Central District.



Map 4.1-1: Central District General Plan Land Use



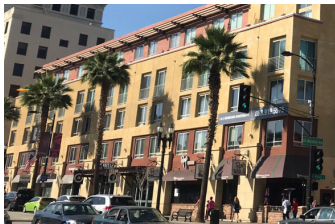
General Plan Land Uses

 Low Mixed	 Medium-High Residential
 Low-Medium Mixed	 High Residential
 Medium Mixed	 Urban Housing
 High Mixed	 Institutional
 Low Commercial	 Open Space
 Medium Commercial	
 High Commercial	

- » **Commercial** accommodates a variety of uses including retail shopping, personal and financial services, offices, dining, entertainment, and similar uses. Residential is prohibited in commercial land use classifications. Examples include S. Lake Avenue, north of Green and between Cordova and San Pasqual Streets.



- » **Mixed-Use** allows a combination of housing with commercial uses to enable residents to live close to where they work, shop and recreate. Mixed-Use may consist of a mix of housing types horizontally distributed within a district, block, or parcel or housing built above commercial, for example.



- » **Open Space** provides active and passive recreational opportunities for Pasadena's residents, as well as the preservation and maintenance of undeveloped lands and natural areas. Open spaces in Central District includes Central Park and Memorial Park.



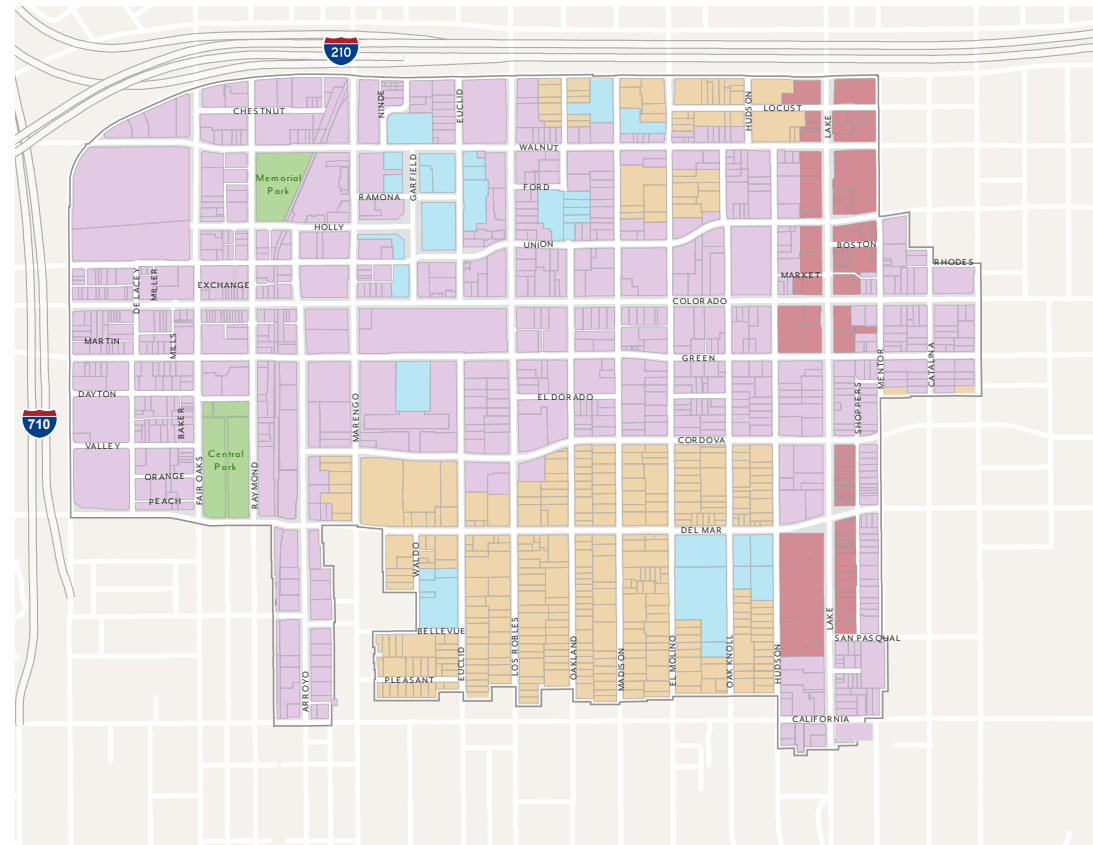
- » **Institutional** is characterized by city facilities, such as Pasadena City Hall and the Pasadena Convention Center.



Map 4.1-2: Land Uses

LAND USES

Within most land use categories, the General Plan designates a spectrum of low-to-high classifications, allowing a range of densities and intensities based on location-specific appropriateness. For example, within the Mixed-Use category, shown in purple in Map 4.1-2, the General Plan has designated distinct areas as low, low-medium, medium and high mixed-use with associated densities, intensities, and limitations on the mix of uses, as shown in Map 4.1-1.



Land Uses

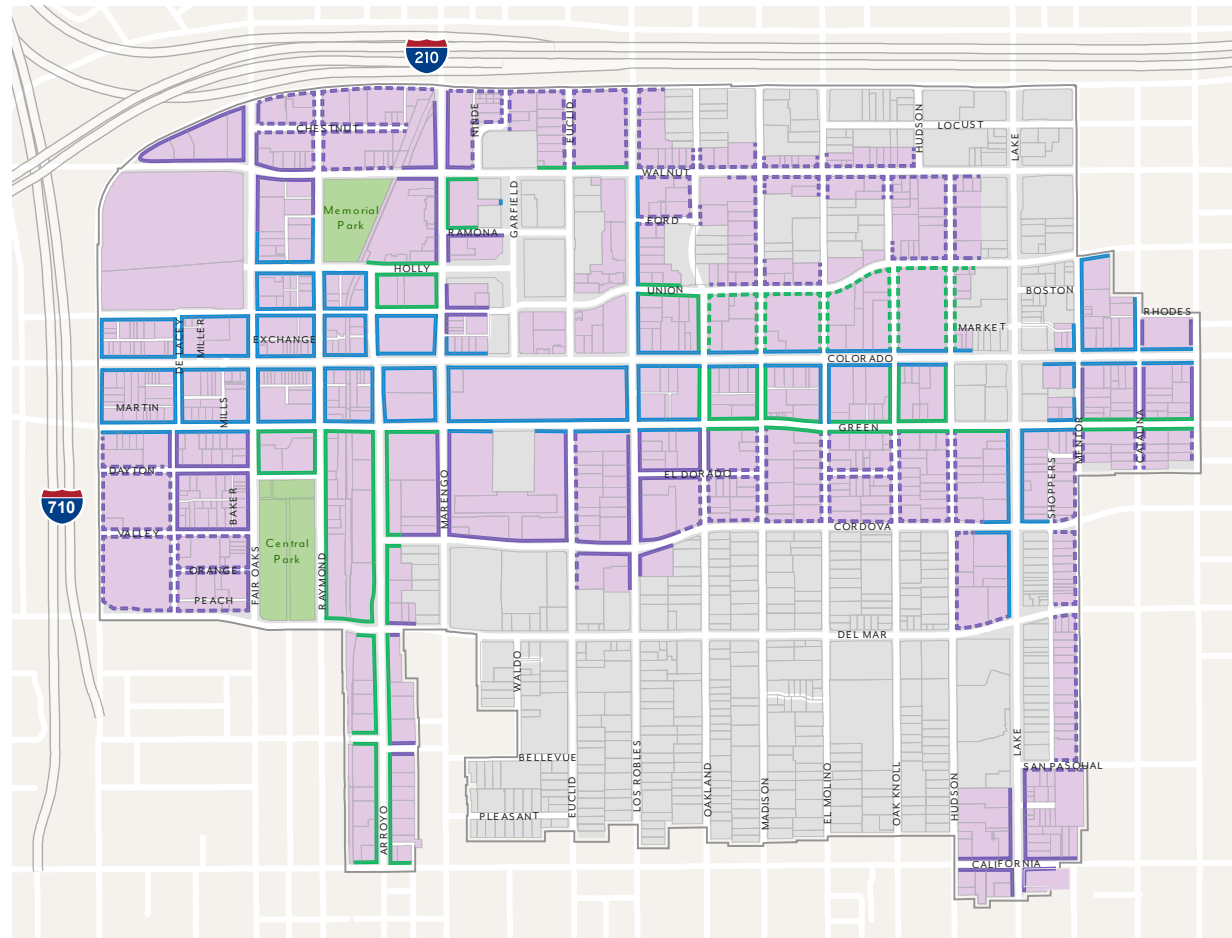
- Residential
- Commercial
- Mixed (Residential/Commercial)
- Open Space
- Institutional

GROUND FLOOR FRONTAGES FOR COMMERCIAL/RESIDENTIAL MIXED AREAS

Establishing requirements for ground floor frontages within commercial/residential mixed areas helps shape building uses and conditions in locations where a combination of uses are allowed. Requirements for ground floor frontages, defined as the first 35 feet of depth of a street facing facade, are identified for each block to establish and emphasize distinct character, whether it is commercial, residential, or a combination of the two, and identify appropriate ground floor use configurations. Requirements for ground floor frontages work with the design standards and guidelines defined in Section 6.3 (Ground Floor) to encourage visually active ground floors which support pedestrian interest and walkability.

In Central District, five ground floor frontage categories are established to support the variety of uses and conditions within the commercial/residential mixed areas, shown in Map 4.1-3 and visualized in Figure 4.1-1. See use Table 4.2-1 for specific use limitations by zoning district.

Map 4.1-3: Ground Floor Frontage Requirements for Commercial/Residential Mixed Areas



Ground Floor Frontages

- Commercial required for at least 80% of building frontage. Up to 20% of building frontage may be residential common space^{1,2}
- Commercial required for at least 20% of building frontage. Up to 80% of building frontage may be residential common space^{1,2}
- - - Commercial required for at least 20% of building frontage. Up to 80% of building frontage may be residential common space or dwelling units^{1,2}

- Commercial and residential allowed. Individual dwelling units not allowed. Residential common spaces allowed^{1,2}
- - - Commercial and residential (common space and dwelling units) allowed^{1,2}

Notes:

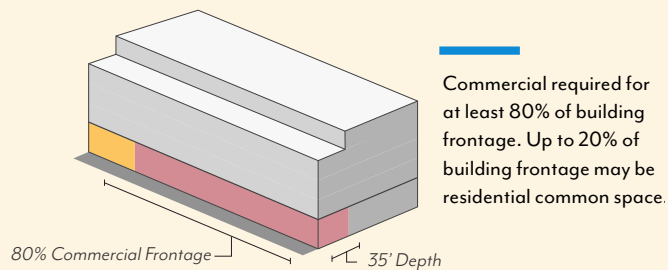
¹Residential common spaces include any building uses except for unit square footage

²Residential common spaces must meet non-residential ground floor standards (Section 6.3)

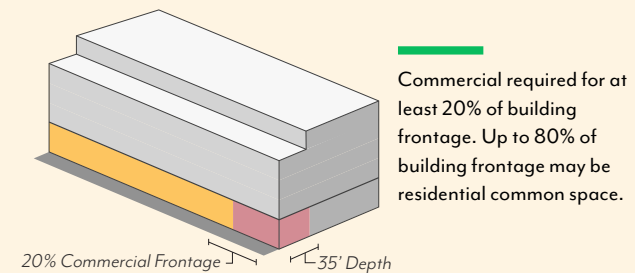
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Figure 4.1-1: Ground Floor Frontage Requirements for Commercial/Residential Mixed Areas

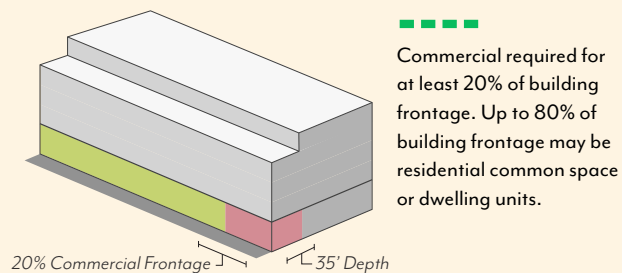
Intent: To require commercial uses on the ground floor in core shopping, cultural and entertainment districts that support economic vitality and sustainability.



Intent: To support the provision of commercial amenities within walking distance of residential neighborhoods. Residential uses must be comprised of common space and meet commercial ground floor requirements to support the existing commercial character in these areas.



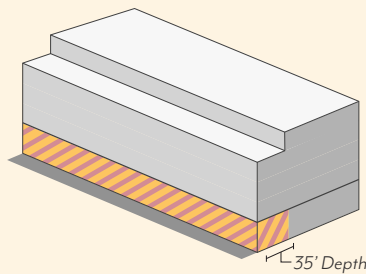
Intent: To support the provision of commercial amenities within walking distance of residential neighborhoods. Residential uses may be comprised of dwelling units consistent with existing character and/or lower traffic volumes.



- Commercial Space
- Residential Common Space
- Residential Common Space or Dwelling Units

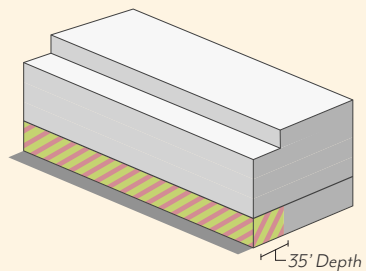
Figure 4.1-1: Ground Floor Frontage Requirements for Commercial/Residential Mixed Areas (continued)

Intent: To provide maximum flexibility for either residential or commercial development. Residential uses must be comprised of common space and meet commercial ground floor requirements to support the existing commercial character in these areas.



Commercial and residential allowed.
Residential common spaces allowed.
Individual dwelling units not allowed.

Intent: To provide maximum flexibility for either residential or commercial development. Residential uses may be comprised of dwelling units consistent with existing character and/or lower traffic volumes.



Commercial and residential allowed.
Residential common spaces and dwelling units allowed.

- Commercial Space
- Residential Common Space
- Residential Common Space or Dwelling Units

RESIDENTIAL COMMON SPACE

Residential Common Spaces can include spaces such as lobbies, gyms, lounges and other amenity spaces, which are commercial in character and therefore complement adjacent commercial uses.



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4.2 ZONING DISTRICTS

The Central District Specific Plan consists of six (6) Zoning Districts, identified as unique areas in need of tailored standards. Map 4.1-1 identifies the Zoning Districts for the Specific Plan.

The following zones are established as part of this Specific Plan:

- » CDSP-MC (Mixed Core)
- » CDSP-MG (Mixed General)
- » CDSP-MN (Mixed Neighborhood)
- » CDSP-CC (Commercial Core)
- » CDSP-CG (Commercial General)
- » CDSP-RM-87 (Residential Multifamily)



The following zones are defined by PMCI7.20.020:

- » PS (Public-Semipublic)
- » RM-32 (Residential Multifamily)
- » RM-48 (Residential Multifamily)

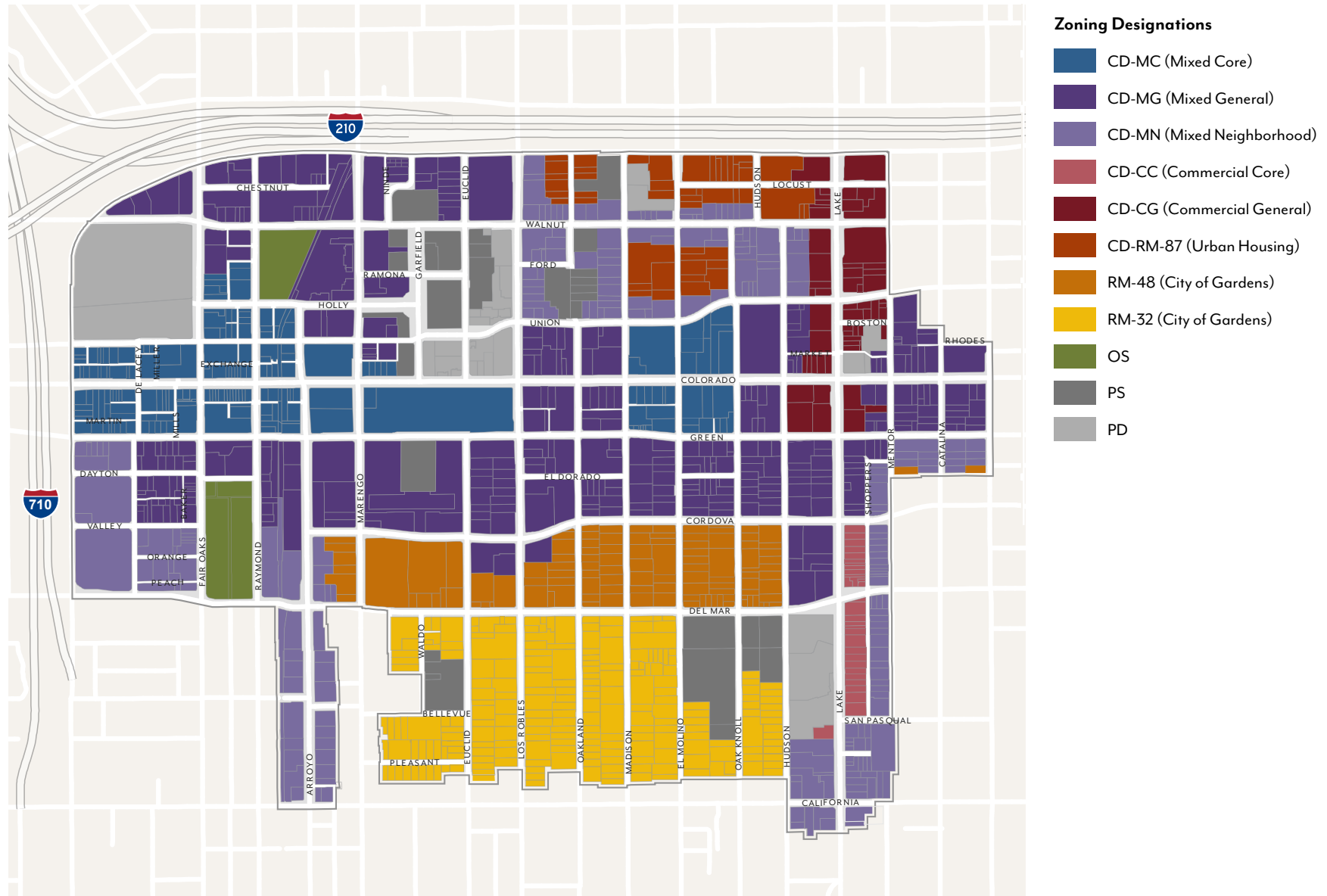
All standards for Public-Semipublic zoning districts are determined by Conditional Use Permit (CUP) or Master Plan.

The following zones are defined by their respective Planned Developments (PD):

- » PD-10
- » PD-12
- » PD-21
- » PD-24
- » PD-26
- » PD-31
- » PD-34



Map 4.2-1: Central District Specific Plans Zoning Districts by Sub-Area



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Table 4.2-1: Allowed Uses and Permit Requirements

SYMBOL	PERMIT REQUIREMENTS AND USE LIMITATIONS	PROCEDURE IS IN SECTION:
P	Permitted use, Code Compliance Certificate required.	17.61.020
MC	Conditional use, Minor Conditional Use Permit required.	17.61.050
C	Conditional use, Conditional Use Permit required.	17.61.050
E	Conditional use, Expressive Use Permit required.	17.61.060
A	Use permitted only as accessory to a primary permitted use	
TUP	Temporary use, Temporary Use Permit required.	17.61.040
—	Use not allowed. (See Section 17.21.030.A regarding uses not listed.)	
(L#)	“(L#)” designates limited uses to comply with specific limitations listed at the end of the table.	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	Mixed Core	Mixed General	Mixed NHD	Commercial General	Commercial Core	Multifamily 32/48	Urban Housing	
	MC	MG	MN	CG	CC	RM	RM/UH	
RESIDENTIAL USES Limitations to uses and conditions on the ground floor are subject to Map 4.2-3 location regulations.								
Family Day Care								
Large	P	P	P	—	—	P	P	17.50.080
Small	P	P	P	—	—	P	P	
Group Residential Types								
Congregate Housing	—	P (LI)	P (LI)	—	—	P	P	
Senior Group Residential	—	P (LI)	P (LI)	—	—	P	P	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	Mixed Core	Mixed General	Mixed NHD	Commercial General	Commercial Core	Multifamily 32/48	Urban Housing	
	MC	MG	MN	CG	CC	RM	RM/UH	
Residential								
Accessory dwelling unit	P	P	P	—	—	P	P	17.50.275
Live/Work Units	—	—	P	—	—	P	P	17.50.370.
Multi-family Residential	P	P	P	—	—	P	P	17.50.350.
Home occupations	P	P	P	—	—	P	P	
Residential Accessory Uses and Structures	P	P	P	—	—	P	P	17.50.110
Residential Care Facilities								17.50.250
General	C	C	C	—	—	C	C	
Limited	P	P	P	—	—	P	P	
Senior	—	C	C	—	—	C	C	
Hospice, Limited	—	—	—	—	—	P	P	
Supportive Housing								
Emergency Shelters	MC	MC	MC	MC	MC	MC	MC	
Supportive Housing	P (LI)	P (LI)	P	—	—	P	P	
Transitional Housing	P (LI)	P (LI)	P	—	—	P	P	Maximum area for provision of which support services (interior or exterior) shall not exceed 250 sf.
RECREATION, EDUCATION & PUBLIC ASSEMBLY USES								
Limitations to uses and conditions on the ground floor are subject to Map 4.2-3 location regulations.								
Cultural & Public Assembly								
Religious Facilities	C	C	C	C	C	C	C	17.50.230
With Temporary Homeless Shelter	P	P	P	MC	MC	C	C	17.50.230
Assembly Facilities	C	C	C	C	C	C	C	17.50.230

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	Mixed Core	Mixed General	Mixed NHD	Commercial General	Commercial Core	Multifamily 32/48	Urban Housing	
	MC	MG	MN	CG	CC	RM	RM/UH	
Cultural Institution and Facility	P	P	P	P	P	—	—	
College or Educational Institution								
Nontraditional campus setting	P (LI)	P	—	P	P (LI)	—	—	
Traditional Campus Setting	—	—	C	—	—	—	—	
Recreation								
Commercial Recreation - Indoor	—	P	P	P	P	—	—	17.50.130
Gardens (Neighborhood / Community)	P	P	P	P	P	P	P	
Park and Recreation Facilities	P	P	P	P	P	P	P	
Schools								
Schools - Public and Private	—	—	C	—	—	C	C	17.50.270
Schools - Specialized Education and Training	P (LI)	P (LI)	P	P (LI)	P (LI)	—	—	17.61.050.j CUP required for new construction over 25,000 s.f.
BUSINESS, COMMERCIAL, AND RETAIL SERVICES Limitations to uses and conditions on the ground floor are subject to Map 4.2-3 location regulations.								
Alcohol Sales								
Beer and wine	C	C	C	C	C	—	—	17.50.040
Full alcohol sales	C	C	C	C	C	—	—	17.50.040
Animal Sales and Services								
Animal Clinic/Hospital	—	P	P	P	—	—	—	17.50.050
Animal Grooming	—	P	P	P	—	—	—	
Animal Retail sales	P	P	P	P	P	—	—	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (I)	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	Mixed Core	Mixed General	Mixed NHD	Commercial General	Commercial Core	Multifamily 32/48	Urban Housing	
	MC	MG	MN	CG	CC	RM	RM/UH	
Auto/Vehicle Sales and Services								
Alternative Fuels/Recharging Facilities	—	—	P	—	—	—	—	17.40.070; 17.61.050.J CUP required for new construction over 25,000 s.f.
Automobile Showrooms	P	P	—	P	P	—	—	
Vehicle Services - Washing/Detailing, Small-Scale	—	—	P	—	—	—	—	17.50.290
Banks and financial Institutions								
Automated Teller Machines (ATM)	P	P	P	P	P	—	—	17.50.060
Banks and Credit Unions (Retail)	P	P	P	P	P	—	—	
Banks and Credit Unions (Non-Retail)	P (LI)	P (LI)	P	P	P (LI)	—	—	
Conference Center								
Conference Center	C (LI)	C	—	C	—	—	—	
Day Care Facility								
Adult Day-Care - General	—	C (LI)	C	C (LI)	—	—	—	Performance standards required
Adult Day-Care - Limited	—	P (LI)	P	P (LI)	—	P	P	Performance standards required
Child Day Care	—	P	P	P	—	P	P	17.50.080
Eating and Drinking Establishments								
Bar, Night Club, or Tavern	C	C	C	C	C	—	—	17.50.040
Restaurants, Full Service	P	P	P	P	P	—	—	(4) 17.50.260
Restaurant, Limited Service	P	P	P	P	P	—	—	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (I)	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	Mixed Core	Mixed General	Mixed NHD	Commercial General	Commercial Core	Multifamily 32/48	Urban Housing	
	MC	MG	MN	CG	CC	RM	RM/UH	
Restaurant, Take-Out Only	P	P	P	P	P	—	—	
Restaurants with Limited Live Entertainment	P	P	P	P	P	—	—	Performance standards required
Restaurants with Walk-Up Window	C	C	C	C	C	—	—	17.50.260
Entertainment								
Commercial Entertainment	E	E	E	E	E	—	—	17.50.130
Electronic Game Centers	P	P	P	P	P	—	—	17.50.100
Food and Beverage Sales								
Convenience Stores	P	P	P	P	P	—	—	
Farmers' Market	P	P	P	P	P	—	—	
General Market	P	P	P	P	P	—	—	
Liquor Stores	C	C	C	C	C	—	—	17.50.040
Group Housing								
Single-Room Occupancy	P (L1)	P (L1)	P*	—	—	P	P	Commercial use, prohibited in residential zones. 17.50.300 *For areas with ground floor requirements, SRO is not counted toward a commercial requirement.
Hospitals, Clinics and Care Facilities								
Clinic	P (L1)	P	P	P	P (L1)	—	—	
Extended Care	—	MC (L1)	MC (L1)	—	—	—	—	
Life/Care Facilities	—	MC (L1)	MC (L1)	—	—	—	—	17.50.120

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS

LAND USE (I)	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	Mixed Core	Mixed General	Mixed NHD	Commercial General	Commercial Core	Multifamily 32/48	Urban Housing	
	MC	MG	MN	CG	CC	RM	RM/UH	
Hospitality House	MC (LI)	MC (LI)	MC (LI)	—	MC (LI)	—	—	
Hospital	—	C	—	—	—	—	—	
Skilled Nursing Facility	—	C (LI)	C	—	—	—	—	
Offices								
Accessory	P (LI)	P	P	P	P (LI)	—	—	
Administrative Business Professional	P (LI)	P	P	P	P (LI)	—	—	(assumes category does not include walk-in offices)
Government	P (LI)	P	P	P	P (LI)	—	—	
Laboratories	—	P (LI)	P (LI)	P (LI)	—	—	—	
Medical and Dental	P (LI)	P	P	P	P (LI)	—	—	
Walk-In Clientele	P	P	P	P	P	—	—	
Research and Development - Offices	P (LI)	P	P	P	P (LI)	—	—	
Personal Services								
Personal Improvement Services	P	P	P	P	P	—	—	
Personal Services	P	P	P	P	P	—	—	
Massage Establishments	C (LI)	C	C	C (LI)	C (LI)	—	—	17.50.155
Tattoo and Body Modification	P	P	P	P	P	—	—	
Printing and Publishing								
General	—	—	—	P (LI)	—	—	—	17.61.050.J. CUP required for new construction over 25,000s.f.
Limited	P (LI)	P (LI)	P (LI)	P (LI)	P (LI)	—	—	17.61.050.J. CUP required for new construction over 25,000s.f.

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ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	Mixed Core	Mixed General	Mixed NHD	Commercial General	Commercial Core	Multifamily 32/48	Urban Housing	
	MC	MG	MN	CG	CC	RM	RM/UH	
General Services								
Business Services	P	P	P	P	P	—	—	
Catering Services / Shared Kitchens	P (LI)	P (LI)	P	P	P (LI)	—	—	
Charitable Institutions	P	P	P	P	P	—	—	
Public Safety Facilities	C	C	C	C	C	—	—	
Transient Lodging								
Bed and breakfast inns	—	—	C	—	—	—	—	17.50.140
Hotels, motels	C	C	—	C	C	—	—	17.50.150
Retail Sales								
General Retail	P	P	P	P	P	—	—	
Significant Tobacco Retailers	C	C	C	C	C	—	—	17.50.330; 17.61.050.J; CUP required for new construction over 25,000s.f.
Industrial Services								
Custom Manufacturing / Artisan Production	P	P	C	P	P	—	—	
Industry, Limited	MC	MC	MC	MC	MC	—	—	
Research and Development - Laboratories	—	P (LI)	—	P	—	—	—	17.50.240
Communications facilities (2, 3)								
Accessory Antenna Arrays	A	A	A	A	A	A	A	
Antennas and Transmission Towers	C	C	C	C	C	C	C	
Equipment Within Buildings	C	C	C	C	C	C	C	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS

LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	Mixed Core	Mixed General	Mixed NHD	Commercial General	Commercial Core	Multifamily 32/48	Urban Housing	
	MC	MG	MN	CG	CC	RM	RM/UH	
Wireless Telecommunications Facilities - Minor	MC	MC	MC	MC	MC	MC	MC	17.50.310
Wireless Telecommunications Facilities - Major	C	C	C	C	C	C	C	17.50.310
Wireless Telecommunications Facilities - SCL	P	P	P	P	P	P	P	17.50.310
Transportation								
Commercial Off-Street Parking	A	A	A	A	A	—	—	17.40.070
Heliports	—	C	—	—	—	—	—	
Mobility Hub	P	P	P	P	P	P	P	
Transit Stations or Terminals	—	C	C	—	—	—	—	
Utilities								
Major	C	C	C	C	C	C	C	
Minor	P	P	P	P	P	P	P	
TEMPORARY USES								
Filming, long-term	MC	MC	MC	MC	MC	MC	MC	
Filming, short-term	P	P	P	P	P	P	P	
Street fairs	P	P	P	P	P	P	P	

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ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS

LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	Mixed Core	Mixed General	Mixed NHD	Commercial General	Commercial Core	Multifamily 32/48	Urban Housing	
	MC	MG	MN	CG	CC	RM	RM/UH	
Tents	TUP	TUP	TUP	TUP	TUP	—	—	17.50.320
Personal Property Sales	P	P	—	P	P	P	P	Permit required: 17.50.190
Seasonal Merchandise Sales	P	P	P	P	P	—	—	17.50.180; 17.61.050.J; CUP required for new construction over 25,000s.f.
Swap Meets	TUP	TUP	TUP	TUP	TUP	—	—	17.61.050.J; CUP required for new construction over 25,000s.f.
Other Temporary Uses	TUP	TUP	TUP	TUP	TUP	TUP	TUP	

TABLE 4.2-1 NOTES:

(1) See Section 17.80.020 for definitions of the listed land uses.

(2) If within 300 feet of an R District this use shall be limited to 10 one-way truck trips by large trucks per day per six-day work week. This restriction shall apply to new uses and uses that expand by more than 30 percent of the gross floor area. This restriction shall not apply if the site or the adjacent R District is within 500 feet of a freeway.

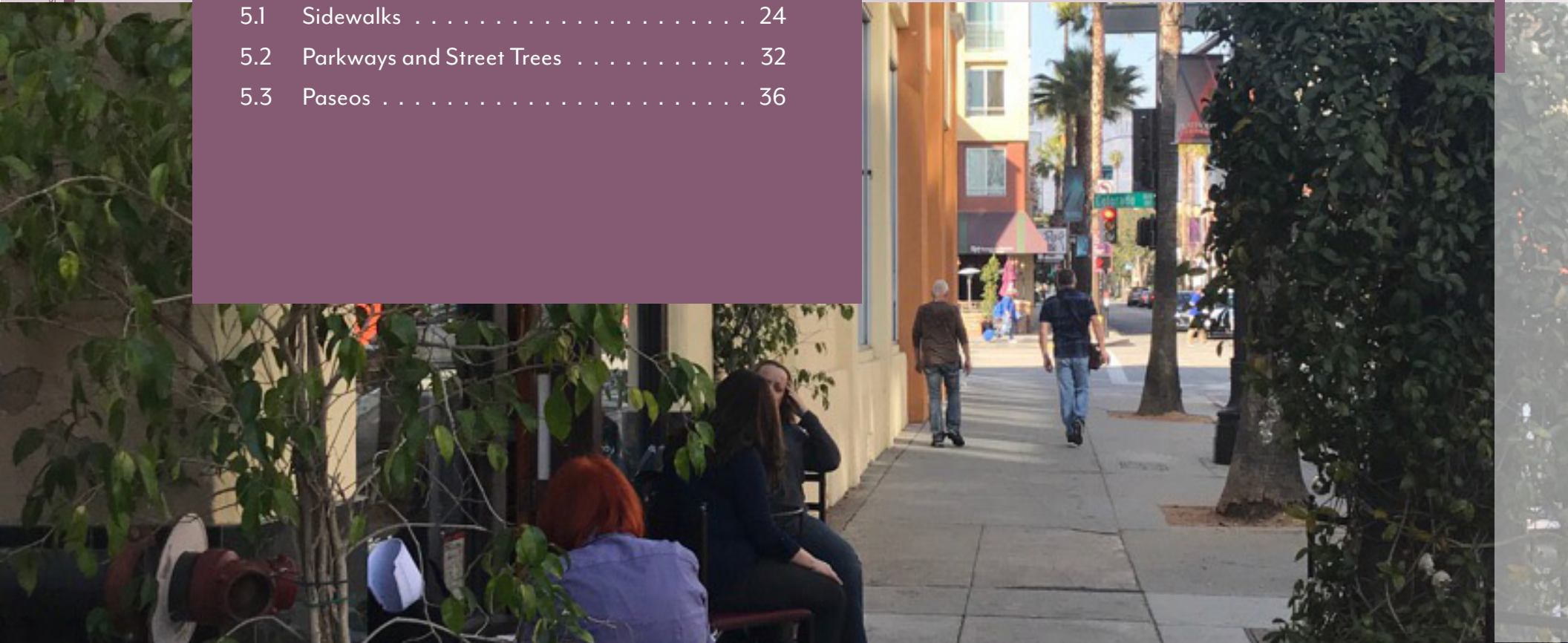
(3) No more than five large trucks (except trucks associated with vehicle services - sales and leasing) shall be stored on each lot. This restriction shall apply to new uses or uses that expand by more than 30 percent of the gross floor area. 17.40.070

TABLE 4.2-1 SPECIFIC LIMITATIONS:

(L1) Use listed is limited to upper floors and subterranean levels, or allowed on the ground floor behind the first 35 feet from the minimum sidewalk line.

Ch. 5 Public Realm Standards & Design Guidelines

Public Realm Standards & Design Guidelines	23
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PUBLIC REALM STANDARDS & DESIGN GUIDELINES

IMPORTANCE

The public realm standards and design guidelines in this chapter serve to implement the General Plan vision for Central District Specific Plan Area and achieve objectives of the Pasadena Street Design Guide and Pasadena Master Street Tree Plan. To improve the public realm for users of all abilities, and to provide enough space for simultaneous uses of the sidewalk, these standards and guidelines ensure that new developments contribute to the safety, accessibility, and connectivity of their surrounding streetscape network. Many features that are critical to 'walkability' depend on the width and organization of the sidewalk, and the frequency of connections between amenities and nodes of activity. For example, consistent street trees provide shade and other aesthetic and environmental benefits, and sidewalk seating for restaurants and cafés activate the public realm and boost business. However, the success of both relies on the sidewalk offering ample and well-organized space to prevent conflicts with pedestrians. Walkable neighborhoods also have convenient and intuitive connections, and features such as mid-block pedestrian walkways or "paseos" can reduce walking distance and while adding public open space and additional amenities.

CHAPTER OVERVIEW

The public realm standards and guidelines in this chapter address and regulate pedestrian infrastructure and amenities to support a safe, accessible, and comfortable pedestrian experience. The standards and guidelines are presented in the following pages as follows:

- » **5.1 Sidewalks.** Addresses minimum sidewalk widths and sidewalk zones.
- » **5.2 Parkway and Street Trees.** Addresses parkway dimensions, amenities, and materials. Addresses street tree placement and preferred species.
- » **5.3 Paseos.** Addresses placement and design of mid-block paseos.

Each section includes rationale for the standard followed by sub-sections for individual standards, if applicable. Each standard is introduced in text and/or table format with diagrams and images to illustrate regulations. Supplementary text boxes are provided for additional context on most standards and diagrams. Note that diagrams are provided for the purposes of communicating measurements and images are included to illustrate potential outcomes of the standards; neither are suggestive of regulated architectural styles.



5.1 SIDEWALKS

The following sidewalk standards are intended to:

- » Ensure a minimum sidewalk width is achieved, appropriate to support future development densities, intensities, uses, and pedestrian volumes;
- » Provide sufficient sidewalk width to support dedicated amenity zones, walk zones and frontage zones; and
- » Increase shade and stormwater capture through increased street trees and parkways.

The following standards are covered in detail in this section:

- » 5.1.1 Sidewalk Zones
- » 5.1.2 Minimum Sidewalk Width

IMPORTANCE OF SIDEWALKS

Sidewalks play an important and multi-faceted role in the built environment, serving as spaces for pedestrian travel, entryways, sidewalk dining, street trees and landscaping, as well as a variety of amenities, such as benches, bus shelters, bicycle racks and trash receptacles. Sidewalk width standards correlate to the level of activity and surrounding densities, intensities, and uses. Ensuring sufficient widths and establishing distinct zones help to ensure that the sidewalk environment can support all functional activities.



Sidewalks with sufficient width can support pedestrian travel as well as space for various amenities, including outdoor dining and street trees

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5.1.1 SIDEWALK ZONES

PASADENA STREET DESIGN GUIDE

Pasadena's Street Design Guide provides a framework for understanding the way sidewalks are used, and organizes sidewalks into zones to avoid conflict between various uses and amenities. Requirements vary based on the level of activity, land uses, intensities, and densities, as well as special conditions. Through designating specific zones, the Central District Specific Plan can help enhance the pedestrian experience by increasing sidewalk widths, enabling more shade coverage and opportunities for amenities such as sidewalk seating and landscaping.

The Pasadena Street Design Guide organizes sidewalks into the following three sidewalk zones, which provide a basis for standards in the Specific Plan:

- » **Amenity / Curb Zone.** The Amenity / Curb Zone is the portion of the sidewalk directly adjacent to the street right-of-way. This zone typically includes street trees, street lights, parkways, street furniture, and bus shelters.
- » **Walk Zone.** The Walk Zone is the portion of the sidewalk dedicated to pedestrian travel and should be free of obstruction.
- » **Building Frontage Zone.** The Building Frontage Zone is adjacent to private property and allows for door openings from buildings, bicycle parking, and sidewalk seating.

Figure 5.1-1: Sidewalk Zones



SIDEWALK ZONE EXAMPLE IMAGES

The images below reflect examples of appropriate conditions for the three sidewalk zones. These examples are illustrative and may not reflect all applicable development standards.

BUILDING FRONTAGE ZONE



Frontage zones may be used to accommodate outdoor dining



Frontage zones may include planters or in-ground landscaping to enhance the ground floor

WALK ZONE



Walk zones of 5 feet allow two people to walk together comfortably



Wider walk zones of at least 7 feet are appropriate for commercial retail areas

AMENITY/CURB ZONE



Grass or turf parkways with shade trees are appropriate for residential areas



Amenity zones may include street furniture, such as seating and pedestrian lighting

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5.1.2 MINIMUM SIDEWALK WIDTH

- A. **Minimum Sidewalk.** Projects shall provide sidewalks that meet the minimum sidewalk width requirements per Map 5.1-1. Sidewalks are measured from the primary curb line, as illustrated in Figure 5.1-2.
- Where the existing sidewalk right-of-way is less than the minimum width, the sidewalk shall be widened through an easement or dedication.
 - This area shall be paved for general use to the standards specified by Public Works, except for landscaped parkways per Map 5.2-1.
 - Within the sidewalk width, sidewalk zones shall be provided to the dimensions set in Figure(s) 5.1-3 through 5.1-10.
 - Improvements shall be installed and maintained by the property owner.
- B. **Amenity Zone.** Sidewalks shall provide an amenity zone at the width illustrated in Figure(s) 5.1-3 through 5.1-10, including the curb. Where the curb deviates (i.e. sidewalk extensions), exceptions in zone width are allowed and shall be determined by Public Works.
- Parkways and street trees shall be provided to meet the minimum requirements set in Section 5.2.

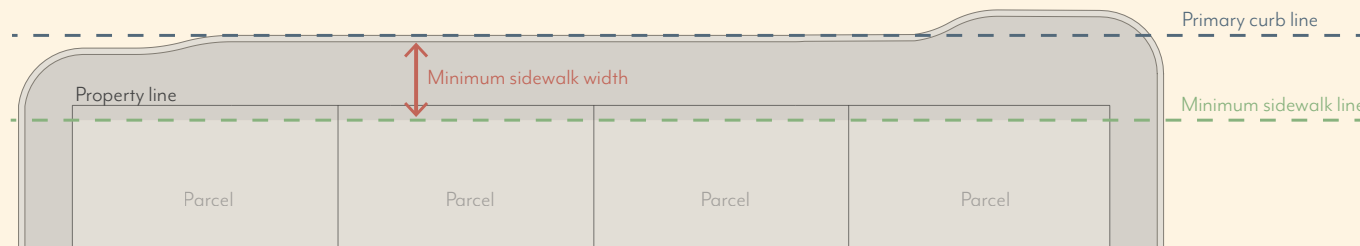
- Uses allowed within the Amenity Zone include:
 - Landscaping,
 - Seating/furniture,
 - Outdoor dining (with a public sidewalk occupancy permit),
 - Bicycle parking,
 - Bus shelters, and/or
 - Driveways.

- C. **Walk Zone.** Sidewalks shall maintain a minimum continuous path of travel for pedestrians at the width illustrated in Figure(s) 5.1-3 through 5.1-10.
- This area shall be free of all furnishings, landscaping, or obstructions.
- D. **Frontage Zone.** Sidewalks may include a building frontage zone between the Walk Zone and the minimum sidewalk line. A maximum width is illustrated in Figure(s) 5.1-3 through 5.1-10.
- Uses allowed within the Frontage Zone include:
 - Pedestrian travel,
 - Seating/furniture,
 - Outdoor dining (with a public sidewalk occupancy permit),
 - Landscape planters,
 - Bicycle parking, and/or
 - Shade structures.

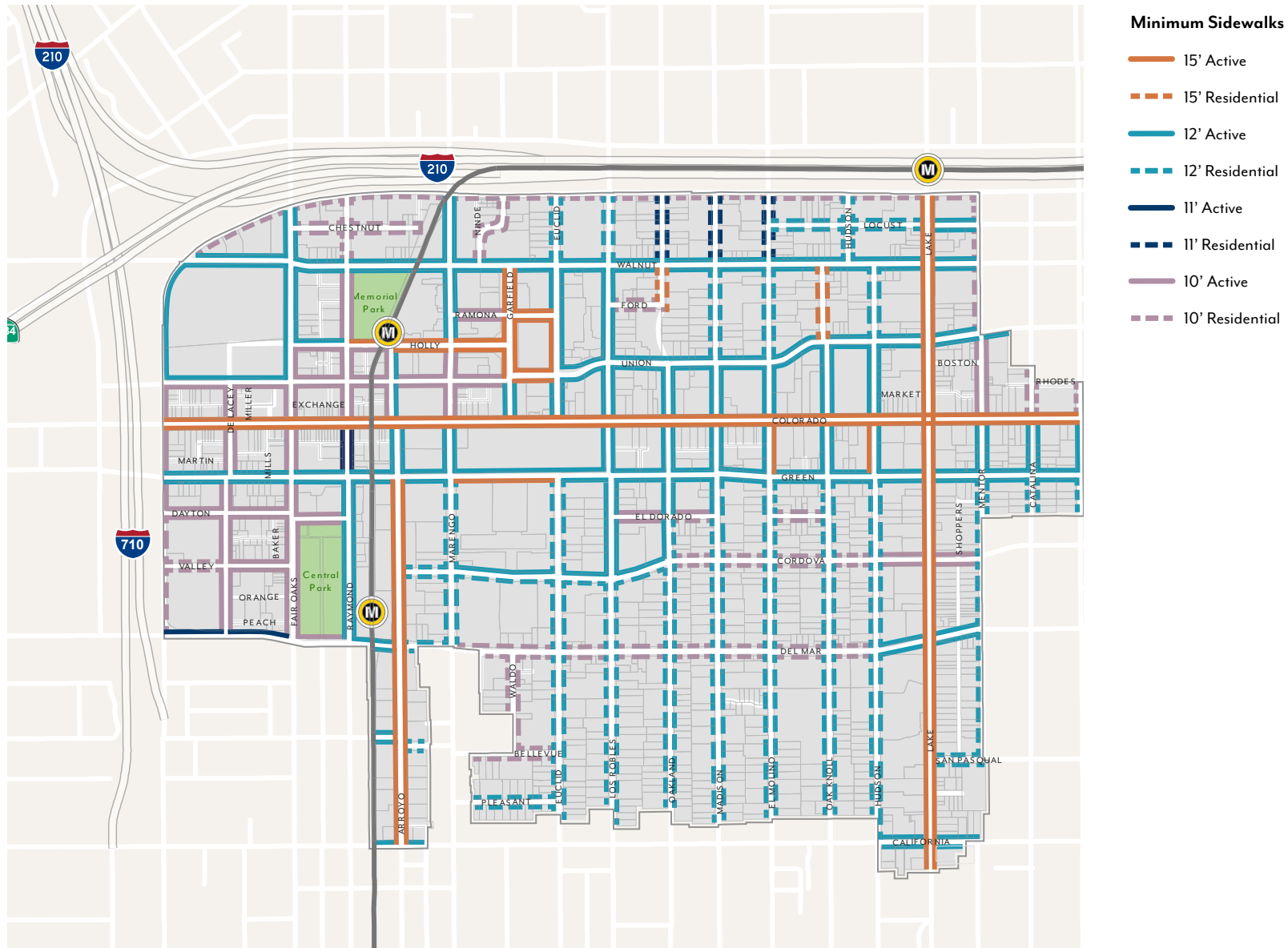
Figure 5.1-2: Minimum Sidewalk Width Measurement

The minimum sidewalk line is the line created by measuring the minimum sidewalk width (as shown in Figure 5.1-2) from the Primary Curb Line. The Primary Curb Line is the predominant back of curb line of a given block, and shall not include “bulb outs” or reductions in sidewalk width at intersections.

As illustrated here, some parcels may not currently provide sufficient width to meet the minimum sidewalk requirement. In these cases, the property owner must provide additional paved area through an easement. FAR shall be calculated based on full parcel area, not the reduced area if required to meet sidewalk width minimum.



Map 5.1-1: Minimum Sidewalk Widths



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MINIMUM SIDEWALK WIDTH | CROSS-SECTIONS BY WIDTH AND ADJACENT USE

Figure 5.1-3: Sidewalks - 15' Active

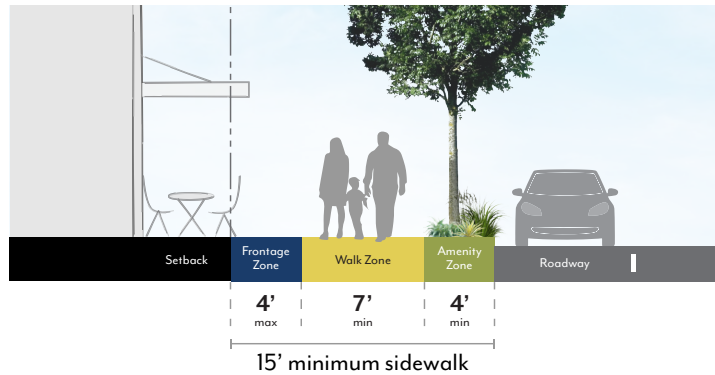


Figure 5.1-4: Sidewalks - 15' Residential

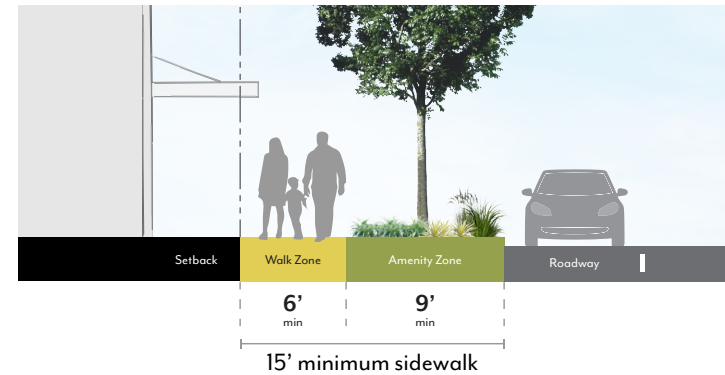


Figure 5.1-5: Sidewalks - 12' Active

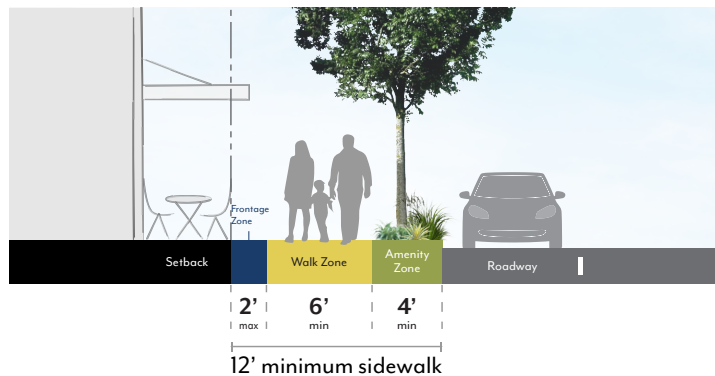
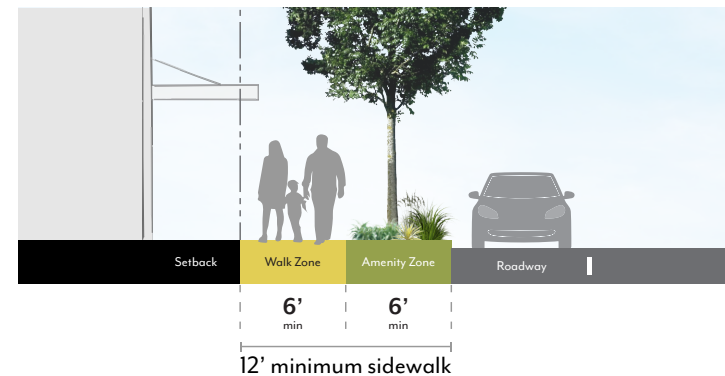


Figure 5.1-6: Sidewalks - 12' Residential



MINIMUM SIDEWALK WIDTH | CROSS-SECTIONS BY WIDTH AND ADJACENT USE

Figure 5.1-7: Sidewalks - 11' Active

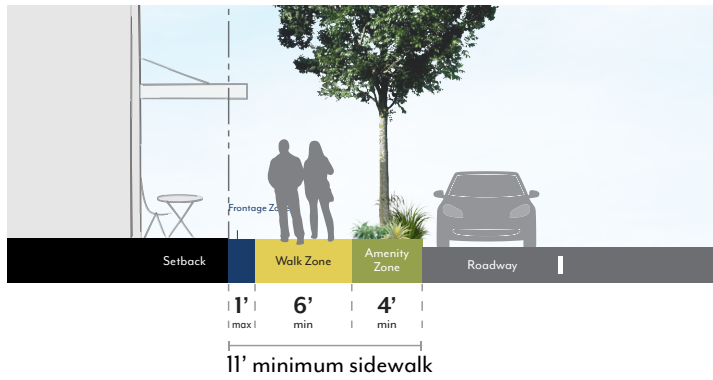


Figure 5.1-9: Sidewalks - 11' Residential

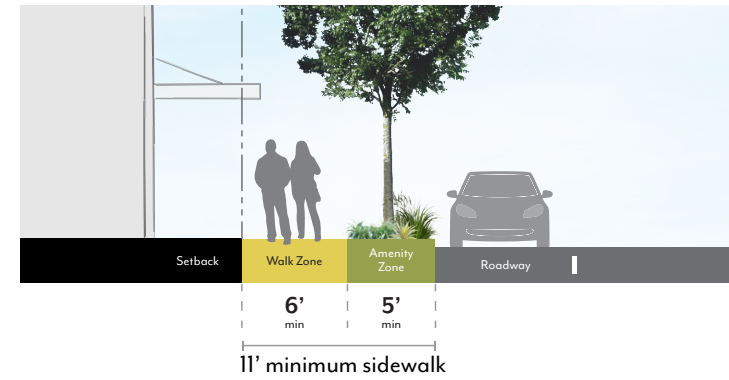


Figure 5.1-8: Sidewalks - 10' Active

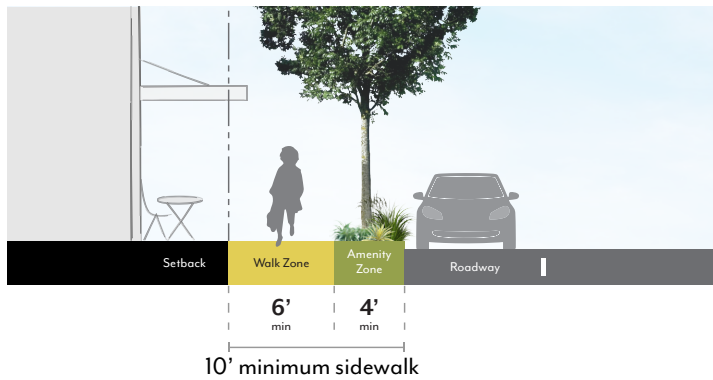
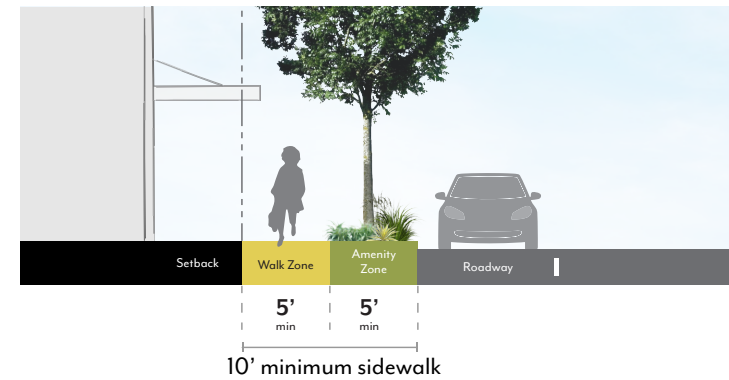


Figure 5.1-10: Sidewalks - 10' Residential



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SIDEWALK WIDTH EXAMPLE IMAGES

Sidewalk widths of at least 10' are required throughout the Specific Plan Area to provide space for a clear walk zone and basic amenities such as landscaping, lighting, signage, and bicycle parking. Sidewalks of 11', 12', and 15' are required where feasible to increase flexibility of amenity placement and clear paths of travel.



Example of approximately 15 foot commercial sidewalk with no parkway



Example of approximately 12 foot commercial sidewalk with bike parking, seating, and landscaping



Example of approximately 11 foot residential sidewalk with parkway



Example of approximately 10 foot residential sidewalk with parkway

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5.2 PARKWAYS AND STREET TREES

The following Parkway standards and guidelines are intended to:

- » Enhance pedestrian conditions through increased landscaping at sidewalk level
- » Provide a visual buffer between parking lane and sidewalk
- » Improve stormwater capture and increase permeability of sidewalk zone
- » Improve street tree health

The following standards and guidelines are covered in detail in this section:

- » 5.2.1 Parkways
- » 5.2.2 Street Trees (section under development)



IMPORTANCE OF PARKWAYS

Parkways are landscaped or permeable areas within the sidewalk that play an important role in today's urban landscape by improving pedestrian comfort, increasing sustainability, and enhancing the aesthetic character of the public realm. Parkways are encouraged in the Pasadena Street Design guide, and are suitable for implementing several green infrastructure strategies included in the City's Green Streets policy. By expanding the permeable area around street trees, parkways increase rain and stormwater capture, leading to improved street tree health and larger tree canopies, which creates cooler temperatures for pedestrians and reduces pollution in our nearby waterways. Parkways also provide a visual buffer between the pedestrian and moving or parked vehicles, which further improves pedestrian comfort and creates a more attractive sidewalk environment. Typically residential neighborhoods can accommodate long, uninterrupted areas of parkways within the sidewalk. In commercial and mixed use areas, available space for parkways may be constrained by bus shelters, street lights, and the need to accommodate higher levels of pedestrian traffic; however, significant parkway opportunities still exist on these corridors.

IMPORTANCE OF STREET TREES

Street trees play an important role in keeping cities livable, sustainable and resilient. Trees improve air quality, increase urban biodiversity, and help reduce carbon emissions. In addition to environmental benefits, trees provide health, social, economic, and aesthetic benefits to communities. Requirements based on guidance from the City's Master Street Tree Plan will increase street tree coverage and require the preservation or introduction of certain tree species. In adherence with these street tree standards and guidelines, new development will contribute to an enhanced shade canopy that helps to reduce the urban heat island effect, decrease sidewalk temperatures, enhance pedestrian comfort, and improve the visual experience of the street.

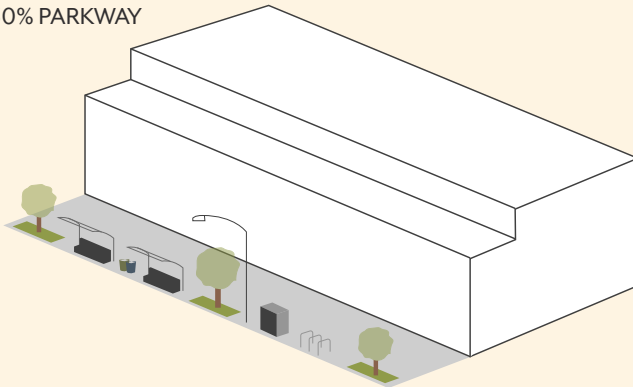
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5.2.1 PARKWAYS

- A. **Minimum parkways.** Projects shall provide parkways that meet the minimum parkway length requirements per Map 5.2-1. Parkway are measured as a percentage of parcel frontage, as illustrated in Figure 5.2-1.
1. Parkway shall be permeable. At least 50 percent of the parkway area shall be comprised of planting, including street trees, shrubs, and groundcover. No more than 50 percent may be comprised of cover materials such as rock, decomposed granite or permeable pavers. Mulch or porous concrete is not permitted.
 2. Parkway shall be designed to capture and retain or treat runoff from the sidewalk. The center 2 inches of the parkway shall be depressed 3-4 inches to form a shallow swale that collects stormwater. Alternative means of storing runoff may be approved by Public Works.

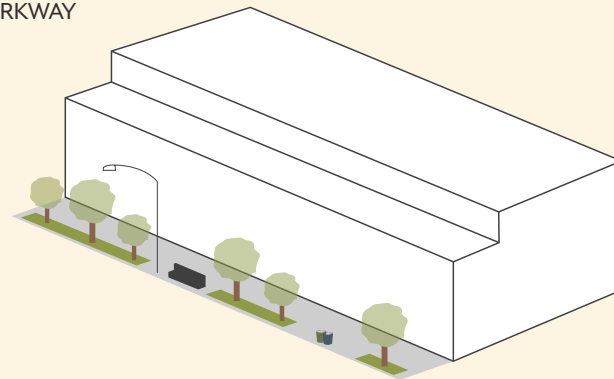
Figure 5.2-1: Minimum Parkway

30% PARKWAY



30% minimum parkway requirement provides room for landscaping and street trees while allowing for other amenities or utilities that may be found in a commercial or mixed-use environment, including seating, waste receptacles, bicycle parking, bus shelters, and driveways.

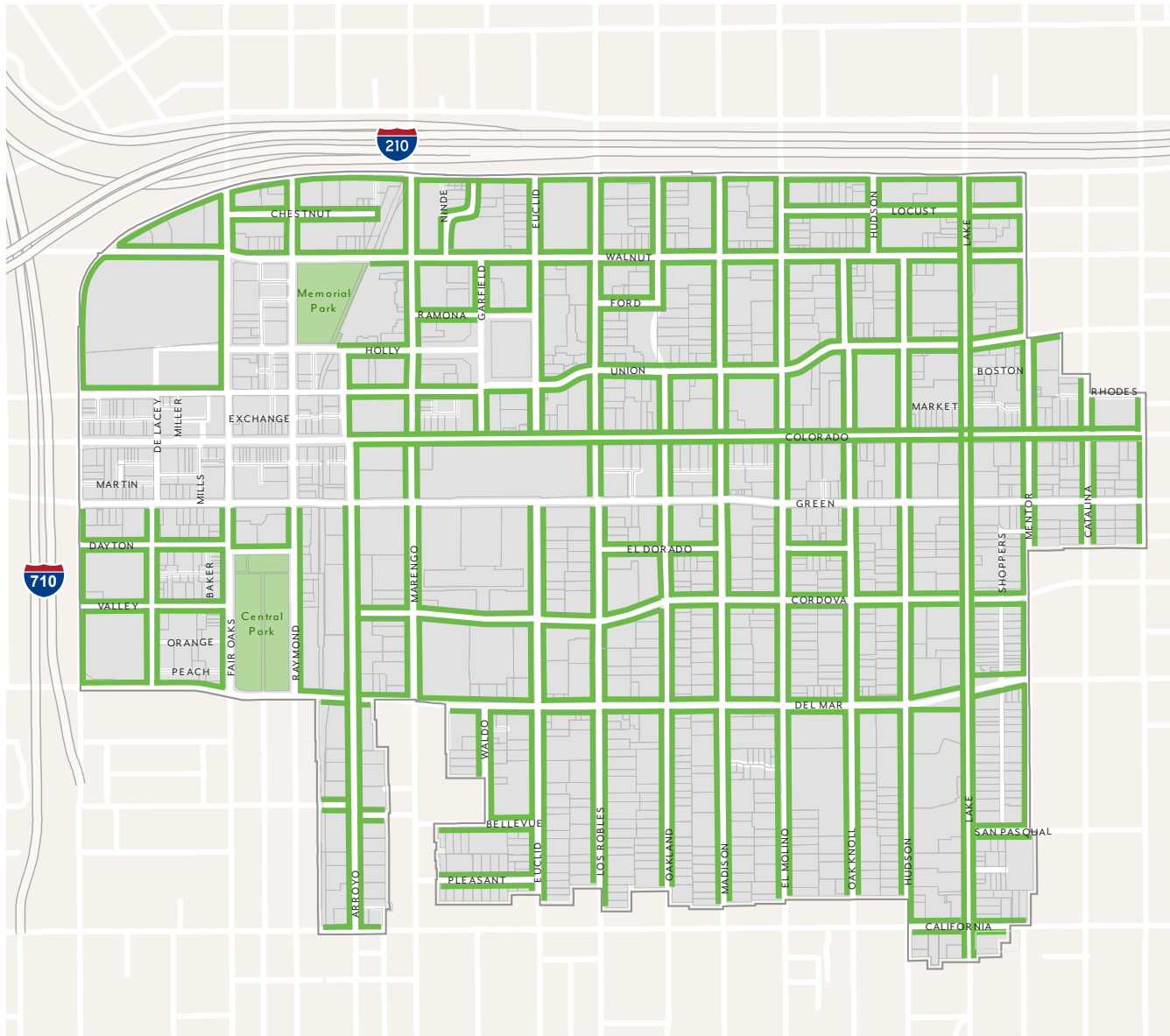
60% PARKWAY



60% minimum parkway requirement provides room for consistent landscaping and shade tree coverage while allowing for driveways and other amenities or utilities that may be found in a primarily residential environment.

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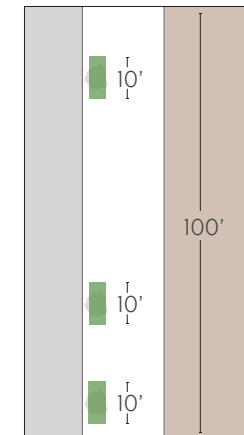
Map 5.2-1: Minimum Parkways



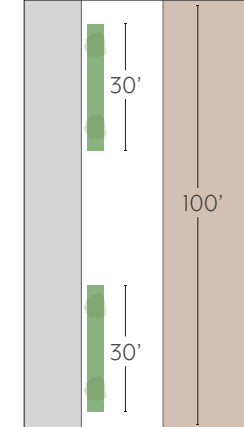
Minimum Parkways

- Parkway required
- 30% for Mixed/Non-residential
- 60% for Residential-only

Example of 30% Parkway



Example of 60% Parkway



- parkway
- sidewalk
- roadway
- parcel

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PARKWAY EXAMPLE IMAGES

The images below reflect examples of appropriate conditions for parkways. These examples are illustrative and may not reflect all applicable development standards.



Commercial Parkway



Commercial Parkway



Commercial Parkway



Residential Parkway



Residential Parkway



Residential Parkway

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5.3 PASEOS

Some developments in the plan area are required to provide paseos to meet requirements for Public Open Space. The location of future paseos are identified in Map 6.4-1. The following Paseo standards and guidelines are intended to:

- » Promote efficient pedestrian connectivity and visual interest by reducing large block sizes and breaking up large developments
- » Provide additional public open space while improving walkability and creating safe spaces for pedestrian travel
- » Encourage placemaking through successful open spaces that can be used for community gathering
- » Increase opportunities for stormwater capture and greening benefits through landscaping

The following standards are covered in detail in this section, with supplementary guidelines included in the adjacent text boxes. Development is required to meet the intent of the paseo design guidelines.

PASEO STANDARDS

- » 5.3.1 Signage
- » 5.3.2 Security and Access
- » 5.3.3 Stormwater Management
- » 5.3.4 Hours
- » 5.3.5 Elevation
- » 5.3.6 Hardscape
- » 5.3.7 Softscape
- » 5.3.8 Lighting
- » 5.3.9 Utilities and Trash Enclosures

IMPORTANCE OF PASEOS

Paseos are pedestrian-only pathways that connect two streets. Paseos function as linear public open spaces that break up large urban blocks and provide additional pedestrian connectivity within neighborhoods. Paseos should be designed to a pedestrian scale and incorporate amenities such as seating, public art, shading, and landscaping. Paseo location requirements are set in the Public Open Space standards and depicted in Map 6.4-1.

Paseos can generally be classified in two categories depending on location and adjacent land uses. The design of paseos should demonstrate an understanding of its function within the larger district based on its type



» **Destination Paseos:** Destination Paseos tend to be located in districts with busy commercial and mixed use activity. These paseos are designed primarily for pedestrian and bicycle access, though they may have restricted vehicular access for service

needs. Successful destination paseos are programmed for public gathering to participate in cultural, commercial and recreational activities, outdoor dining, special events, or pausing for respite.



» **Connector Paseos:** Connector Paseos tend to be located in districts with slightly lower pedestrian volumes where walkability may have been previously impeded by large block sizes. Connector paseos may have limited opportunities for adjacent commercial uses, but serve the

important function of making walking within a district more efficient and pleasant, while at the same time breaking up development on large blocks.

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PASEO STANDARDS

5.3.1 SIGNAGE

- A. Public Open Space shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and include opening hours. In Paseos that have commercial frontages, a directory signage shall be provided at each entry the all paseos. Specific sign guidelines shall be created for all properties with building facades immediately adjoining the paseos.

5.3.2 SECURITY & ACCESS

- A. Bollards shall be provided at all entry points of Paseos to restrict vehicular access. Some bollards shall be removable bollards to provide emergency vehicular access.

5.3.3 STORMWATER MANAGEMENT

- A. At least 25% of the total paved area shall be permeable paving to allow for stormwater infiltration. Depending on Soil and site conditions, infiltration and/or flow-through planters shall be installed to capture and treat 100% of the stormwater run-off on-site.

5.3.4 HOURS

- A. At a minimum, Public Open Space shall be open to the general public from 8am to 8pm.

5.3.5 ELEVATION

- A. Paseos shall be at ground level and comply with ADA regulations if there is a grade change across the paseos.

PASEO GUIDELINES

FRAMING & DIMENSIONS

- » Walls facing the paseo should adhere to façade modulation standards defined in section 6.2.5 and blank walls standards defined in section 6.3.6
- » In addition to meeting the parking standards defined in section 6.5, parking lots or structures facing a paseo should be screened with landscaping or creative, pedestrian-friendly architecture per Design Review/Director Approval.
- » Storefronts (commercial), and unit entries or stoops (residential) should front onto the paseo when possible.
- » Projects should maintain direct sight lines between paseo entrances when possible. If paseos are required to jog due to project constraints, an open space of at least 50 feet x 50 feet at the point of connection is encouraged to increase safety and minimize impacts of obstructed sight lines.
- » Connector paseos should have a cross-sectional proportion of 1:2.5:6 (width: adjacent building height: length of paseos)

ACCESSIBILITY AND SAFETY

- » Paseos should be physically and visually accessible from the public sidewalk.
- » No fences, walls, or entry gates should block passage through the paseo during the established hours.
- » Vehicular access to the paseo should be permitted for fire access and occasional commercial loading only. Commercial loading should be limited to specific hours of low public usage.
- » Paseo entrances, storefronts, unit entries, and stoops facing the paseo should be designed and lighted to prevent hiding spaces.
- » Property owners should close commercial paseos to the public for private events no more than once per month.



A well-designed paseo provides an attractive, engaging pedestrian connection with amenities like special lighting, paving, landscaping, seating, and water features.



5.3.6 HARDSCAPE

A. **Paving.**

1. The paving shall be of non-skid durable materials that are decorative and compatible in color and pattern with other design features of the paseos.
2. Paving surfaces shall be of light colored/ high-albedo materials and have a minimum Solar Reflectance (SR) of 0.3 and Solar Reflective Index (SRI) of 29.
3. A maximum of 25% of Public Open Space may be paved in standard concrete. Remaining paved areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate, Permeable paving including open-grid pavement system, and/or other alternative paving per review authority approval.
4. Paving shall be load rated for at least light vehicular load, unless other types of vehicular loads (like the emergency vehicles, maintenance trucks etc.) are required.

B. **Seating.** A minimum of 1 linear feet of fixed seating shall be provided per 30 square feet of paseo. 50% of the seating shall have a backrest and armrest. The fixed seating could be individual seats, benches, seat walls, or planter ledges. Seating dimensions shall comply with ADA regulations.

C. **Miscellaneous Site Furnishings.** Site furnishings and fixtures like tree grates, bollards, trash receptacles, drinking water fountains, bike racks etc. shall be durable in harsh weather conditions, vandal resistant, and designed to require low maintenance.

HARDSCAPE

- » Paseos should be paved with high-quality, durable materials that complement the architectural style of adjacent buildings.

SEATING

- » A variety of fixed and movable seating options should be provided. Ideas for seating include: moveable chairs, fixed benches, seat walls, planter ledges, fountain borders, and seating steps.
- » While the minimum seating requirement should be met with seats designed for comfort, additional seating can take more creative forms as part of public art and landscaping designs.



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5.3.7 SOFTSCAPE

A. **Trees.**

1. Trees within Paseos shall be selected in compliance with the Pasadena Tree Ordinance and shall have higher canopy and sited to ensure visibility at the pedestrian level, while maximizing shade.
2. A minimum of one 24-inch box tree with 4" in caliper or multi-stem equivalent per project or per each 750 sqft of Public Open Space, whichever is greater, shall be planted.
3. For projects with 2 or more trees, at least 50% of trees planted shall be shade trees.
4. All existing trees shall be protected in place or transplanted in accordance to the Pasadena Tree Protection Ordinance.

- B. **Shrubs/Ground Covers.** A minimum of 25% of Paseos shall be planted area at least 30 inches in each dimension. For safety reasons, planting shall be chosen to ensure clear sight lines across the paseos at full plant maturity.

- C. **Vertical landscaping.** Vertical landscaping may substitute for planted area, in which case the area requirement is halved. Green walls shall consist of their own substructure and dedicated hydration system; green facades, composed of climbing vines or other plants, are not considered vertical landscaping for the purposes of this standard.

- D. **Invasive Species.** To prevent introduction of an invasive species, plant material shall be selected in compliance with the California Department of Food & Agriculture, California Invasive Plant Council, and Natural Resources Conservation Service (NRCS) policy and requirements regarding invasive species.

- E. **Soil depth.** To ensure livelihood of planting and trees, soil depths of at least 18 inches for grass or ground cover; 3 feet for shrubs; and 3 feet, 6 inches for trees shall be provided.

- F. **Irrigation.** All plant materials shall be selected in compliance with Model Water Efficient Landscape Ordinance (MWELO) Drainage systems are also required in planted areas located above subsurface structures such as garages or basements.

SOFTSCAPE

- » Landscaped areas should contain a combination of low, medium, and tall plant materials as appropriate. Larger plants and shade trees should be placed to allow for clear walkways.
- » Landscaping should be used to activate building facades, soften building contours, highlight important architectural features, screen less attractive elements, add color, texture, and visual interest, and provide shade.
- » Landscape elements in non-fixed planters are encouraged to enhance areas where in-ground landscaping is infeasible or limited.
- » The property owner or his/her agent should maintain landscaping within the paseo.



5.3.8 LIGHTING

- A. Pedestrian scale light poles or light fixtures mounted on building façade shall be used and conform to the latest State of California Green Building Standards Code and California Energy Code.

5.3.9 UTILITIES & TRASH ENCLOSURES

- A. Any above-grade utilities shall be in aesthetically pleasing enclosures, securely locked, and be designed to complement the Paseos overall character and design.



LIGHTING

- » Paseos should include a sufficient amount of lighting for night-time use.
- » Lighting should be an integral component of the overall paseo design and is encouraged to be incorporated in public art.
- » Lighting should be pedestrian scaled, including both low-level pathway lighting and overhead wall mounted fixtures.

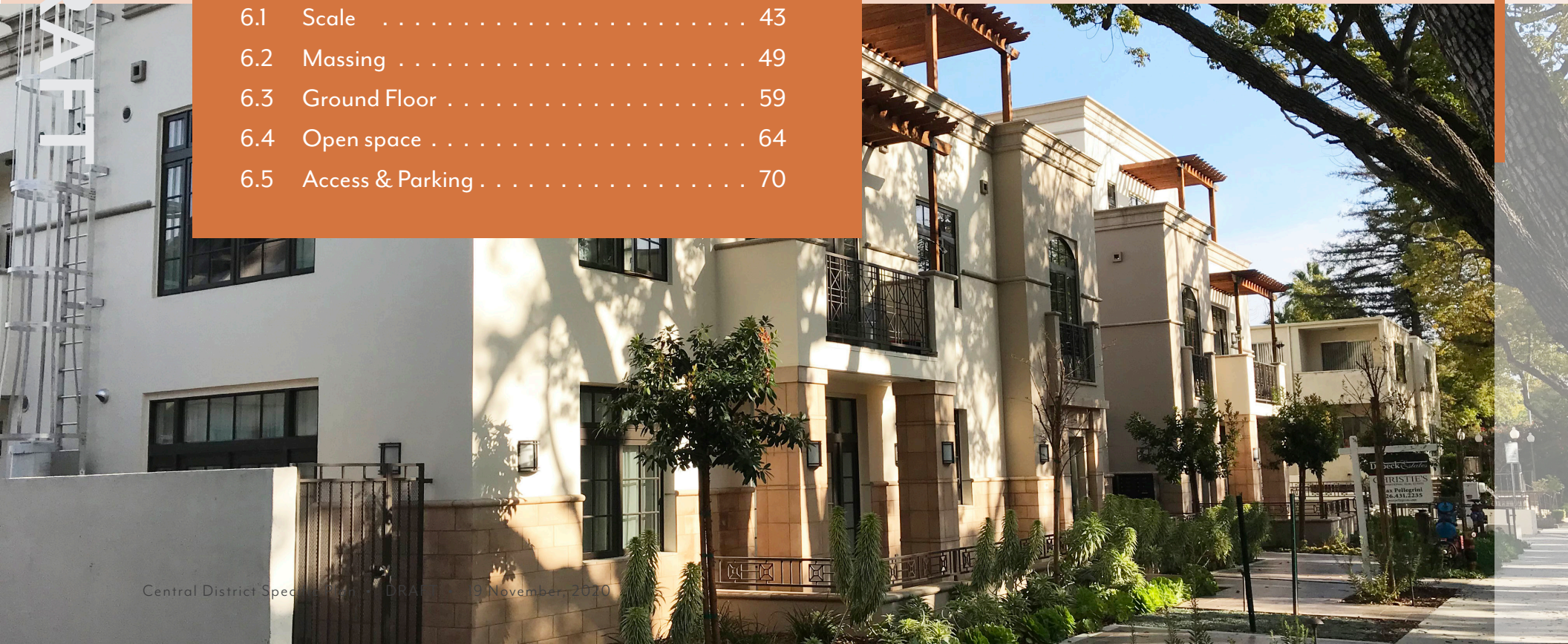
AMENITIES & PROGRAMMING

- » A waste receptacle should be provided for every 5,000 square feet of the paseo (i.e. two for a paseo 400 feet in length)
- » Waste receptacles should be clearly marked and designed to complement surrounding architecture and materials.
- » A mix of direct sunlight and shade should be provided through shade structures, landscaping, and building massing.
- » Paseos should include at least one special feature such as a public art piece or water feature.
- » Bike racks and scooter parking areas should be provided near entrances, without obstructing walkways.
- » Paseos should be considered sidewalks for the purposes of permitting street vending in compliance with Pasadena Municipal Code Section 12.10 - Sidewalk Vendors and California Senate Bill 946 (Safe Sidewalk Vending Act).
- » Non-transactional programming should be encouraged to activate the space without financial barriers to entry.

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Ch. 6 Development & Design Standards

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DEVELOPMENT & DESIGN STANDARDS

IMPORTANCE

The development and design standards in this chapter serve to implement the General Plan vision for Central District Specific Plan Area:

“The primary civic, business, financial, retail, entertainment, and cultural center of Pasadena with supporting housing enabling residents to live close and walk to these uses and access regional transit.”

Development and design standards can both regulate and stimulate development to achieve this vision. The standards identified for the Central District Specific Plan facilitate a range of housing types and businesses, shopping, services, and entertainment opportunities, and aim to strengthen economic vitality by supporting existing businesses and providing opportunities for new commercial development in underutilized areas. While the standards in this chapter are focused on achieving a forward-thinking vision, they also serve to guide development with contextual sensitivity to historic landmarks and neighboring residential communities.



Each section includes rationale for the standard followed by sub-sections for individual standards, if applicable. Within each standard, introductory text is provided for additional context, followed by standards in text and/or table format with diagrams and images to illustrate regulations. Note that diagrams and images are provided to communicate measurement and intent of the standards; neither are intended to suggest the use of particular architectural styles.

Scale and Massing standards in Central District create a visually engaging pedestrian experience, and add to a compelling skyline while preserving views of landmarks like City Hall.

CHAPTER OVERVIEW

The development and design standards in this chapter address and regulate new development, working together to facilitate high-quality, context-sensitive buildings which support the civic, commercial, and cultural center of Pasadena in the Central District Specific Plan Area. Each development and design standard serves a distinct purpose and collectively forms a holistic toolbox of strategies. The following standards are presented in this chapter:

- » **6.1 Scale.** Addresses residential density, commercial intensity, and building heights.
- » **6.2 Massing.** Covers a series of development and design standards which work together to shape development.
- » **6.3 Ground Floor.** Focuses on the street level of developments.
- » **6.4 Open Space.** Introduces standards for private, common, and public use.
- » **6.5 Access & Parking.** Addresses vehicle access and parking standards, as well as standards which address parking garages.

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6.1 SCALE

The General Plan Land Use Element designates a range of intensities and densities in the Central District Specific Plan Area to focus growth into key sub-areas and in proximity to the three Metro L Line stations, and to support economic vitality while preserving and complementing the urban core and existing and historic scale.

The standards in this section are intended to:

- » Implement the General Plan densities (du/ac) and floor area ratios (FAR)
- » Require new development within and adjacent to the historic districts to be compatible with [historic] scale, density and urban design features
- » Support opportunities to increase housing near transit, and require various unit sizes to support individuals and families

The following standards are covered in detail in this section:

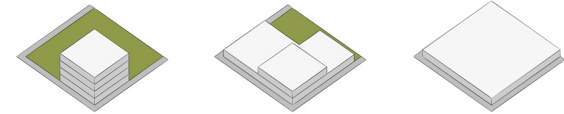
- » 6.1.1 Density
- » 6.1.2 Intensity
- » 6.1.3 Height



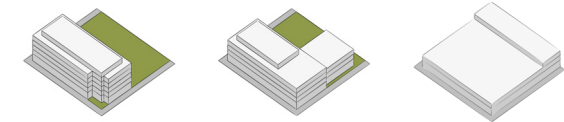
FLOOR AREA RATIO (FAR)

FAR is the calculation used for measuring non-residential or mixed-use development intensity, describing the total permitted floor area in relation to the total area of the development site. The diagrams below demonstrate how each FAR value can apply to a variety of building forms.

1.0 FAR

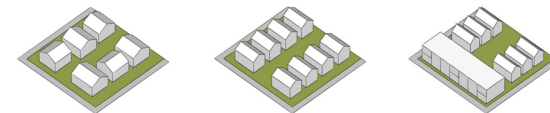


2.25 FAR



DWELLING UNITS PER ACRE (DU/AC)

Dwelling Units per Acre (du/ac) is the calculation used for measuring residential density, describing the number of residential housing units permitted in relation to 1 acre of land. The diagrams below reflect how various densities take shape on a 0.5 acre plot of land.



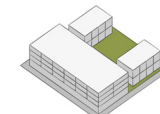
12 du/ac

16 du/ac

32 du/ac



48 du/ac



87 du/ac

6.1.1 DENSITY

- A. **Density.** Projects that include residential dwelling units shall not exceed the allowable dwelling units per acre (du/ac) set in Map 6.1-2. The maximum is based on gross site area; a reduction in buildable area due to dedications/easements shall not reduce allowable maximums.
- B. **Unit mix.** For Projects with 50 dwelling units or more, at least 15% of the total number of units shall have three bedrooms or more. Projects within designated historic districts and those comprised of 100% single-room occupancy (SRO) are exempt.

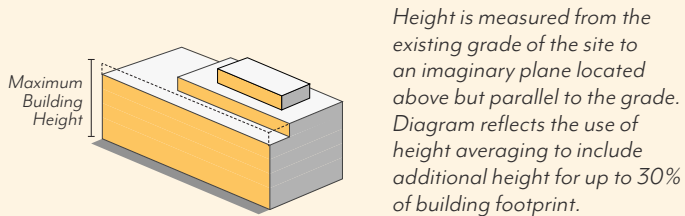
6.1.2 INTENSITY

- A. **Intensity.** Projects that include non-residential space, including mixed-use, shall not exceed the allowable floor area ratio (FAR) set in Map 6.1-1. The maximum is based on gross site area; a reduction in buildable area due to dedications/easements shall not reduce allowable maximums.

SCALED DEVELOPMENT & HOUSING NEEDS

FAR and height maximums aim to focus the largest developments near Metro stations and major intersections like Lake & Colorado, while protecting views of landmark buildings. Density maximums aim to provide additional housing capacity downtown, particularly around transit, while protecting outlying areas from over-development. Unit mix requirements encourage inclusion of family-sized housing options.

Figure 6.1-1: Maximum Height

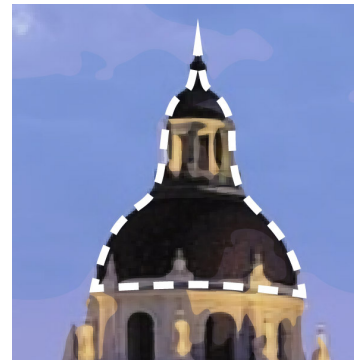


Note: Diagram used for measurement illustration purposes only.

6.1.3 HEIGHT

- A. **Height limits.** Projects shall comply with the allowable height limits set in Figure 6.1-3.
- B. Height is measured from the existing grade of the site to an imaginary plane located above but parallel to the grade.
- C. **Exceptions** allowed for projecting features such as appurtenances and railings per PMC17.40.060.
- D. **Height Averaging.** With approval of Design Commission, height limits may be exceeded for up to 30% of the building footprint to the maximum set in Figure 6.1-3, provided that the average height over the entire footprint does not exceed the allowable height.
 - a. The intent is to counterbalance additional height by lower heights elsewhere to achieve an economically-feasible development that also protects view corridors and contributes to a more visually-compelling skyline.
 - b. Additional height is not applicable to other development standards relating to building scale and massing, including setbacks, or to parking and/or accessory structures, and may not be used in conjunction with the height concession set forth in the Affordable Housing Concession Menu (PMC17.43.055).
- E. **City Hall View Corridor.** Projects shall not block the view of the City Hall dome (Figure 6.1-2) as visible from the intersection at Hudson Avenue and Union Street.

Figure 6.1-2: City Hall Dome

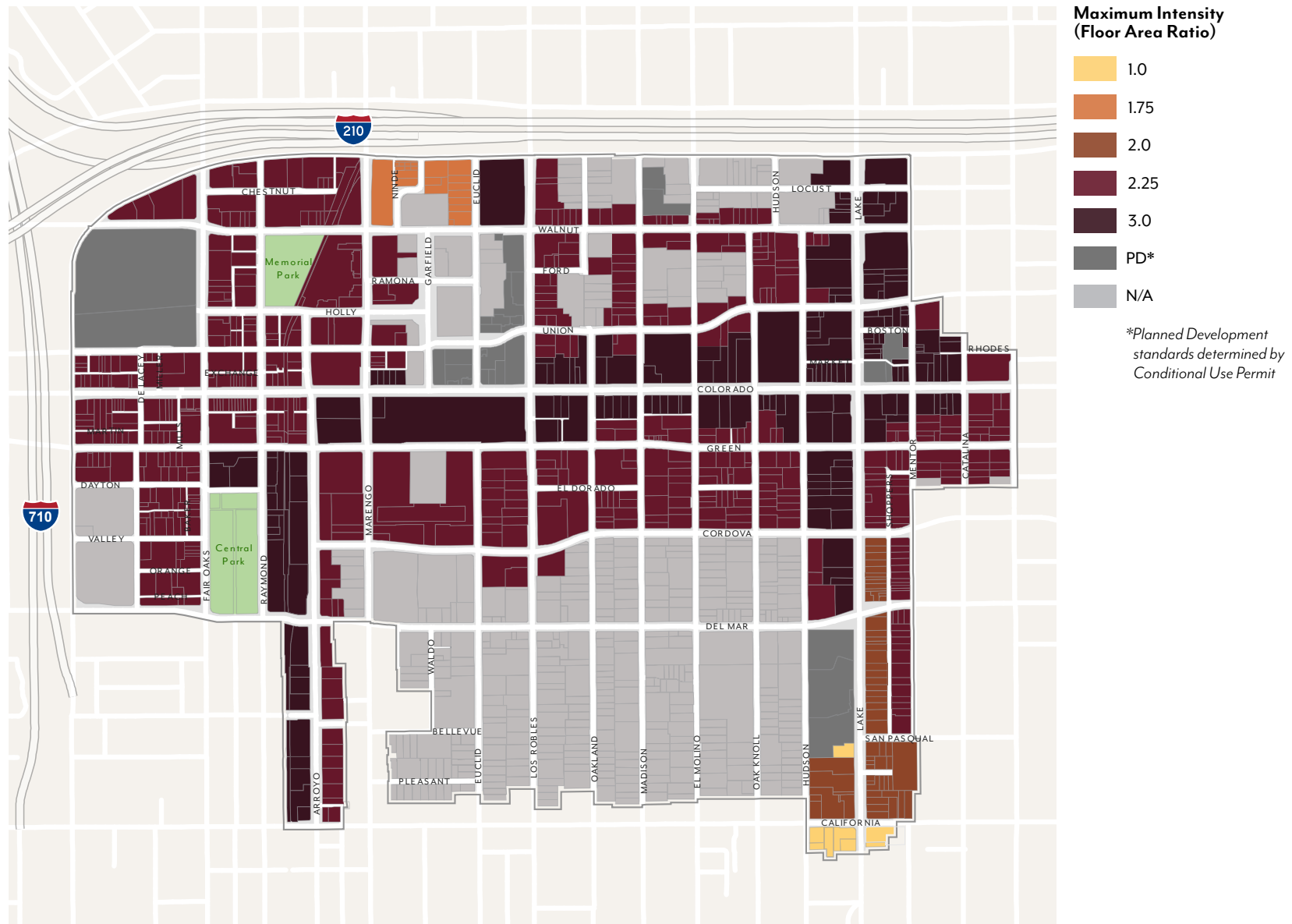


BUILDING HEIGHT

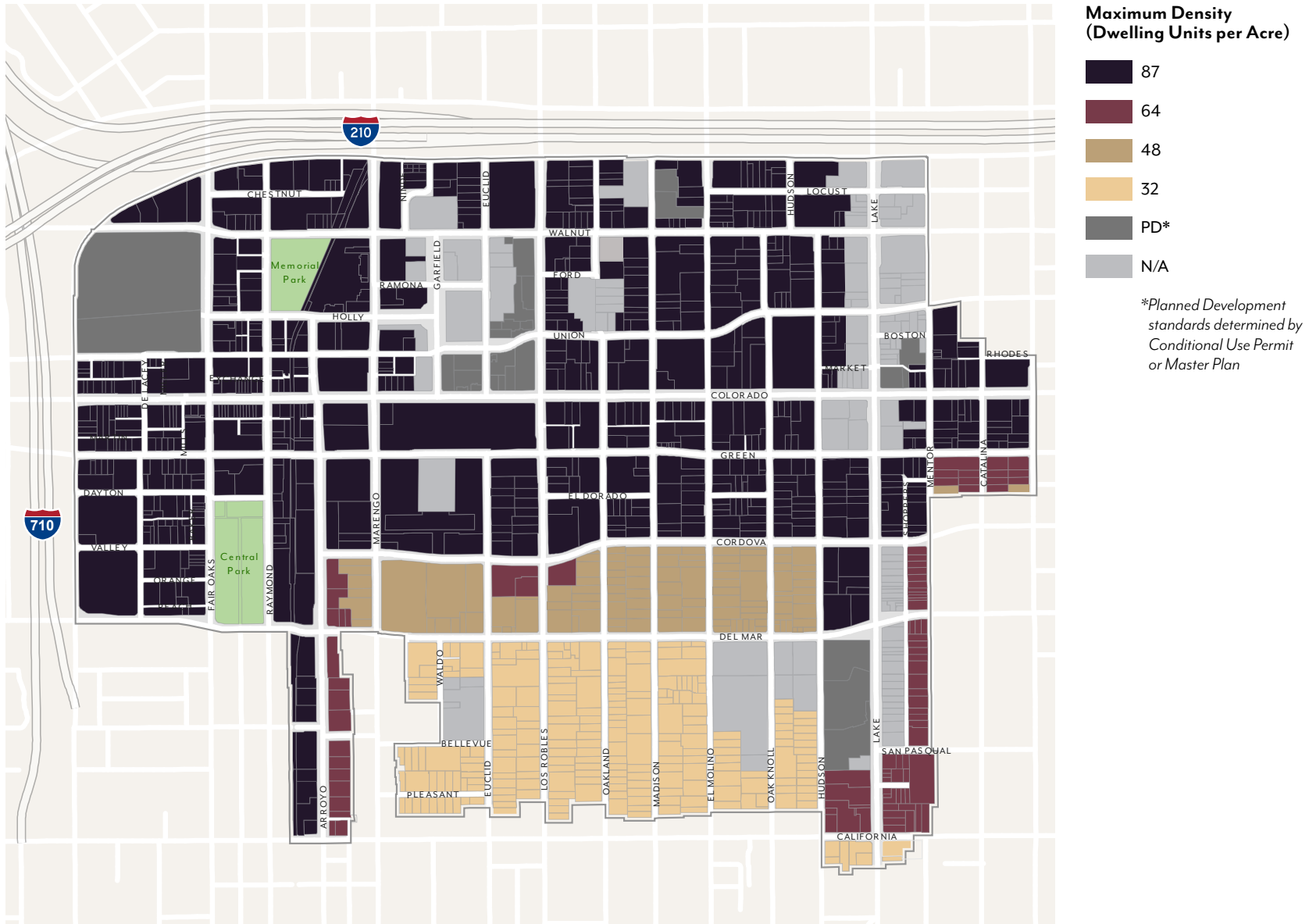
Height standards ensure that developments are built in relationship to their surrounding context, creating overall architectural cohesion throughout a neighborhood or corridor.

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Map 6.1-1: Maximum Floor Area Ratio (FAR)

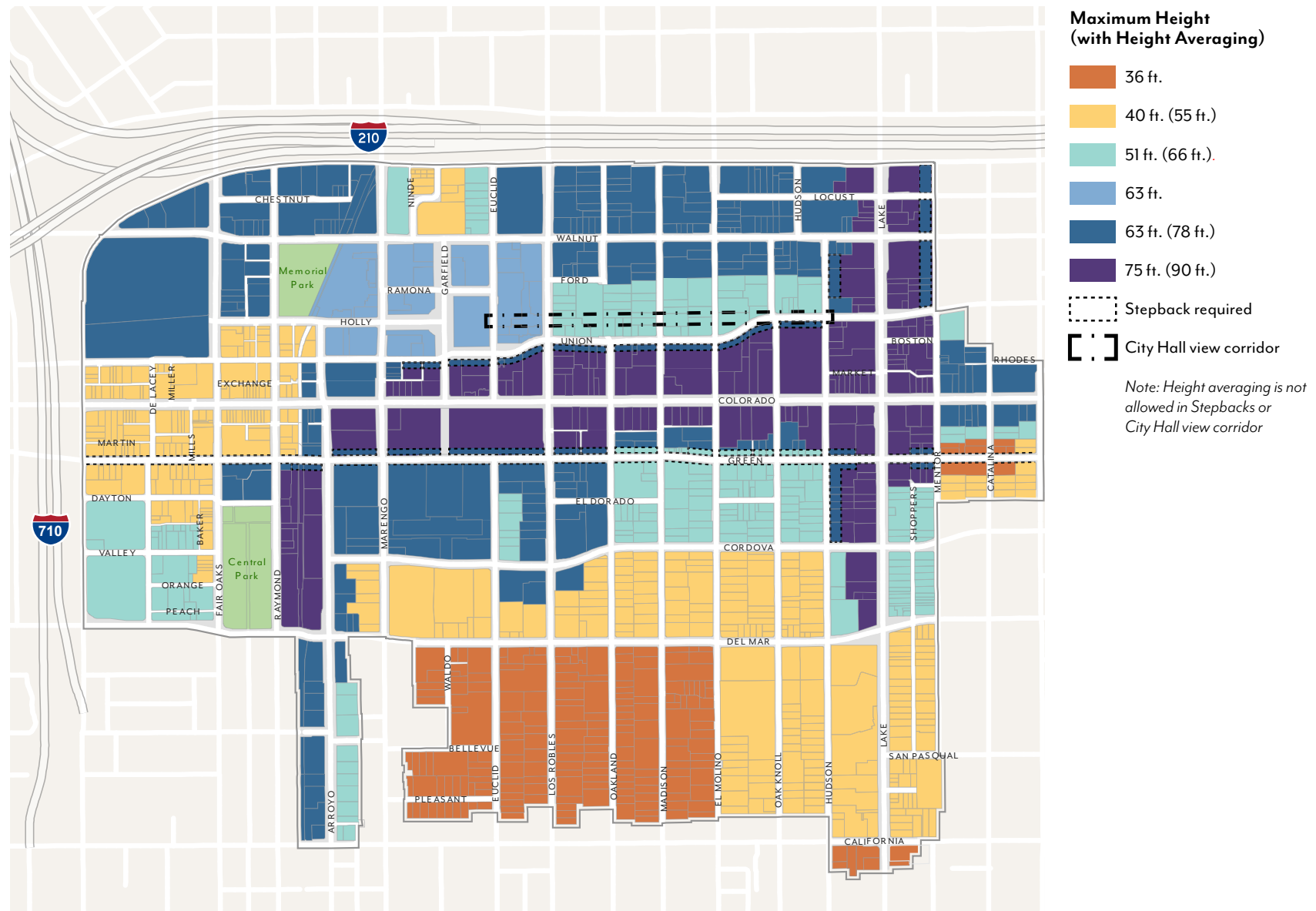


Map 6.1-2: Maximum Density (du/ac)



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Map 6.1-3: Maximum Building Height



HEIGHT EXAMPLE IMAGES

The images above reflect a range of building heights that are allowed in sub-areas throughout the Central District Specific Plan area. Architectural features such as roof shape, setbacks, and modulation can add variation to the roof line and reduce visual impact of building height.



Example of approximately 36 foot building



Example of approximately 40 foot building



Example of approximately 51 foot building



Example of approximately 63 foot building



Example of approximately 75 foot building

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6.2 MASSING

The standards in this section are intended to:

- » Shape development in a manner that creates a defined public realm and appropriate scale of buildings for a visually appealing community.
- » Reduce building massing adjacent RS zones through setback and stepback requirements that create appropriate transitions to residential neighborhoods.
- » Require appropriate transitions to registered historic structures and districts.
- » Support high-quality architecture and urban design with articulation and modulation requirements.

The following standards are covered in detail in this section:

- » 6.2.1 Street Setbacks
- » 6.2.2 Interior Setback
- » 6.2.3 Streetwall Height
- » 6.2.4 Upper Story Stepback
- » 6.2.5 Building Separation
- » 6.2.6 Facades
- » 6.2.7 Historic Adjacency

SHAPE & DESIGN OF DEVELOPMENT

Building massing contributes to the overall shape and design of development. Through building setbacks, developments can allow for landscaping, seating and shade structures, as well as public plazas and open space. Between buildings, development can step back from the property line to help ensure context-sensitive massing transitions, including transitions to residential neighborhoods or historic properties. Streetwall height and façade modulation work together with the range of massing tools listed above to contribute to attractive and pedestrian-scaled buildings by balancing linear visual consistency with interest and variety.



6.2.1 STREET SETBACKS

- A. **Street Setback.** Projects shall comply with the setback minimums and maximums set in Map 6.2-1 for at least the specified percentage of primary frontage, measured from the minimum sidewalk line. While the remaining frontage may exceed the maximum, setbacks less than the minimum are not permitted.
1. Street setbacks are those abutting public right-of-way and are measured from the minimum sidewalk line.
 2. Arcades and recessed ground floors up to 15 feet in depth are permitted when the second story meets the specified setback range. Other exceptions allowed per PMC17.40.160 (Table 4-1).
 3. The primary frontage percentage may be reduced as follows to allow for the provision of Open Space at the street.
 - a. **Public Open Space:** minimum 50% of primary frontage shall meet the setback range.
 - b. **Common Open Space,** with Design Commission approval: 50% of primary frontage shall meet the setback range.
 4. Fences, dense hedges, raised planters and freestanding walls are permitted within the street setback only when enclosing permitted outdoor dining areas or in front of residential dwelling units.
 - a. Those that are at least 50% transparent shall have a maximum height of 42 inches, as measured from sidewalk grade at the minimum sidewalk line.
 - b. Those that are less than 50% transparent shall have a maximum height of 30 inches, as measured from the sidewalk grade at the minimum sidewalk line.
 - c. Exceptions allowed for guardrails, which may exceed the maximum height to the extent required by the Building Code. The guardrail shall be at least 50% transparent.
 5. Other features allowed within the street setback include:
 - a. Landscaping/planters,
 - b. Hardscape (e.g. stoops, patios),
 - c. Seating/furniture,
 - d. Shade structures, and
 - e. Other open space amenities per review authority approval.

6.2.2 INTERIOR SETBACK

- A. **Interior Setback.** No setback is required along interior property lines.
1. Interior setbacks are those abutting other parcels (interior side and rear) and are measured from the property line.

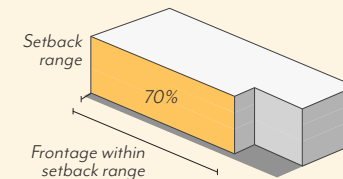


Street setbacks can include a range of features, including outdoor seating



To increase opportunities for greening, setbacks can include features like landscaping and planters

Figure 6.2-1: Street Setback

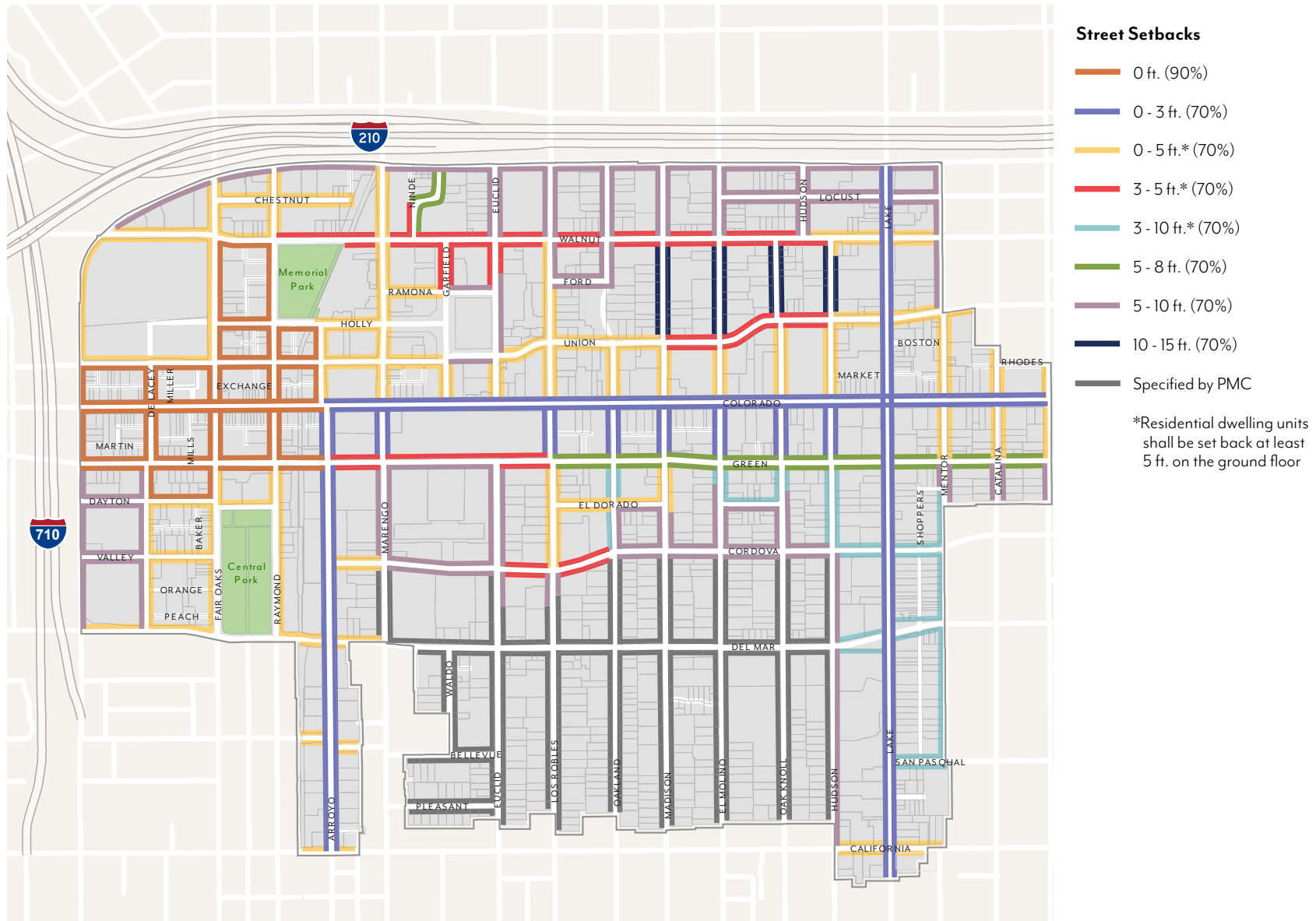


Up to 30% of primary frontage can be setback farther than the required range (setback range varies by zoning district and street).*

**Projects with a 0-foot setback requirement may only set back up to 10% of their primary frontage.*

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Map 6.2-1: Street Setbacks



STREET SETBACK EXAMPLE IMAGES

Street setbacks refer to the space between the public sidewalk and a building. The images above reflect a range of setback conditions allowed in sub-areas throughout the Central District Specific Plan. Setback standards create a consistent streetwall and help achieve an appropriate level of interaction between the public realm and private properties. Setbacks can enhance the building frontage zone by providing room for landscaping and outdoor dining. Wider setbacks provide a buffer between the sidewalk and residential properties.



Example of 3 foot setback



Example of 5 foot setback



Example of 10 foot setback



Example of 15 foot setback



Example of Recessed Ground Floor



Example of Arcade

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6.2.3 STREETWALL

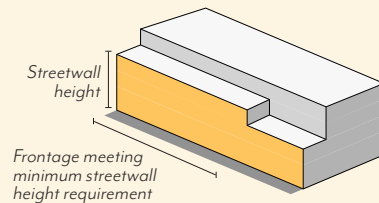
- A. **Streetwall Height.** Buildings shall meet or exceed the minimum streetwall height set in Table 6.2-1 for at least 70% of building frontage, unless the overall building height is lower than the requirement.
1. Streetwall is defined as any street-facing façade within 10 feet of the maximum setback.
 2. Streetwall is not required to be continuous.



Table 6.2-1: Streetwall Height Minimum

	Streetwall Height Minimum
Colorado Blvd	25'
Lake Ave (North of Cordova)	40'
Lake Ave (South of Cordova)	25'
Walnut St	25'

Figure 6.2-2: Streetwall Minimum Frontage



Buildings shall meet the minimum Streetwall height set in Table 6.2-2 for at least 70% of frontage if the overall building height is greater than the minimum

Note: Diagram used for measurement illustration purposes only.



A SENSE OF PLACE THROUGH STREETWALLS

A continuous streetwall creates an engaging commercial environment, with architectural consistency and visual interest. A streetwall of at least two stories on major commercial corridors contributes to a sense of place and enclosure.

6.2.4 UPPER STORY STEPBACKS

- A. **Upper Story Stepback.** Projects shall comply with stepbacks set in Ma 6.1-3 (Maximum Building Height). Additionally, Projects along Green Street shall not exceed 20 feet in height before stepping back 8 feet in depth, measured from the minimum sidewalk line.
1. Stepback height is measured from the lowest elevation of the existing grade on the minimum sidewalk line.
 2. Allowed uses within the stepback include balconies, patios, trellises, green roofs, and other open space features per review authority approval.

6.2.5 BUILDING SEPARATION

- A. **Building Separation.** In RM-87, Projects shall be separated from existing buildings on adjacent lots by at least 10 feet above the first floor.

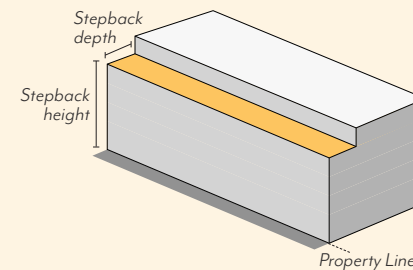


Table 6.2-2: Minimum Stepbacks

	Depth	Height
Green St	8'	20'
Green St*	50'	51' / 63'
Hudson Ave*	100'	63'
Mentor Ave*	100'	63'
Union St*	50'	63'

*Stepback only required where indicated on Map 6.1-3

Figure 6.2-3: Minimum Stepbacks



Projects shall step back the depth from the property line at the height set in Table 6.2-3.

Note: Diagram used for measurement illustration purposes only.

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6.2.6 HISTORIC ADJACENCY

- A. **Landmark Properties.** Projects on parcels with a designated historic resource shall be subject to review and approval by the Historic Preservation Commission for consistency with the Secretary of the Interior's standards.
- B. **Transition Massing.** Projects sharing a property line with a designated historic resource are subject to the following modified standards.
1. **Street Setback.** A minimum street setback shall be an average of the minimum setback set in Map 6.2-1 and that of the resource for at least 20 feet from the shared property line. If between two resources, the street setback shall be an average of the setbacks of the two resources.
 2. **Interior Setback.** A minimum interior setback shall match that of the historic resource. No setback is required where the resource is built to the shared property line.
 3. **Streetwall Height.** A maximum streetwall height shall be no higher than the height of the historic resource for at least 20 feet from the shared property line. A stepback at least 10 feet in depth is required above this height, measured from the modified minimum street setback.
 4. **Upper Story Stepback.** A maximum stepback height on the interior property line adjacent the resource shall not exceed an encroachment plane sloping upward and inward at a 30-degree angle measured from the vertical, commencing 20 feet above the existing grade at the property line.
 - a. No stepback is required where the resource is built to the shared property line.

HONORING HISTORIC SIGNIFICANCE

In addition to preserving historic landmarks throughout the district, modified standards for adjacent properties ensure that historic structures do not appear diminished or incongruous with new developments that take form in the surrounding area.



Pasadena City Hall

Completed in 1927, the Beaux-Arts Mediterranean Revival structure is on the National Register of Historic Places



Pasadena Playhouse

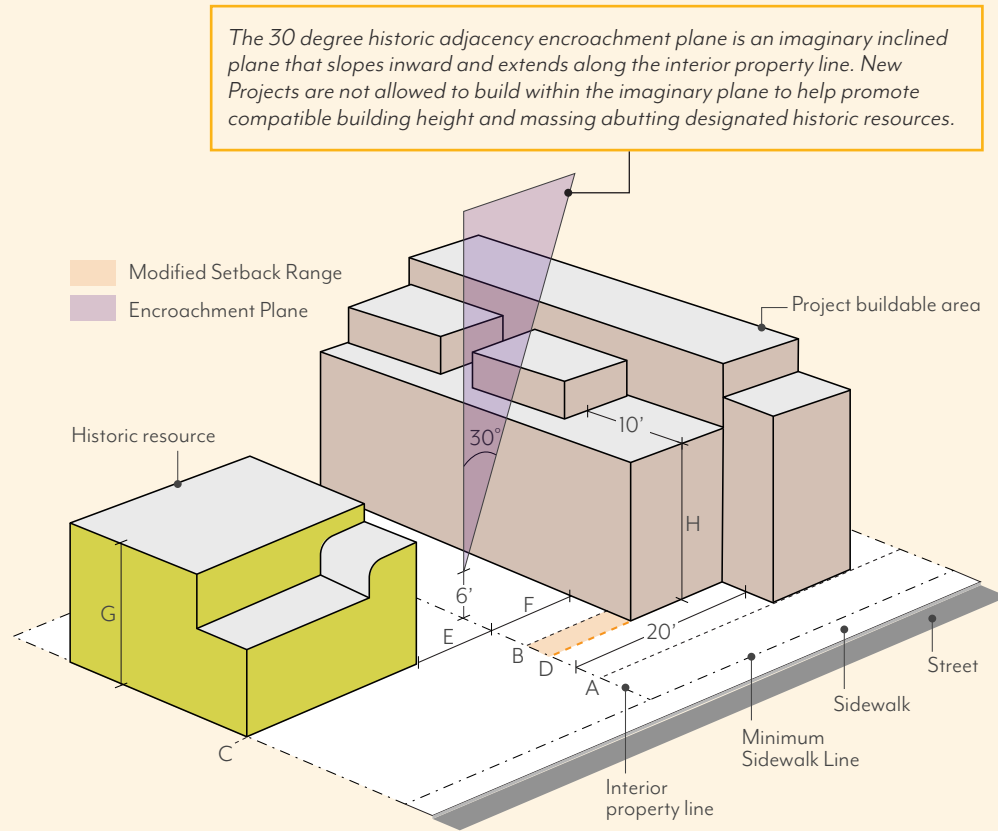
Completed in 1925, the Spanish Colonial Revival auditorium is on the National Register of Historic Places



Pacific Southwest Trust and Savings Bank Building

Completed in the 1920s, this 8-story structure was the largest commercial building in the City at the time and was designed in the Renaissance Revival style

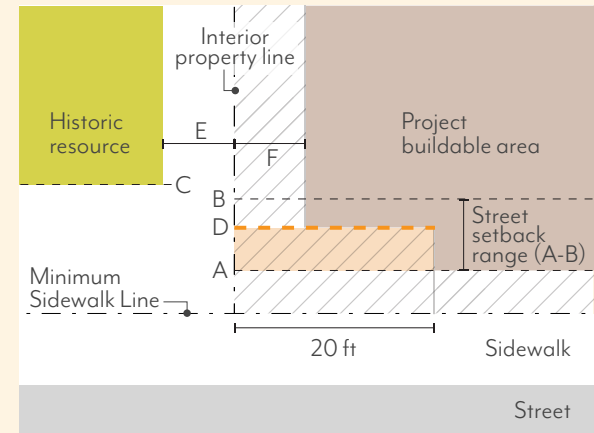
Figure 6.2-6: Historic Adjacency Transition Massing



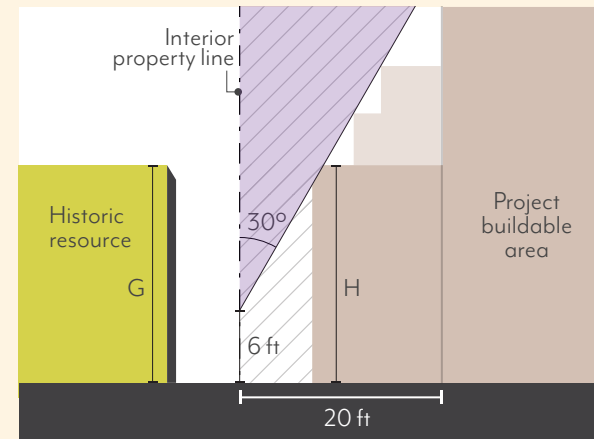
A: Minimum street setback from setback range
 B: Maximum street setback from setback range
 C: Street setback of historic resource
 D: Modified minimum street setback (average of A & C) within 20' of Interior property line

E: Interior setback of historic resource
 F: Interior setback of project
 G: Height of historic resource
 H: Maximum height before setback of 10' in depth within 20' of Interior property line

PLAN VIEW



ELEVATION VIEW



Note: Diagrams used for measurement illustration purposes only.

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6.2.7 FAÇADES

- A. **Dimensions.** Buildings over 150 feet in length shall include a break of at least 10% of the building length or 20 feet, whichever is more. This break shall be at least 10 feet deep, open to the sky.
- Exception: Residential-only buildings with individual unit entrances may have facades up to 200 feet in length before a break is required.
- B. **Modulation.** Buildings over 50 feet in length in height shall modulate a minimum of 25% of the area above the ground floor at least 2 feet in depth from the Primary Façade Plane. Buildings with 2 stories or less are exempt.
- The Primary Façade Plane is defined as the vertical plane with the greatest surface area above the ground floor.
 - Modulation is not required to be continuous or open to the sky, and may be recessed or projected.
 - Additional facade breaks beyond the minimum required may count towards the modulation requirement
 - Projected balconies do not count toward modulation requirement.
- C. **Transparency.** At least 20% of each façade facing a public street or required paseo shall be comprised of transparent openings. Façade transparency is inclusive of ground floor requirements set in section 6.3.3, though each shall be measured independently.
- Transparent openings may include windows and doors with clear glass or façade openings with a minimum depth of 4 feet.
 - Windows shall be recessed by at least 2 inches from the façade; flush windows may be allowed per review authority approval.
 - The use of mirrored or highly reflective glazing is prohibited.
- D. **Materials.** At least 5% of each façade shall consist of a secondary material, excluding those used in windows, doors, and railings.

Figure 6.2-4: Façade Length

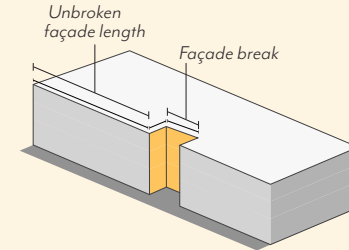
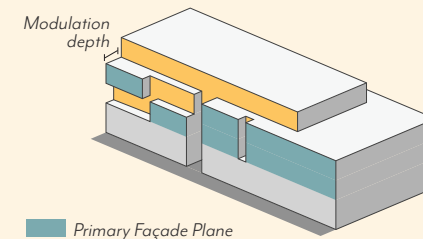


Figure 6.2-5: Façade Modulation



Note: Diagrams used for measurement illustration purposes only.

CREATING VISUAL INTEREST AND BREAKING UP MASS

Façade modulation refers to variations in depth of a building's façade. Modulation can be achieved through architectural elements such as fenestration patterns and window bays, stepbacks, balconies, and full façade breaks. Modulation breaks up building massing, creates visual interest, and provides opportunities for open space.

FAÇADE & MODULATION EXAMPLE IMAGES

The images below reflect examples of appropriate façade and modulation treatments. These examples are illustrative and may not reflect all applicable development standards.



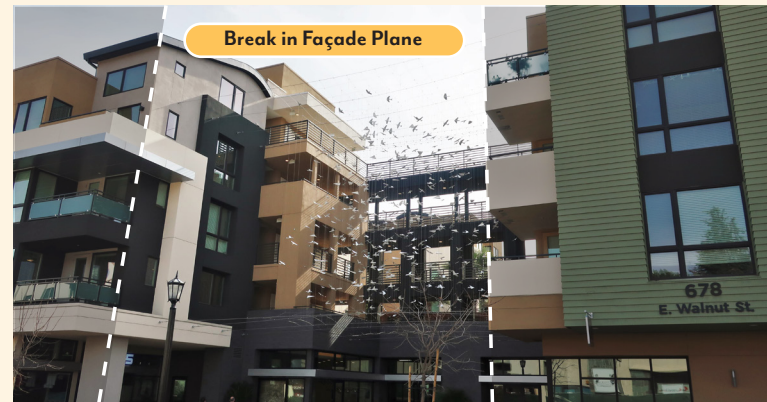
Balconies and other variations in wall plane depth create visual interest



A break in the façade plane creates visual interest and open-air space



Façade modulation can be applied to various architectural styles



Suspended art can interact with a façade break to enhance the building entrance

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6.3 GROUND FLOOR

The standards in this section are intended to:

- » Prioritize pedestrian access by ensuring doorways are open to a public sidewalk or public open space
- » Promote shade through arcades and shade structures
- » Increase visibility into ground floor uses to create visual interest for pedestrians
- » Limit blank walls on the ground floor to enhance visual interest and pedestrian comfort

CREATING A VIBRANT STREET ENVIRONMENT

Successful ground floor design contributes to a vibrant built environment to create an inviting, visually engaging, shaded sidewalk and pedestrian environment that supports commercial activity. Altogether, ground floor treatments increase visual interest and physical access across all building uses to create active frontages.

The following standards are covered in detail in this section:

- » 6.3.1 Dimensions
- » 6.3.2 Entrances
- » 6.3.3 Transparency
- » 6.3.4 Arcades
- » 6.3.5 Galleries
- » 6.3.6 Shade Structures
- » 6.3.7 Blank Walls
- » 6.3.8 Security Bars

Note: Residential lobbies and common spaces in mixed-use Projects shall follow the non-residential requirements. RM-48 and RM-32 zones shall follow PMC.

Ground floor standards in Central District promote walkability through comfort, design, and safety, and allow for flexibility in future development.



6.3.1 DIMENSIONS

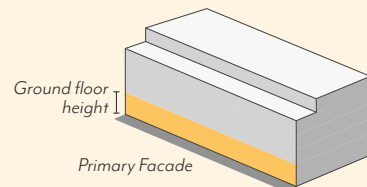
- A. Ground floor heights, measured floor-to-floor, shall be a minimum of 15 feet for nonresidential uses and 10 feet for residential uses. Nonresidential spaces shall have a minimum depth of 35 feet.



Example of an approximately 10' residential ground floor height

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Figure 6.3-1: Ground Floor Height



Note: Diagrams used for measurement illustration purposes only.



Example of an approximately 15' non-residential ground floor height

6.3.2 ENTRANCES

- A. **Entrances.** At least one primary entrance shall be located on the primary frontage and open into the public realm (e.g. a sidewalk or public open space).
1. Entrances shall be recessed at least 30 inches from the minimum sidewalk line adjacent public rights-of-way.
 2. Primary entrances shall be distinguished by architectural features such as overhead projections (e.g. a canopy or awning) or recessed planes.
 3. For nonresidential uses, primary entrances shall be located at sidewalk elevation.

6.3.3 TRANSPARENCY

- A. **For nonresidential uses,** at least 70% in MC and 60% in all other zones of each public-facing façade between a height of 3 and 8 feet above sidewalk elevation shall be transparent openings.
1. Transparent openings are defined as glazing that provides views into work, display, sales, lobby, or similar active areas with a minimum depth of 4 feet.
 2. Blinds, drapes, posters, signage, and shelving for product displays visible to the public right-of-way shall obscure no more than 10 percent of the transparent areas of each respective storefront.
 3. The use of mirrored or highly reflective glazing is prohibited.

6.3.4 ARCADES

- A. **Depth** of arcades shall be at least 8 feet from back of column to building façade. The building façade shall still meet ground floor transparency requirements set in section 6.3.3. Arcades are not allowed in public right-of-way or street setbacks.
- B. **Width** between arcade columns shall be at least the same dimension as arcade depth, as measured from the column center.
- C. Arcades may be used for:
1. Pedestrian travel,
 2. Seating/street furniture,
 3. Outdoor dining,
 4. Landscape planters, and/or
 5. Bicycle parking.



Example of appropriate entrance with awnings and a recessed plane



Example of appropriate ground floor transparency for a residential lobby (following non-residential requirements per section 6.3.3)

ACCESSIBLE AND ENGAGING FAÇADES

Entrance standards ensure that ground floor spaces are accessible, inviting, and easy to locate for both intentional visitors and passersby. Transparency standards create visual interest and engagement between ground floor uses and the public realm.

6.3.5 GALLERIES

- A. **Galleries** are not allowed in public right-of-way or street setbacks.
- B. **Exception:** Galleries are permitted to encroach on public right-of-way up to a maximum of 50 feet in length with approval from Design Commission and Public Works. Columns shall be 1 to 2 feet from curb face. At least 8 feet of vertical clearance from sidewalk elevation is required. Sidewalks shall still meet parkway requirements set in section 5.2.

6.3.6 SHADE STRUCTURES

- A. **Shade structures** may project up to 60% of the sidewalk width if they do not conflict with street trees. At least 8 feet of vertical clearance from sidewalk elevation is required.
 - 1. On the north side of Colorado Boulevard, shade structures shall project at least 8 feet into the public right-of-way for at least 70% of the building frontage. Shade structures shall allow at least 8 feet of vertical clearance and may project up to 10 feet into the public right-of-way, so long as they do not conflict with existing trees.

TRANSITIONAL OUTDOOR SPACES

Arcades and galleries create a shaded, transitional outdoor space between the public realm and ground floor interior. Shade structures contribute to a comfortable pedestrian experience and serve as inviting design features for ground floor uses.



Example of an appropriate commercial arcade treatment



Example of an appropriate shade structure

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6.3.7 BLANK WALLS

- A. Windowless expanses of walls on street-facing façades shall not exceed 20 feet in length.

6.3.8 SECURITY BARS

- A. Exterior and interior security bars are prohibited unless they are fully hidden from view during business hours with devices such as concealed side pockets and ceiling cavities.



Example of a blank and windowless ground floor wall (Prohibited)



Example of exterior security bars (Prohibited)

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6.4 OPEN SPACE

The following standards are intended to:

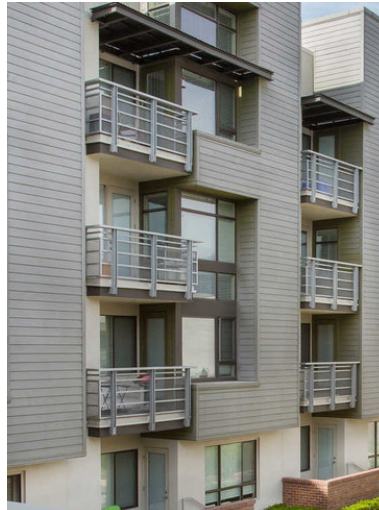
- » Provide a variety of open space types for gathering, recreation and respite that contribute to enhanced livability within an urban setting
- » Improve building design and site planning through the integration of open space throughout development
- » Correlate open space requirements with number of residents and size of buildings

The following standards are covered in detail in this section:

- » 6.4.1 Open Space Minimum Area Requirements
- » 6.4.2 Private Open Space
- » 6.4.3 Common Open Space
- » 6.4.4 Public Open Space



Public Open Space (Plaza)



Private Open Space (Balconies)



Common Open Space (Courtyard)

IMPORTANCE OF OPEN SPACE

High quality, usable and accessible open space across a variety of types contributes to an active public realm and successful building design. A combination of **Private Open Space**, such as balconies and patios, **Common Open Space**, such as shared courtyards, gardens, and pools as well as indoor community rooms and gyms, and **Public Open Space**, such as plazas and paseos, altogether serve a range of purposes, including spaces for informal dining, relaxation and community gathering for residents, employees, and visitors within an urban setting. Open spaces either on the ground floor or on upper level stories, correlated to the building use and size, can also help to break down building massing creating effective site and building design.

OPEN SPACE CATEGORIES

- » **Private.** Private Open Spaces, e.g. patios and balconies, are not freely open to the public and are only accessible from individual units.
- » **Common.** Common Open Spaces are shared among residents within a building and often take the form of courtyards, plazas, or other amenities, such as pools. Common Open Space can also include shared indoor open space, such as community rooms or gyms.
- » **Public.** Public Open Spaces, e.g. plazas, pocket parks, and paseos, are freely available to the public to use and typically include amenities such as seating, landscaping, fountains, and public art.

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Open Space standards require large developments to contribute public open space, while also enhancing resident livability through requirements for common and private open spaces

6.4.1 OPEN SPACE MINIMUM AREA REQUIREMENTS

- A. **Private and Common Open Space.** Projects shall provide the minimum area of Open Space based on use and size. Areas used regularly for parking, loading or storage do not count towards minimum Open Space requirements.
1. **Residential** projects shall provide a minimum area of Open Space based on unit types set in Table 6.4-1.
 2. **Non-residential** projects with more than 40,000 square feet of non-residential uses shall provide 5% of the gross non-residential floor area as Open Space. Open space may be any mix of Public, Common, or Private space. Projects with 40,000 square feet or less of non-residential space are exempt from this requirement.
 3. **Mixed-use** projects comprised of residential and non-residential uses shall comply with requirements applicable to each type of use.
- B. **Public Open Space.** Based on rail station proximity, projects shall provide a minimum area of Public Open Space based on a percentage of GFA set in Table 6.4-2.

6.4.2 PRIVATE OPEN SPACE

- A. **Distribution.** No more than 40% of the required residential Open Space shall be private to individual tenants.
1. All Private Open Space shall be outdoors.
- B. **Dimensions.** A minimum area of 36 square feet with a dimension of at least 5 feet in each dimension is required for Private Open Space.
- C. **Balconies and patios.** Balconies and patios may be located within a required setback.
1. Balconies may project 4 feet into a street setback, but not past the property line, and no closer than 6 feet to an interior property line.
- D. **Roof decks.** The sum of all roof decks (private and common) shall cover no more than one-third of the roof area.



Private Open Space (Front Patio)

Table 6.4-1: Residential Open Space Requirements by Unit Type

	Studio	1-BR	2-BR	3+ BR
Square Feet (per unit)	200	225	250	275
At least 70% must be Common Open Space; up to 30% may be Private Open Space				

Table 6.4-2: Public Open Space Requirements by Project Size

	<80k	80k-119k	120k-159k	160k-199k	>200k
Projects within 750 feet of a rail station platform*	None	4% GFA	4% GFA	5% GFA	6% GFA
Projects outside 750 feet of a rail station platform	None	2% GFA	3% GFA	4% GFA	5% GFA

*Projects within 750 feet of a rail station platform are entitled to parking reductions per section 6.5.2.

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6.4.3 COMMON OPEN SPACE

- A. **Distribution.** At least 60% of the required residential Open Space shall be common or shared among the tenants.
1. At least 70% of Common Open Space shall be outdoors, and at least 80% of outdoor Common Open Space shall be open to the sky.
 2. No more than 30% of Common Open Space may be indoors. Indoor Common Open Space may include a shared community room, fitness center, or similar but does not include spaces used primarily for circulation.
 3. No more than 60% of Common Open Space may be on a building's rooftop, defined as any roof area above the top two floors of the structure.
- B. **Dimensions.** A minimum area of 400 square feet with a dimension of at least 15 feet in each direction is required for Common Open Space.
- C. **Hardscape.** A maximum of 25% of Common Open Space may be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate, and/or other alternative paving per review authority approval.
- D. **Landscape.** A minimum of 25% of Common Open Space shall be planted area at least 30 inches in each dimension. Plant materials shall be selected in compliance with PMC17.44.050.
- E. **Trees.** A minimum of one 24-inch box tree per project or per each 500 square feet of Common Open Space, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50% of trees planted shall be shade trees.
- F. **Roof decks.** Common roof decks shall be set back 5 feet from the building edge on all sides. The sum of all roof decks (common and private) shall cover no more than one-third of the roof area.
- G. **Water features.** A maximum of 5% of Common Open Space may be fountains, reflecting pools, or other water features; swimming pools may count fully towards Common Open Space.
- H. **Access.** Common Open Spaces may be accessible to the public if desired but is not required to meet Public Open Space requirements, though the same area shall not count towards both Common and Public Open Space..



Enhanced paving can improve the aesthetics and navigation of open spaces



Landscape and trees can improve aesthetics and provide shade in open spaces

COMMON OPEN SPACE

Common open spaces provide areas for gathering, recreation, and respite within a property that contribute to enhanced livability within an urban setting.

6.4.4 PUBLIC OPEN SPACE

- A. **Dimensions.** A minimum area of 400 square feet with a dimension of at least 15 feet in each direction is required for Public Open Space.
- B. **Signage.** Public Open Space shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and including opening hours.
- C. **Hours.** At a minimum, Public Open Space shall be open to the general public from 8am to 8pm.
- D. **Elevation.** A majority of Public Open Space shall be provided at ground level.
 - 1. For Projects requiring less than 3,000 square feet of Public Open Space, all required space shall be provided at ground level with a primary entrance at sidewalk elevation.
 - 2. For Projects requiring more than 3,000 square feet of Public Open Space, at least 3,000 square feet of Public Open Space shall be provided at ground level with a primary entrance at sidewalk elevation.
- E. **Hardscape.** A maximum of 25% of Public Open Space may be paved in standard concrete. Remaining paved areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate, and/or other alternative paving per review authority approval.
- F. **Landscape.** A minimum of 25% of Public Open Space shall be planted area at least 30 inches in each dimension. Plant materials shall be selected in compliance with PMC17.44.050 - Water Efficient Landscape: Incorporation of Model Water Efficient Landscape Ordinance.
 - 1. Vertical landscaping in the form of a living wall may substitute for planted area, in which case the area requirement is halved. Living walls consist of their own substructure and dedicated hydration system; green facades composed of climbing vines or other plants are not considered vertical landscaping for the purposes of this standard.
- G. **Trees.** A minimum of one 24-inch box tree per project or per each 750 of Public Open Space, whichever is greater, shall be planted. For projects with 2 or more trees, at least 50% of trees planted shall be shade trees.
- H. **Seating.** A minimum of 1 seat shall be provided per 300 square feet.
- I. **Paseos.** Selected parcels identified in Map 6.4-1 are required to meet the minimum Public Open Space through the provision of a paseo, or pedestrian passageway, that connects a public street to another public street or alley.
 - 1. Paseos shall have an average width of 25 feet and be at least 75% open to the sky.
 - 2. Paseos shall be at ground level.
- J. **Plazas.** Selected parcels identified in Map 6.4-1 are required to meet the minimum Public Open Space through the provision of a plaza, most often located at the corner of two public streets.
 - 1. Plazas shall have a dimension of 40 feet in each direction and be at least 75% open to the sky.
- K. **Credit.** Public Open Space in excess of the minimum may apply towards up to 30% of required Common Open Space.

PUBLIC OPEN SPACE

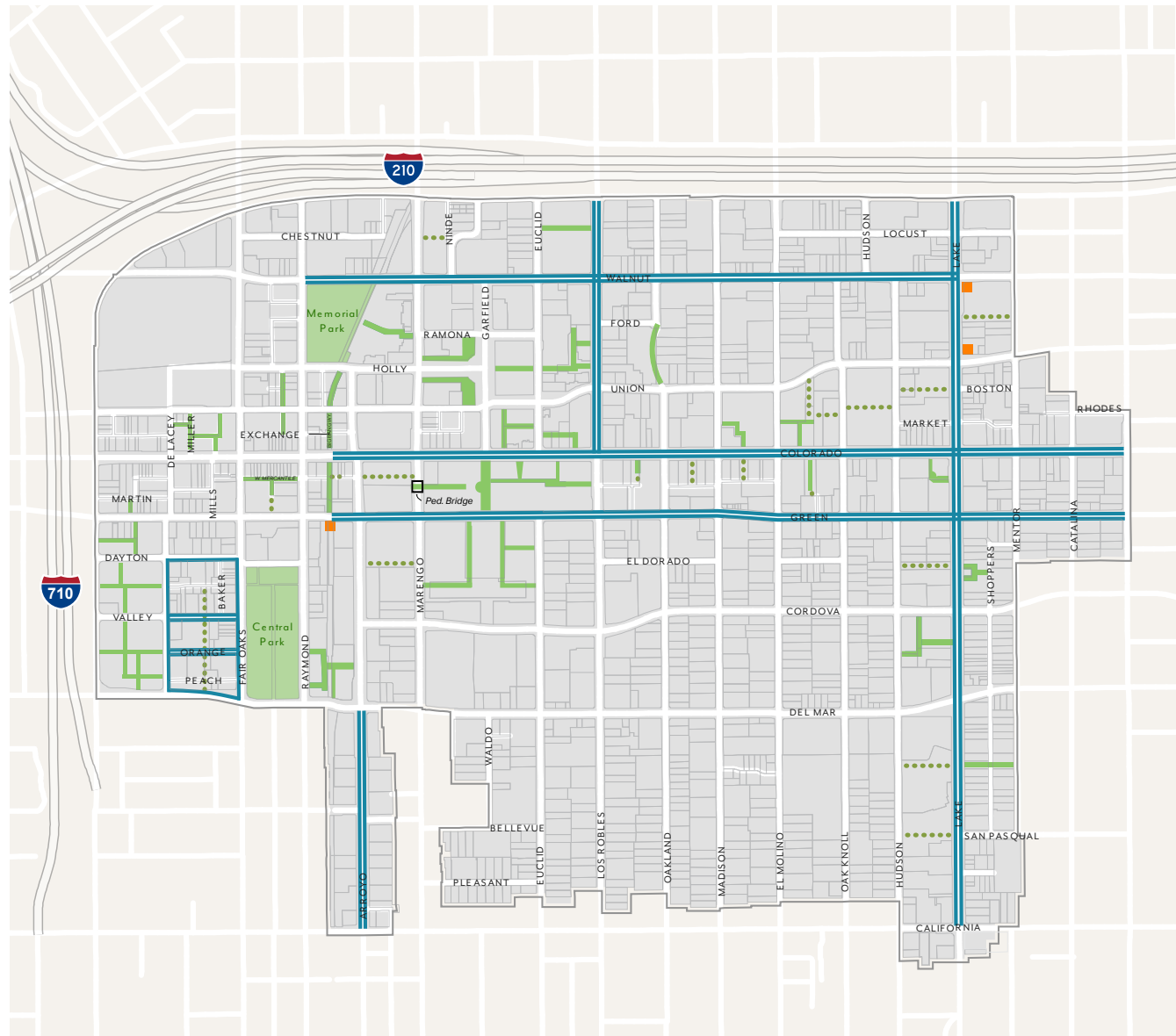
Public open spaces create a livable urban environment and provide community gathering spaces supportive of the commercial uses. Paseos break up building massing and increase pedestrian access.



A corner plaza in the Gateway subarea will help to create a distinct landmark and improve views to Colorado Boulevard when arriving from Allen Avenue.

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Map 6.4-1: Public Space



Public Open Space

- Public OS requirement*
- Existing pedestrian connection
- ... Required paseo location
- Required plaza location

*Projects fronting identified streets are subject to public open space requirements

6.5 ACCESS & PARKING

The access and parking standards in this section are intended to:

- » Reduce the visual impacts of parking
- » Regulate appropriate parking supply and location in a manner that prioritizes pedestrian access and multi-modal activity
- » Encourage change of use and adaptive reuse of existing buildings through parking reductions and exemptions
- » Promote a more efficient use of parking spaces through shared parking among multiple uses within a project
- » Increase design standards for parking structures through ensuring habitable floor areas between parking and street frontage and screening

The following standards are covered in detail in this section:

- » 6.5.1 Driveways
- » 6.5.2 Vehicle Parking Minimums
- » 6.5.3 Vehicle Parking Layout and Design

IMPORTANCE OF PARKING

Vehicle parking access, location and supply influences the street environment, multi-modal travel and overall development. Minimizing vehicular access, such as entries and driveways, can help to promote continuous sidewalk activity and safer travel across modes. Similarly, minimizing surface parking lot size and locations (such as placing lots behind buildings or a landscaped open space), supports the success of street-fronting activity, such as pedestrian travel and commercial frontages. The number of required parking spots is another defining factor that shapes urban travel and development. By establishing an appropriate number of parking spots by land use and size of development, residential and commercial activity can be supported while also attracting a variety of new development. Through tailored standards as well as parking reductions and exemptions for certain uses and conditions, space efficiency and cost savings are promoted.

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6.5.1 DRIVEWAYS

- A. **Number.** For Projects with less than 200 feet of primary street frontage, only one two-lane driveway shall be permitted. Two two-way driveways shall be permitted on Projects with more than 200 feet of primary street frontage.
- B. **Location.** Driveways are not permitted on primary frontages of less than 200 feet when there is access from a secondary street.

6.5.2 VEHICLE PARKING

- A. **Number of Spaces.** Projects shall provide the minimum number of parking spaces based on use and size as set forth in Table 6.6-1. A maximum number of parking spaces may apply per PMC17.50.340.
 - 1. Reductions allowed for:
 - a. **Commercial uses less than 5,000 square feet.** For Projects with less than 5,000 square feet of commercial uses, no parking is required for those commercial uses. Commercial uses include Recreation, Education & Public Assembly; Commercial Entertainment; Commercial Recreation; Office, Professional & Business Support; Retail Sales; and Services categories.
 - b. **Outdoor dining up to 2,000 square feet.** For the first 2,000 square feet of outdoor dining area on either public or private property, no parking is required.
 - c. **Historic resources and preservation of older buildings.** Any Projects on a parcel with a designated historic resource or building constructed prior to 1960 that involve new construction or enlargement of an existing structure may provide 25% of the parking requirement.
 - d. **Changes of use in historic resources and older buildings.** No new parking shall be required for any change of use in designated historic resources or buildings constructed prior to 1960 that would otherwise result in an increased parking requirement.
 - e. **Transit-oriented development.** reductions in parking requirements shall be available to Projects within half-mile of rail stations per PMC17.50.340.
 - i. Any Projects within 750 feet of rail stations are permitted a 30% reduction from the minimum parking requirement. This reduction may not be combined with that in PMC17.50.340.
 - f. **Shared parking.** Parking may be shared among multiple uses per PMC17.46.050.

- B. **Unbundled parking.** For any building with new residential units, parking shall be unbundled from the rents, sale prices, or other fees charged for occupying living space. Automobile parking spaces shall be leased or sold separately from the rental or purchase fees, such that renters or buyers have the option of renting or buying the space at a lower price than if automobile parking was included.
 - 1. Affordable units are not subject to this provision and are required to include one parking space for the unit in the base rent or sales price.

6.5.3 VEHICLE PARKING LAYOUT & DESIGN

- A. **Surface parking.** Parking lots shall be set back at least 30 feet from the primary frontage and 10 feet from any secondary frontage. Parking shall be buffered by habitable floor area or landscaped open space.
 - 1. Landscaping shall include hedges or shrubs at least 3 feet in height at the time of planting, and no more than 4 feet in height at any time. These hedges or shrubs need not be planted within the entire landscaped area but shall form a continuous visual screen.
- B. **Podium parking.** No more than one story of above-grade parking is permitted within habitable buildings. Multiple stories of above ground parking are permitted within wrap style developments or parking structures if the project meets the parking structure standards below.
 - 1. Screening shall hide parking areas visible from a public street, using heavy-gauge metal, precast concrete panels, laminated glass, green walls, photovoltaic panels or other material per review authority approval.
- C. **Parking structures.** Structures shall be buffered with habitable floor area between the parking and any street frontage (not including alleys), except for access and driveways.
 - 1. Elevators and stairs shall be located adjacent sidewalks or paseos.
 - 2. Screening shall hide parking areas visible from a public street, using heavy-gauge metal, precast concrete panels, laminated glass, green walls, photovoltaic panels or other material per review authority approval.
- D. **Underground parking.** Fully subterranean parking may extend up to the property line, except along Green Street, where it shall follow street setback regulations set in 3.2.A.

Table 6.5-1: Parking by Land Use

	Minimum	Notes
Commercial Entertainment	3 per 1,000 sf*	
Office, Professional and Business Support		For Medical Offices >5,000 sf, refer to PMC17.46
Retail Sales		
Services (except Lodging)		
Lodging (Hotels & Motels)	0.5 per room	First 15,000 sf of banquet/restaurant space excluded
Religious Facilities	10 per 1,000 sf	
Residential	≤1-bed: 1 per unit ≥2-bed: 1.5 per unit	Residential guest parking can be shared with commercial parking in mixed-use developments
Live/work	1.5/unit	
Other uses	Refer to PMC17.46	*These are intended to reduce parking requirements in general use categories; any specific uses with lower minimums specified in PMC17.46 shall supersede these requirements.