

North Lake Specific Plan

Preliminary Development Standards
October 7, 2020



DRAFT



Table of Contents

4. Zoning and Land Use

- 4.1 Zoning Districts5
- 4.1 Allowed Land Uses 7

5. Public Realm Standards & Guidelines

- 5.1 Sidewalks20
- 5.2 Parkways and Street Trees . . . 32

6. Development & Design Standards

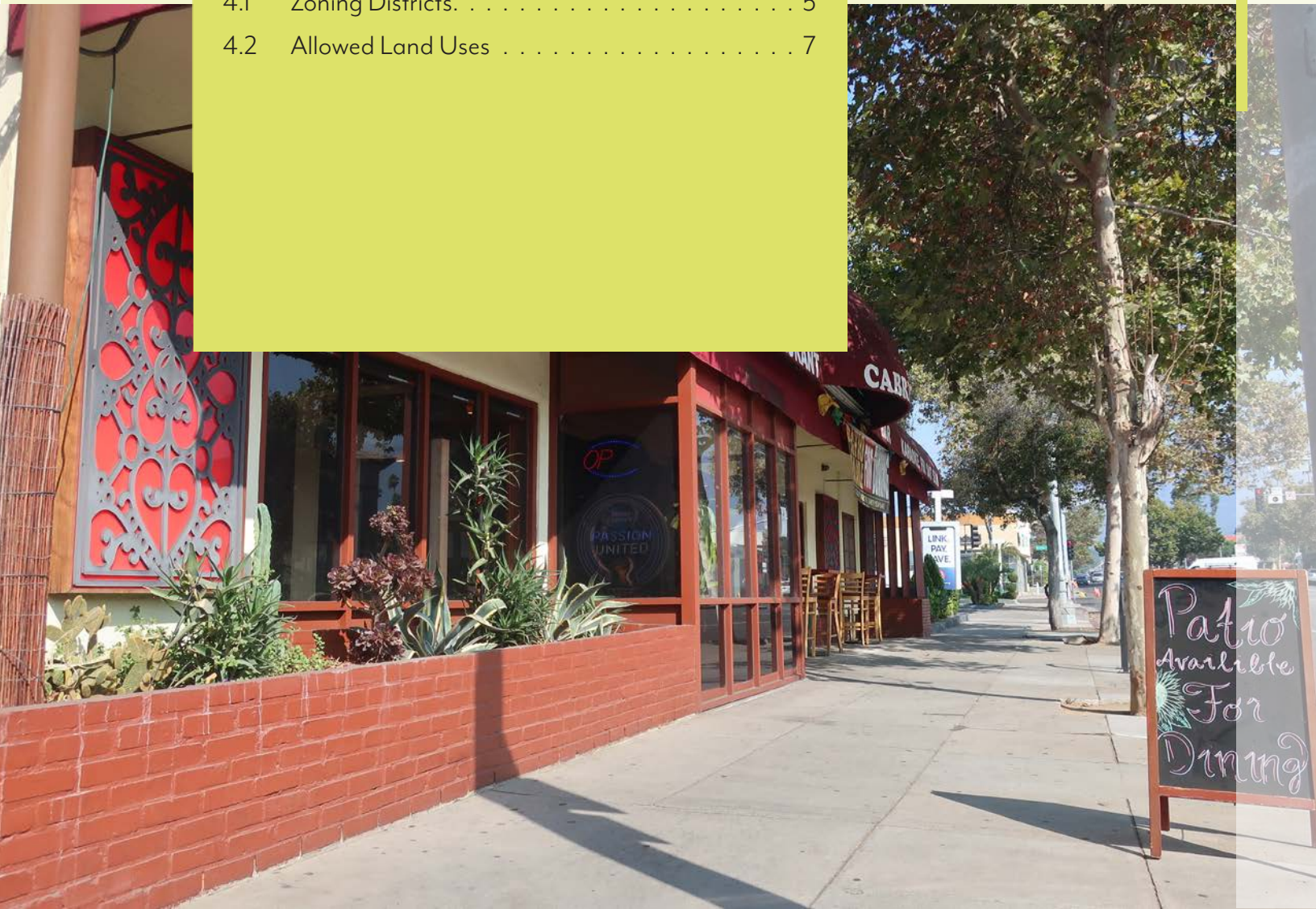
- 6.1 Intensity & Density 38
- 6.2 Massing 44
- 6.3 Ground Floor Design 65
- 6.4 Open space 70
- 6.5 Vehicle Access & Parking75

Note: This Draft North Lake Specific Plan document is intended for public review at the Our Pasadena Public Workshops - Round Three (Virtual Open House). This document includes draft content for the three chapters of the Specific Plan that introduce new regulations, standards, and guidelines for development; this draft does not include introductory and administrative chapters, policies, definitions, or appendices. The draft standards presented in this document are informed by multiple stages of prior community input and extensive technical analysis. This document is made public for the purpose of receiving further community feedback, and contents are subject to change.

Ch. 4

Zoning and Land Use

Zoning and Land Use	4
4.1 Zoning Districts.	5
4.2 Allowed Land Uses	7



ZONING AND LAND USE

IMPORTANCE

The Zoning and Land Use regulations in this chapter are intended to guide development and Land Use decision making to achieve the North Lake Specific Plan Vision. Permitted uses are intended to foster distinct pedestrian-oriented villages with a mix of commercial and residential uses.

Land Use regulations are tools that can be used to maintain the character of a particular neighborhood, or to guide a neighborhood's evolution toward a character that better supports residents, businesses and employees, and visitors. While broader land use categories are assigned in the General Plan, the Specific Plan establishes a detailed list of allowed land use categories and the permit requirements or limitations for each zoning district within the Specific Plan Area.

CHAPTER OVERVIEW

The Zoning and Land Use chapter includes maps of designated zoning districts and allowed land uses (simplified into residential, commercial, and mixed uses) as they apply to the Specific Plan Area in general, as well as ground floor spaces. The map is followed by a detailed table indicating which land uses are allowed within each zoning district of the Specific Plan area. Certain uses may be subject to special conditions or permitting, requiring an application and approval process determining whether the proposed use is permitted, conditionally permitted, prohibited, or allowed as a temporary use.

- » **4.1 Zoning Districts**
- » **4.2 Allowed Land Uses**



Public Semi-Public Use



Residential Use



Commercial Use



Open Space (Washington Park)

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4.1 ZONING DISTRICTS

The North Lake Specific Plan consists of seven (7) Zoning Districts, identified as unique areas in need of tailored standards. Map 4.1-1 identifies the Zoning Districts for the Specific Plan.

The following zones are established as part of this Specific Plan:

- » NLSP-MUN (Mixed Use Neighborhood)
- » NLSP-WMU (Washington Mixed Use)
- » NLSP-WC (Washington Commercial)
- » NLSP-MUC (Mixed Use Corridor)
- » NLSP-LC (Low Commercial)
- » NLSP-NLTD (North Lake Transit District)
- » NLSP-RM/UH (Urban Housing)

The following zones in this Specific Plan are defined by PMCI720.020:

- » RS-6 (Single Family Residential)
- » RM-16 (Multi-Family Residential)
- » RM-32 (Multi-Family Residential)
- » RM-48 (High Density Residential)
- » OS (Open Space)
- » PS (Public-Semipublic)

All standards for Open Space and Public-Semipublic zoning districts are determined by Conditional Use Permit (CUP) or Master Plan.



Commercial Use

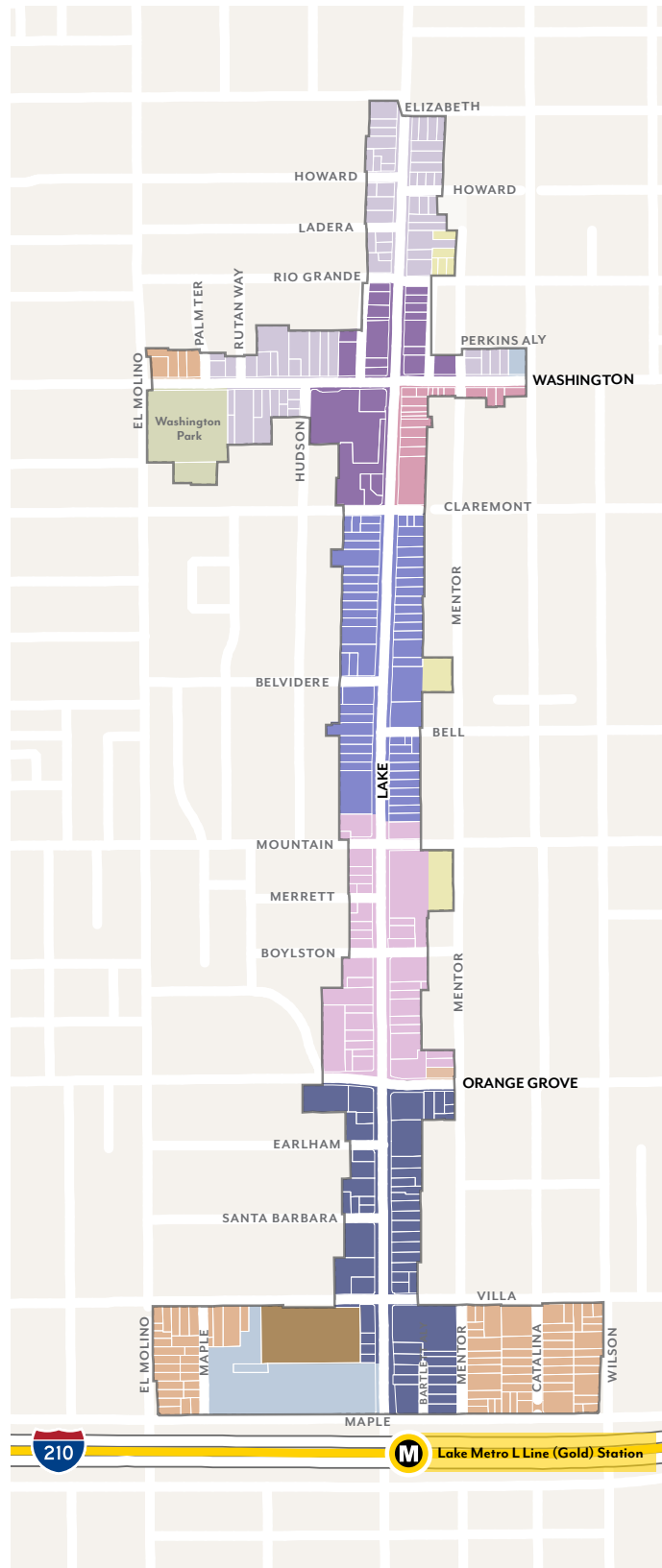


Residential Use



Public Semi-Public (Santa Catalina Library)

Map 4.1-1: North Lake Specific Plan Zoning Districts and Sub-areas



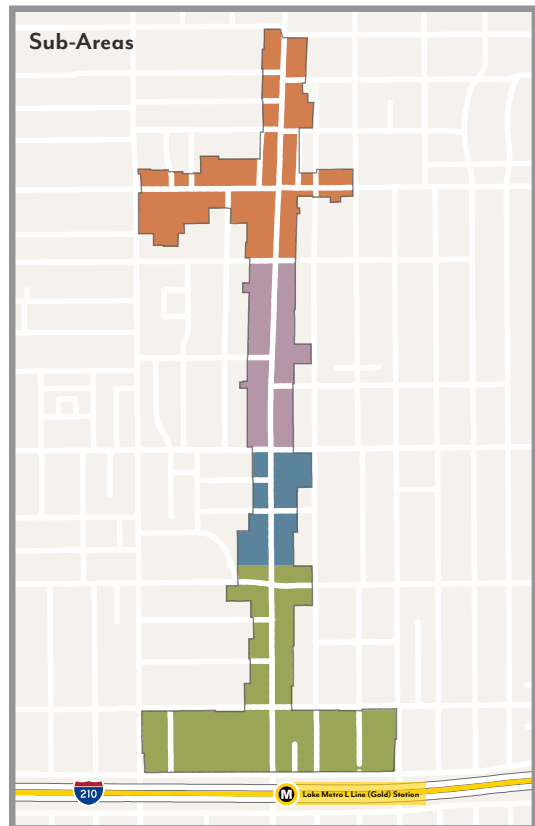
Zoning Districts

- NLSP-MUN (Mixed Use Neighborhood)
- NLSP-WMU (Washington Mixed Use)
- NLSP-MUC (Mixed Use Corridor)
- NLSP-NLTD (North Lake Transit District)
- NLSP-WC (Washington Commercial)
- NLSP-LC (Low Commercial)
- NLSP-RM/UH (Urban Housing)
- RS-6 (Single Family Residential)*
- RM-16/32/48 (Multi-Family Residential)*
- PS (Public, Semi-Public)*
- OS (Open Space)*

*Zone is governed by PMC

Sub-Areas

- Washington Neighborhood
- North Lake Mixed-Use Corridor
- North Lake Commercial Corridor
- North Lake Transit District



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4.2 ALLOWED LAND USES

Map 4.2-1: Allowed Use and Ground Floor Requirements

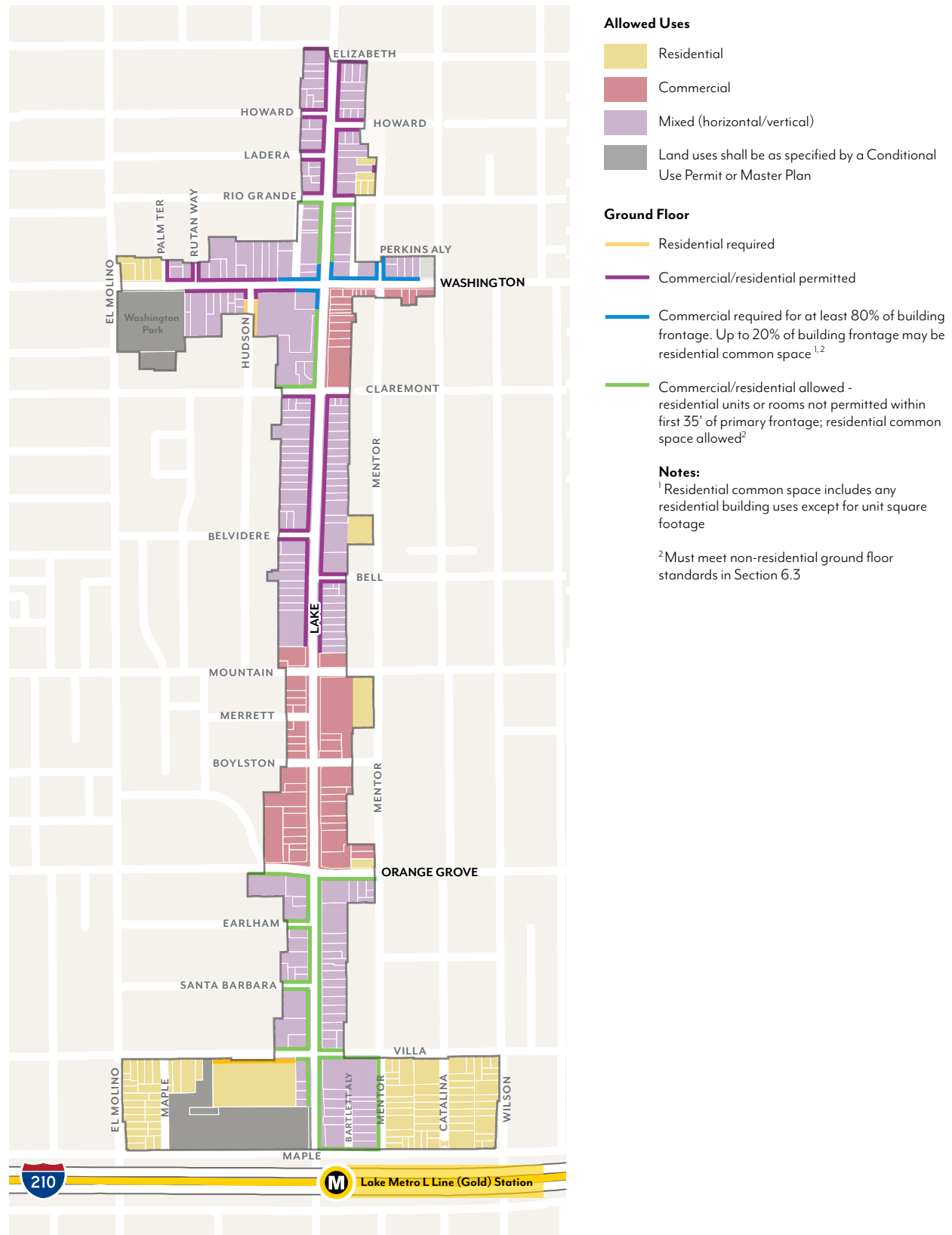


Table 4.2-1: Allowed Uses and Permit Requirements

SYMBOL	PERMIT REQUIREMENTS AND USE LIMITATIONS	RELEVANT PROCEDURE SECTION:
P	Permitted use, Code Compliance Certificate required.	17.61.020
MC	Conditional use, Minor Conditional Use Permit required.	17.61.050
C	Conditional use, Conditional Use Permit required.	17.61.050
E	Conditional use, Expressive Use Permit required.	17.61.060
A	Accessory use, permitted as an accessory use only.	
TUP	Temporary use, Temporary Use Permit required.	17.61.040
—	Use not allowed. (See Section 17.21.030.A regarding uses not listed.)	
(L#)	Limited use, specific limitations listed at end of table.	To be identified
See Zoning Code Section 17.80.020 for definitions of the listed land uses		

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	MUN	WMU	WC	MUC	LC	NLTD	RM/UH	
RESIDENTIAL USES (Note: See limitations to residential uses on the ground floor in Map 4.2-1)								
Family Day Care								
Large	P	P	—	P	—	P	P	17.50.080
Small	P	P	—	P	—	P	P	
Group Residential Types								
Congregate Housing	P	—	—	P	—	—	P	
Senior Group Residential	P	—	—	P	—	—	P	
Residential								
Accessory dwelling unit	P	P	—	P	—	P	P	Per State ADU Law
Live/Work Units	P	—	—	P	—	—	P	17.50.370
Multi-Family Residential	P	P (L1)	—	P	—	P (L1)	P	17.50.350
Single-Family Residential	—	—	—	—	—	—	—	
Home Occupations	P	P	—	P	—	P	P	17.50.110
Residential Accessory Uses and Structures	P	P (L1)	—	P	—	P (L1)	P	17.50.250

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ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	MUN	WMU	WC	MUC	LC	NLTD	RM/UH	
Residential Care Facilities								
General	—	—	—	—	—	—	C	
Limited	P	—	—	P	—	—	P	
Senior	C	—	—	C	—	—	C	
Hospice, General	—	—	—	—	—	—	—	
Hospice, Limited	P	—	—	P	—	—	P	
Supportive Housing								
Emergency Shelters	—	—	—	—	—	—	—	
Emergency Shelters, Limited	—	—	—	—	P	—	—	
Supportive Housing	P	P (L1)	—	P	—	P (L1)	P	
Transitional Housing	P	P (L1)	—	P	—	P (L1)	P	
RECREATION, EDUCATION & PUBLIC ASSEMBLY USES (2, 3)								
Cultural & Public Assembly								
Religious Facilities	C	C	C	C	C	C	C	17.50.230
Mortuary, Funeral Home	—	—	—	—	—	—	—	17.50.230
Cremation/ Interment Services	—	—	—	—	—	—	—	
With Temporary Homeless Shelter	—	—	—	—	—	—	—	17.50.230
Assembly Facilities	C	C	C	C	C	C	C	17.50.230
Cultural Institution and Facility	P	P	P	P	P	P	—	
College or Educational Institution								
Nontraditional Campus Setting	P	P (L2)	P	P	P	P (L2)	—	
Traditional Campus Setting	—	—	—	—	—	P	—	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	MUN	WMU	WC	MUC	LC	NLTD	RM/UH	
Recreation								
Commercial Recreation - Indoor	P	—	P	P	P	—	—	17.50.130
Commercial Recreation - Outdoor	—	—	—	—	—	—	—	17.50.130
Gardens (Neighborhood / Community)	P	P	P	P	P	P	P	
Park and Recreation Facilities	P	P	P	P	P	P	P	
Stadiums and Arenas	—	—	—	—	—	—	—	
Schools								
Schools - Public and Private	C (L3)	—	C (L3)	C	C	—	C	17.50.270
Schools - Specialized Education and Training	P (L3)	P (L2)	P (L3)	P	P	P (L2)	—	17.61.050.J CUP required for new construction over 25,000 s.f.
BUSINESS, COMMERCIAL, AND RETAIL SERVICES (2, 3) All permitted uses in this category qualify for commercial requirement locations								
Alcohol Sales								
Beer and Wine	C	C	C	C	C	C	—	AD Overlay regulations apply per PMC 17.28.030
Full Alcohol Sales	C	C	C	C	C	C	—	AD Overlay regulations apply per PMC 17.28.030
Animal Sales and Services								
Animal Boarding	—	—	—	—	—	—	—	
Animal Clinic/ Hospital	—	—	P	—	P	—	—	17.50.050
Animal Grooming	P	P	P	P	P	P	—	
Animal Retail Sales	P	P	P	P	P	P	—	
Animal Shelter	—	—	—	—	—	—	—	

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ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	MUN	WMU	WC	MUC	LC	NLTD	RM/UH	
Auto/Vehicle Sales and Services								
Alternative Fuels/ Recharging Facilities (2, 3)	—	—	—	—	P	—	—	17.40.070; 17.61.050.J CUP required for new construction over 25,000 s.f.
Automobile Rental	—	—	—	—	P	—	—	17.61.050.J CUP required for new construction over 25,000 s.f.
Automobile Showrooms	P	—	P	—	P	—	—	
Vehicle Services - Repair	—	—	—	—	—	—	—	
Vehicle Services – Washing/Detailing	—	—	—	—	—	—	—	
Vehicle Services - Washing/Detailing, Small-Scale	—	—	—	—	P	—	—	17.50.290
Vehicles Services – Sales/ Leasing	—	—	—	—	—	—	—	
Vehicles Services – Sales/ Leasing, Limited	P	—	P	—	P	—	—	17.50.360
Vehicle Services - Service Stations	—	—	—	—	—	—	—	
Vehicle Storage	—	—	—	—	—	—	—	
Banks and financial Institutions								17.61.050.J CUP required for new construction over 25,000s.f.
Automated Teller Machines (ATM)	P	P	P	P	P	P	—	17.50.060
Banks and Credit Unions (Retail)	P	P (L3)	P	P	P	P (L3)	—	
Banks and Credit Unions (Non-Retail)	P (L3)	—	P (L3)	P	P	—	—	
Conference Center								
Conference Center	—	—	—	—	—	C (L3)	—	

Zoning and Land Use

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	MUN	WMU	WC	MUC	LC	NLTD	RM/UH	
Day Care Facility								
Adult Day-Care - General	C (LI)	—	C (LI)	C	C	—	—	Performance standards required
Adult Day-Care - Limited	P (LI)	—	P (LI)	P	P	—	P	Performance standards required
Child Day Care	P	P	P	P	P	P	P	17.50.080
Eating and Drinking Establishments								17.61.050.J CUP required for new construction over 25,000 s.f.
Bar, Night Club, or Tavern	C	C	C	C	C	C	—	17.50.040
Restaurants, Full Service	P	P	P	P	P	P	—	(4) 17.50.260
Restaurant, Limited Service	P	P	P	P	P	P	—	
Restaurant, Take-Out Only	P	P	P	P	P	P	—	
Restaurants with Limited Live Entertainment	P	P	P	P	P	P	—	
Restaurants with Walk-Up Window	C	C	C	C	C	C	—	17.50.260
Restaurants with Drive Through	—	—	—	—	—	—	—	
Entertainment								
Commercial Entertainment	E	E	E	E	E	E	—	17.50.130
Electronic Game Centers	P	P	P	P	P	P	—	17.50.100
Sexually Oriented Business	—	—	—	—	—	—	—	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS

LAND USE	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	MUN	WMU	WC	MUC	LC	NLTD	RM/UH	
Food and Beverage Sales								
Convenience Stores	P	P	P	P	P	P	—	
Farmers' Market	P	P	P	P	P	P	—	
General Market	P	P	P	P	P	P	—	
Liquor Stores	C	C	C	C	C	C	—	AD Overlay regulations apply per PMC 17.28.030
Group Housing								
Single-Room Occupancy	P	P (L1)	—	P	—	P (L1)	P	Commercial use, prohibited in residential zones. 17.50.300
Hospitals, Clinics and Care Facilities								
Clinic	—	—	—	—	P	—	—	
Extended Care	—	—	—	—	MC	—	—	
Life/Care Facilities	MC	—	—	MC	MC	—	—	17.50.120
Hospitality House	MC	—	—	MC	MC	—	—	
Hospital	—	—	—	—	—	—	—	
Skilled Nursing Facility	C	—	—	C	C	—	—	
Offices								17.61.050.J CUP required for new construction over 25,000 s.f.
Accessory	P (L3)	P (L2)	P (L3)	P	P	P (L2)	—	
Administrative Business Professional	P (L3)	P (L2)	P (L3)	P	P	P (L2)	—	
Government	P (L3)	P (L2)	P (L3)	P	P	P (L2)	—	
Laboratories	P (L2)	—	P (L2)	—	P	—	—	
Medical and Dental	P (L3)	P	P (L3)	P	P	P	—	
Walk-In Clientele	P	P	P	P	P	P	—	
Research and Development - Offices	P (L3)	P (L2)	P (L3)	P	P	P (L2)	—	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	MUN	WMU	WC	MUC	LC	NLTD	RM/UH	
Personal Services								17.61.050.J CUP required for new construction over 25,000 s.f.
Personal Improvement Services	P	P	P	P	P	P	—	
Personal Services	P	P	P	P	P	P	—	
Massage Establishments	C (L1)	C (L2)	C (L1)	C (L1)	C	C (L2)	—	17.50.155
Personal Services, Restricted	—	—	—	—	—	—	—	
Tattoo and Body Modification	P	P	P	P	P	P	—	
Printing and Publishing								
General	P	—	P	—	P	—	—	17.61.050.J CUP required for new construction over 25,000 s.f.
Limited	P (L3)	P (L2)	P (L3)	—	P	P (L2)	—	17.61.050.J CUP required for new construction over 25,000 s.f.
General Services								
Business Services	P (L3)	—	P (L3)	—	P	—	—	
Catering Services	P (L3)	—	P (L3)	—	P	—	—	
Charitable Institutions	P	P	P	P	P	P		
Commercial Nurseries	—	—	—	—	C	—	—	17.50.180
Commercial Growing Areas	—	—	—	—	—	—	—	
Drive-Through Business (non-restaurant)	—	—	—	—	—	—	—	
Maintenance or Repair Services	—	—	—	—	—	—	—	
Public Safety Facilities	C	C	C	C	C	C	—	
Detention Facility	—	—	—	—	—	—	—	

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ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	MUN	WMU	WC	MUC	LC	NLTD	RM/UH	
Transient Lodging								
Bed and Breakfast Inns	C	—	—	C	—	—	—	17.50.140
Hotels, Motels	C	C	C	C	C	C	—	17.50.150
Retail Sales								
Bix Box Retail	—	—	—	—	—	—	—	
Building Materials, and Supplies Sales	—	—	—	—	—	—	—	
Firearm Sales	—	—	—	—	—	—	—	
General Retail	P	P	P	P	P	P	—	
Pawnshops	—	—	—	—	—	—	—	17.50.200
Significant Tobacco Retailers	C	—	C	C	C	—	—	17.50.330; 17.61.050.J CUP required for new construction over 25,000 s.f.
INDUSTRY AND UTILITY USES All permitted uses in this category qualify for retail requirement locations								
Industrial Services								
Construction and Material Yard	—	—	—	—	—	—	—	
Custom Manufacturing / Artisan Production	P	P (L2)	P	P	P	P (L2)	—	
Industry, General	—	—	—	—	—	—	—	
Industry, Limited	—	—	—	—	P	—	—	
Maintenance and Service Facilities	—	—	—	—	—	—	—	
Research and Development - Laboratories	—	—	—	—	P	—	—	(4) 17.50.240
Self-Storage	—	—	—	—	—	—	—	
Recycling Facilities								
Donation Collections Facilities	—	—	—	—	P	—	—	
Recycling - Large Collection Facilities	—	—	—	—	—	—	—	
Recycling - Small Collection Facilities	—	—	—	—	C	—	—	17.50.220
Reverse Vending Machine	—	—	—	—	—	—	—	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	MUN	WMU	WC	MUC	LC	NLTD	RM/UH	
Wholesaling								
Wholesaling, Commercial	—	—	—	—	P	—	—	
Distribution and Storage	—	—	—	—	—	—	—	
Distribution and Storage, Small Scale	—	—	—	—	P	—	—	
Communications facilities (2, 3)								17.40.070; 17.61.050.J CUP required for new construction over 25,000s.f.
Accessory Antenna Arrays	A	A	A	A	A	A	A	
Antennas and Transmission Towers	C	C	C	C	C	C	C	
Equipment within Buildings	C	C	C	C	C	C	C	
Wireless Telecommunications Facilities - Minor	MC	MC	MC	MC	MC	MC	MC	17.50.310
Wireless Telecommunications Facilities - Major	C	C	C	C	C	C	C	17.50.310
Wireless Telecommunications Facilities - SCL	P	P	P	P	P	P	P	17.50.310
Transportation								
Commercial Off-Street Parking (3)	A	A	MC	A	MC	A	—	17.40.070
Heliports	—	—	—	—	—	—	—	
Mobility Hub	P	P	P	P	P	P	P	
Transit Stations or Terminals	—	—	—	—	—	C	—	
Transportation Dispatch Facilities	—	—	—	—	—	—	—	
Truck and Freight Terminals	—	—	—	—	—	—	—	
Utilities								
Major	C	C	C	C	C	C	C	
Minor	P	P	P	P	P	P	P	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE	PERMIT REQUIREMENT BY ZONE							Additional Relevant Standards from Zoning Code / Notes
	MUN	WMU	WC	MUC	LC	NLTD	RM/UH	
TEMPORARY USES								
Filming, Long-term	MC	MC	MC	MC	MC	MC	MC	
Filming, Short-term	P	P	P	P	P	P	P	
Street Fairs	P	P	P	P	P	P	P	
Tents	TUP	TUP	TUP	TUP	TUP	TUP	—	17.50.320
Personal Property Sales	P	P	P	P	P	P	P	Permit required: 17.50.190
Seasonal Merchandise Sales	P	P	P	P	P	P	—	17.50.180; 17.61.050.J CUP required for new construction over 25,000 s.f.
Swap Meets	—	—	TUP	—	TUP	—	—	17.50.180; 17.61.050.J CUP required for new construction over 25,000 s.f.
Other Temporary Uses	TUP	TUP	TUP	TUP	TUP	TUP	TUP	

NOTES:

- (1) See Section 17.80.020 for definitions of the listed land uses.
- (2) If within 300 feet of an R District this use shall be limited to 10 one-way truck trips by large trucks per day per six-day work week. This restriction shall apply to new uses and uses that expand by more than 30 percent of the gross floor area. This restriction shall not apply if the site or the adjacent R District is within 500 feet of a freeway.
- (3) No more than five large trucks (except trucks associated with vehicle services - sales and leasing) shall be stored on each lot. This restriction shall apply to new uses or uses that expand by more than 30 percent of the gross floor area. 17.40.070

TABLE 4.2-1 SPECIFIC LIMITATIONS:

- (L1) Use listed limited to upper floors, or allowed on the ground floor behind the first 35 feet from the minimum sidewalk line. Common spaces (lobbies, amenity spaces, etc.) are allowed on the ground floor but must meet non-residential ground floor requirements.
- (L2) Use not permitted on ground floor; location is limited to upper floors or subterranean levels
- (L3) Use listed is limited to a maximum of 30% of the building frontage on the ground floor.

Ch. 5

Public Realm Standards & Design Guidelines

Public Realm Standards & Design Guidelines	19
5.1 Sidewalks	20
5.2 Parkways and Street trees	32



PUBLIC REALM STANDARDS & DESIGN GUIDELINES

IMPORTANCE

The public realm standards and design guidelines in this chapter serve to implement the General Plan vision for North Lake Specific Plan Area and achieve objectives of the Pasadena Street Design Guide and Pasadena Master Street Tree Plan. To improve the public realm for users of all abilities, and to provide enough space for simultaneous uses of the sidewalk, these standards and guidelines ensure that new developments contribute to the safety, accessibility, and connectivity of their surrounding streetscape network. Many features that are critical to 'walkability' depend on the width and organization of the sidewalk. For example, consistent street trees provide shade and other aesthetic and environmental benefits, and sidewalk seating for restaurants and cafés activate the public realm and boost business. However, the success of both relies on the sidewalk offering ample and well-organized space to prevent conflicts with pedestrians.

CHAPTER OVERVIEW

The public realm standards and guidelines in this chapter address and regulate pedestrian infrastructure and amenities to support a safe, accessible, and comfortable pedestrian experience. The standards and guidelines are presented in the following pages as follows:

- » **5.1 Sidewalks.** Addresses minimum sidewalk widths and sidewalk zones.
- » **5.2 Parkways and Street Trees.** Addresses parkway dimensions, amenities, and materials, and street tree placement and preferred species..

Each section includes rationale for the standard followed by sub-sections for individual standards, if applicable. Each standard is introduced in text and/or table format with diagrams and images to illustrate regulations. Supplementary text boxes are provided for additional context on most standards and diagrams. Note that diagrams are provided for the purposes of communicating measurements and images are included to illustrate potential outcomes of the standards; neither are suggestive of regulated architectural styles.



A well-designed public realm provides comfortable and accessible space for people of all abilities.

5.1 SIDEWALKS

The following sidewalk standards are intended to:

- » Ensure a minimum sidewalk width is achieved, appropriate to support future development densities, intensities, uses, and pedestrian volumes;
- » Provide sufficient sidewalk width to support dedicated amenity zones, walk zones and frontage zones; and
- » Increase shade and stormwater capture through increased street trees and parkways.

The following standards are covered in detail in this section:

- » 5.1.1 Sidewalk Zones
- » 5.1.2 Minimum Sidewalk Width

IMPORTANCE OF SIDEWALKS

Sidewalks play an important and multi-faceted role in the built environment, serving as spaces for pedestrian travel, entryways, sidewalk dining, street trees and landscaping, as well as a variety of amenities, such as benches, bus shelters, bicycle racks and trash receptacles. Sidewalk width standards correlate to the level of activity and surrounding densities, intensities, and uses. Ensuring sufficient widths and establishing distinct zones help to ensure that the sidewalk environment can support all functional activities.



Sidewalks with sufficient width can support pedestrian travel as well as space for various amenities.

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5.1.1 SIDEWALK ZONES

PASADENA STREET DESIGN GUIDE

Pasadena's Street Design Guide provides a framework for understanding the way sidewalks are used, and organizes sidewalks into zones to avoid conflict between various uses and amenities. Requirements vary based on the level of activity, land uses, intensities, and densities, as well as special conditions. Through designating specific zones, the North Lake Specific Plan can help enhance the pedestrian experience by increasing sidewalk widths, enabling more shade coverage and opportunities for amenities such as sidewalk seating and landscaping.

The Pasadena Street Design Guide organizes sidewalks into the following three sidewalk zones, which provide a basis for standards in the Specific Plan:

- » **Amenity / Curb Zone.** The Amenity / Curb Zone is the portion of the sidewalk directly adjacent to the street right-of-way. This zone typically includes street trees, street lights, parkways, street furniture, and bus shelters.
- » **Walk Zone.** The Walk Zone is the portion of the sidewalk dedicated to pedestrian travel and should be free of obstruction.
- » **Building Frontage Zone.** The Building Frontage Zone is adjacent to private property and allows for door openings from buildings, bicycle parking, and sidewalk seating.

Figure 5.1-1: Sidewalk Zones



SIDEWALK ZONE EXAMPLE IMAGES

The images below reflect examples of appropriate conditions for the three sidewalk zones. These examples are illustrative and may not reflect all applicable development standards.

BUILDING FRONTAGE ZONE



Frontage zones may be used to accommodate outdoor dining



Frontage zones may include planters or in-ground landscaping to enhance the ground floor

WALK ZONE



Walk zones of 5 feet allow two people to walk together comfortably



Wider walk zones of at least 7 feet are appropriate for commercial retail areas

AMENITY/CURB ZONE



Grass or turf parkways with shade trees are appropriate for residential areas



Amenity zones may include curb extensions which increase the sidewalk width while also contributing to traffic calming.

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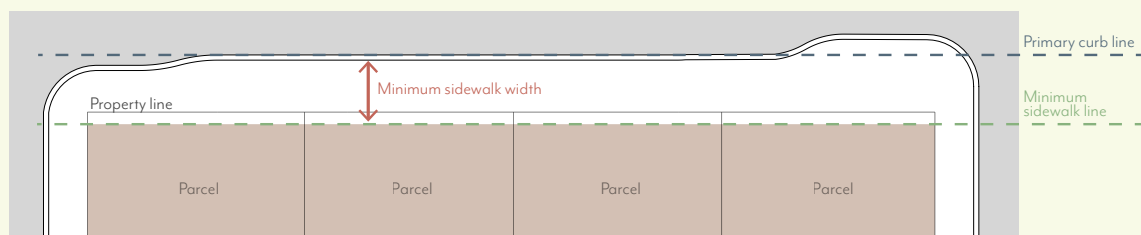
5.1.2 MINIMUM SIDEWALK WIDTH

- A. Minimum Sidewalk.** Projects shall provide sidewalks that meet the minimum sidewalk width requirements per Map 5.1-1, as measured from the primary curb line, as shown in Figure 5.1-2.
- Where the existing sidewalk right-of-way is less, the Project shall accommodate the minimum sidewalk width with an easement or dedication.
 - This area shall be paved for the purposes of public use and any improvements shall be installed and maintained by the property owner.
 - Exceptions:** If a parcel has an existing curb extension (historically referred to as “tree lanes” and “tree peninsulas” in the North Lake Specific Plan) the minimum sidewalk width shall be measured from the primary sidewalk curb line as illustrated in Figure 5.1-2.
- B. Maintenance.** Improvements shall be installed and maintained by the adjacent property owners.
- C. Sidewalk Zones.** Sidewalks must provide sidewalk zones to the dimensions set in Figures 5.1-3 through 5.1-13. When curb extensions are present directly adjacent to Project the cross section for Curb Extension Condition is applicable.
- D. Amenity Zone.** Sidewalks shall maintain a minimum landscaping and furnishing area at the width illustrated in Figures 5.1-3 through 5.1-13. The Amenity Zone may be used for
- driveways,
 - street furniture,
 - street trees,
 - parkways,
 - bicycle parking, and/or
 - bus shelters.
- E. Curb.** Sidewalks shall include a minimum 18-inch access space measured from the primary curb line that includes a minimum 12-inch granite or brick band to the satisfaction of Public Works.
- F. Walk Zone.** Sidewalks shall maintain a minimum continuous path of travel for pedestrians at the width illustrated in Figures 5.1-3 through 5.1-13. This area shall be free of all furnishings, landscaping, or obstructions, and shall be compliant with ADA standards.
- G. Frontage Zone.** No minimum width is required for Frontage Zones. The Frontage Zone may only be used for:
- pedestrian travel,
 - seating,
 - outdoor dining (with a public sidewalk occupancy permit),
 - landscape planters (to accentuate building entrances only),
 - bicycle parking, and/or
 - shade structures.

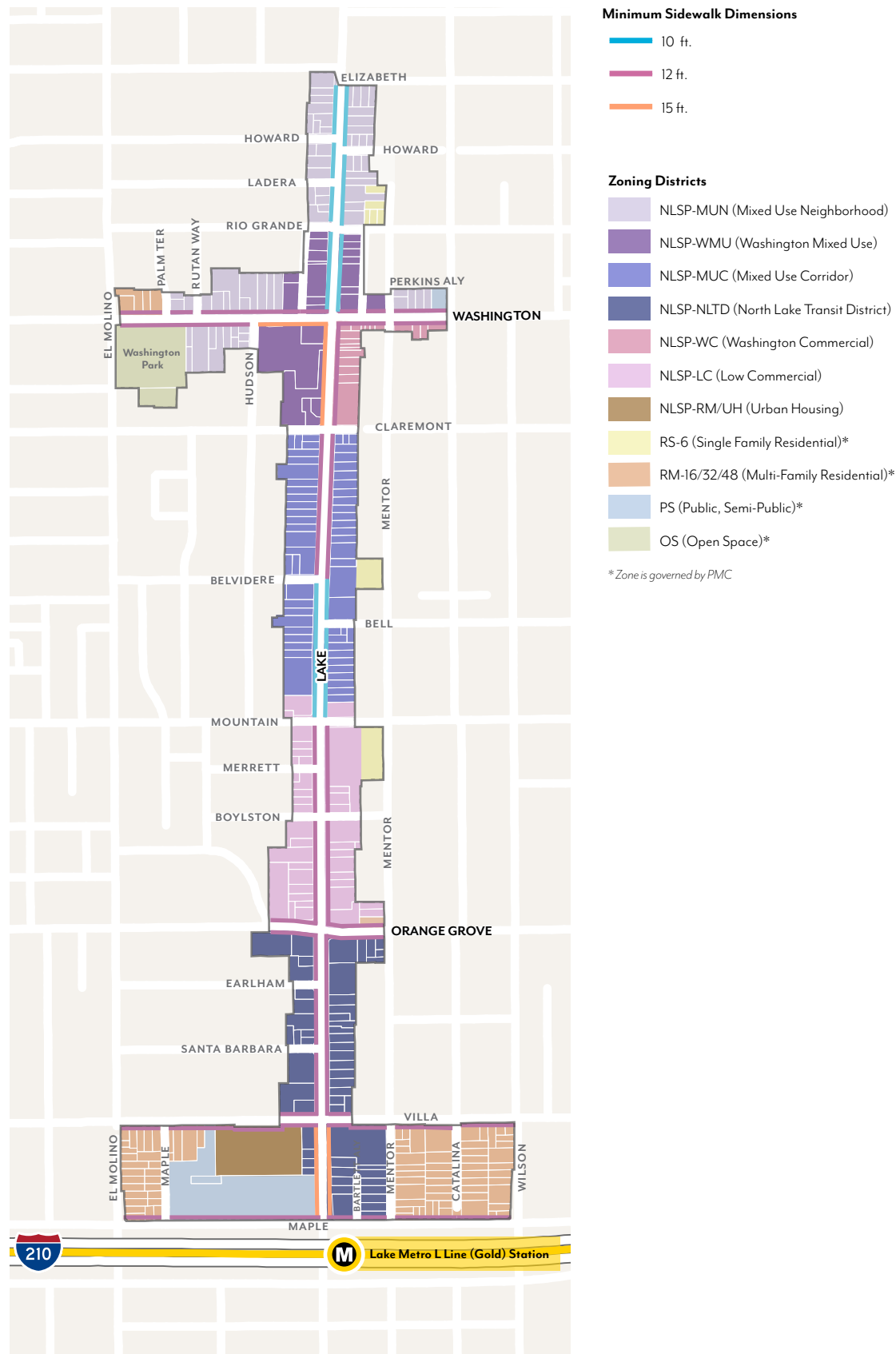
Figure 5.1-2: Minimum Sidewalk Width Measurement

The minimum sidewalk line is the line created by measuring the minimum sidewalk width from the Primary Curb Line. The Primary Curb Line is the predominant back of curb line of a given block, and shall not include “bulb outs” or reductions in sidewalk width at intersections.

As illustrated here, some parcels may not currently provide sufficient width to meet the minimum sidewalk requirement. In these cases, the property owner must provide additional paved area through an easement or dedication. FAR shall be calculated based on full parcel area, not the reduced area if required to meet sidewalk width minimum.



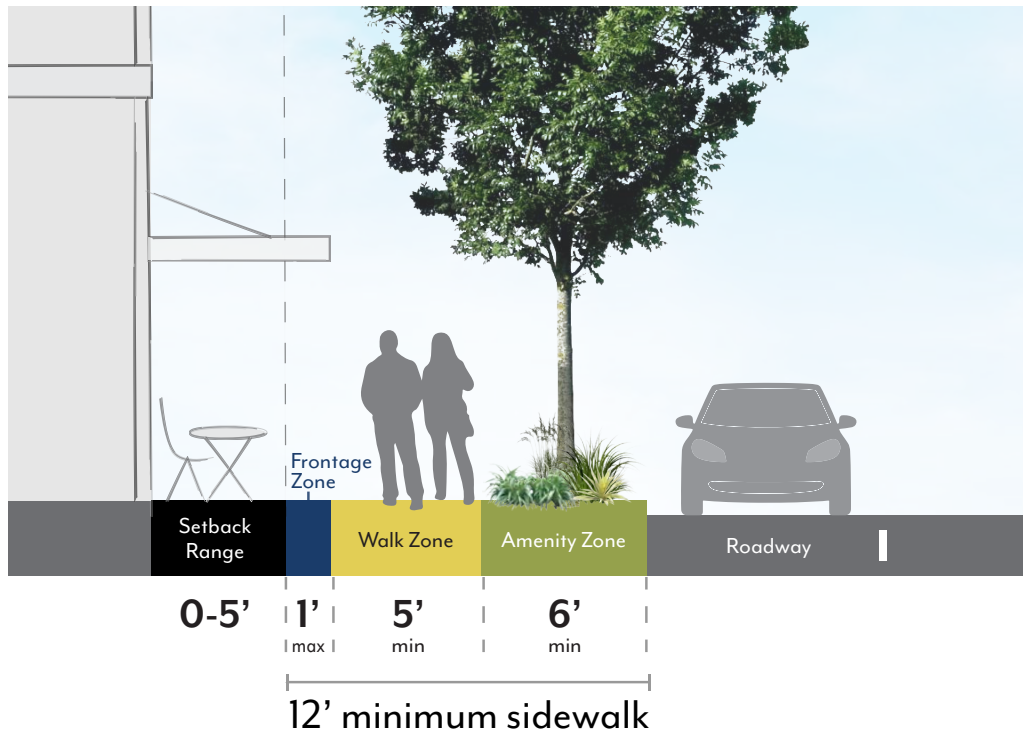
Map 5.1-1: Minimum Sidewalk Widths by Zoning District



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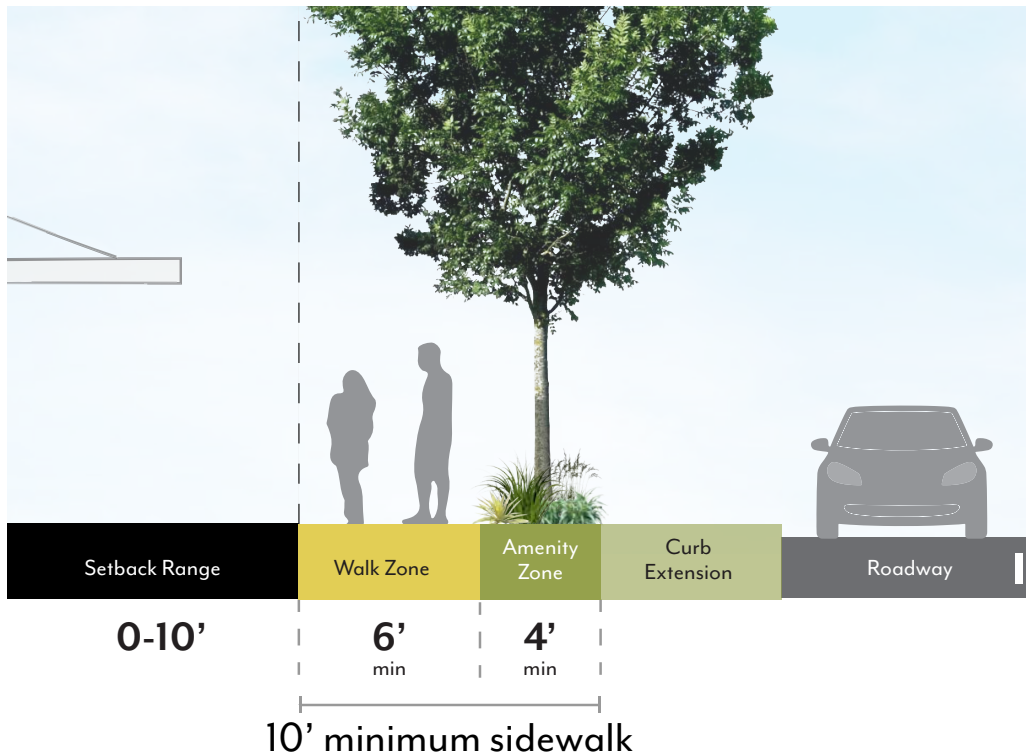
MINIMUM SIDEWALK WIDTH | CROSS-SECTIONS BY ZONING DISTRICT

Figure 5.1-3: Sidewalks - Mixed Use Neighborhood (MUN)



Note: Residential units on the ground floor shall have a minimum of 5 ft setback

Figure 5.1-4: Sidewalks - Mixed Use Neighborhood (MUN) Typical or Curb Extension Condition



Note: Residential units on the ground floor shall have a minimum of 5 ft setback

Figure 5.1-5: Sidewalks - Washington Mixed Use (WMU)

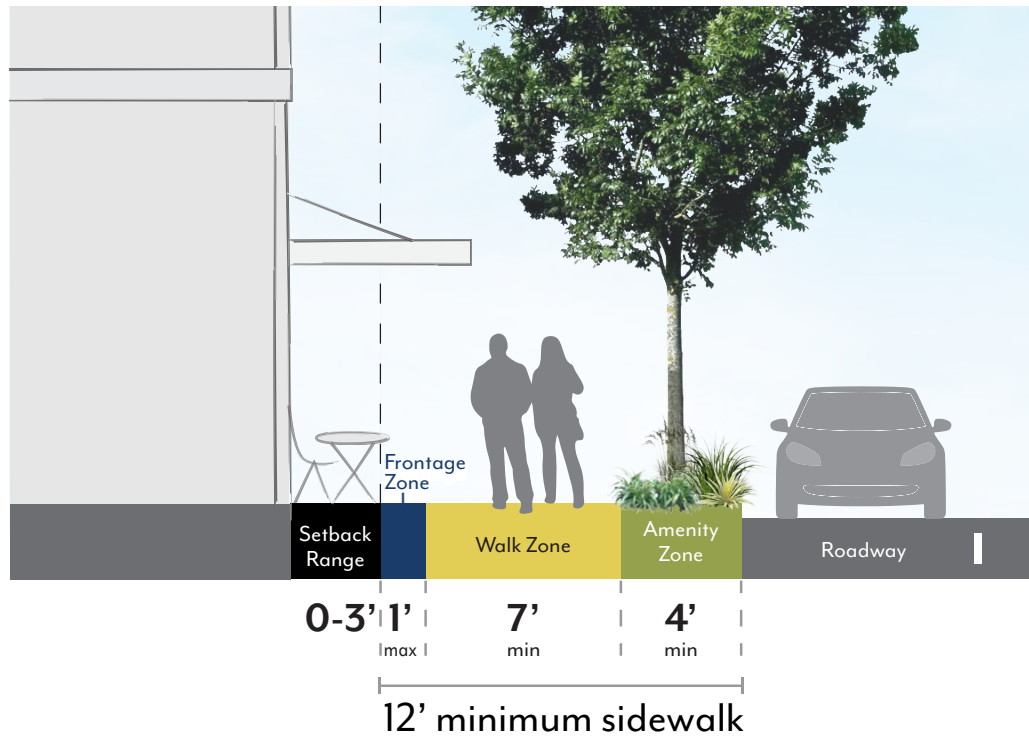
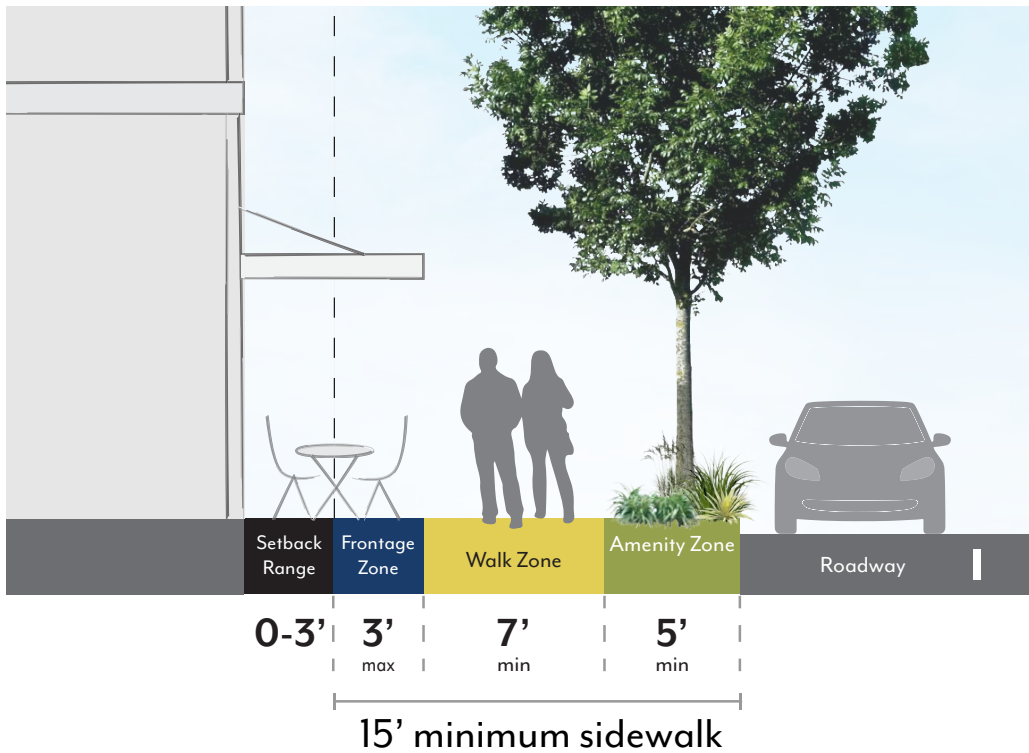


Figure 5.1-6: Sidewalks - Washington Mixed Use (WMU)



Note: Residential units on the ground floor shall have a minimum of 5 ft setback

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Figure 5.1-7: Sidewalks - Mixed Use Corridor (MUC)

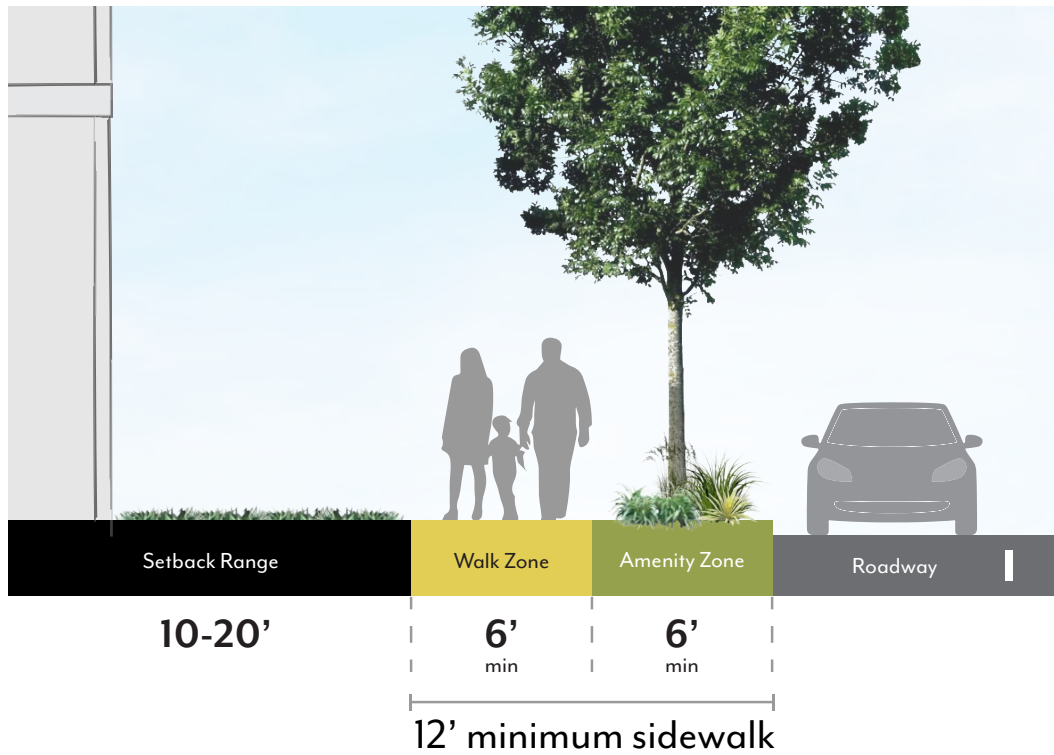


Figure 5.1-8: Sidewalks - Mixed Use Corridor (MUC) Typical or Curb Extension Condition



Figure 5.1-9: Sidewalks - Washington Commercial (WC)

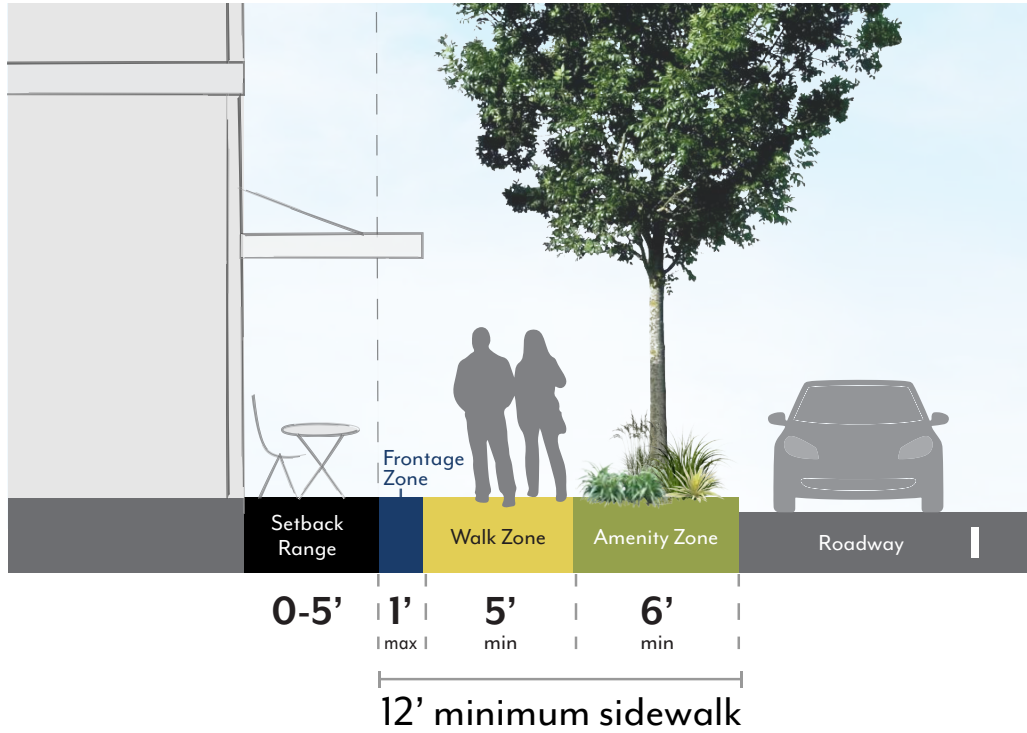
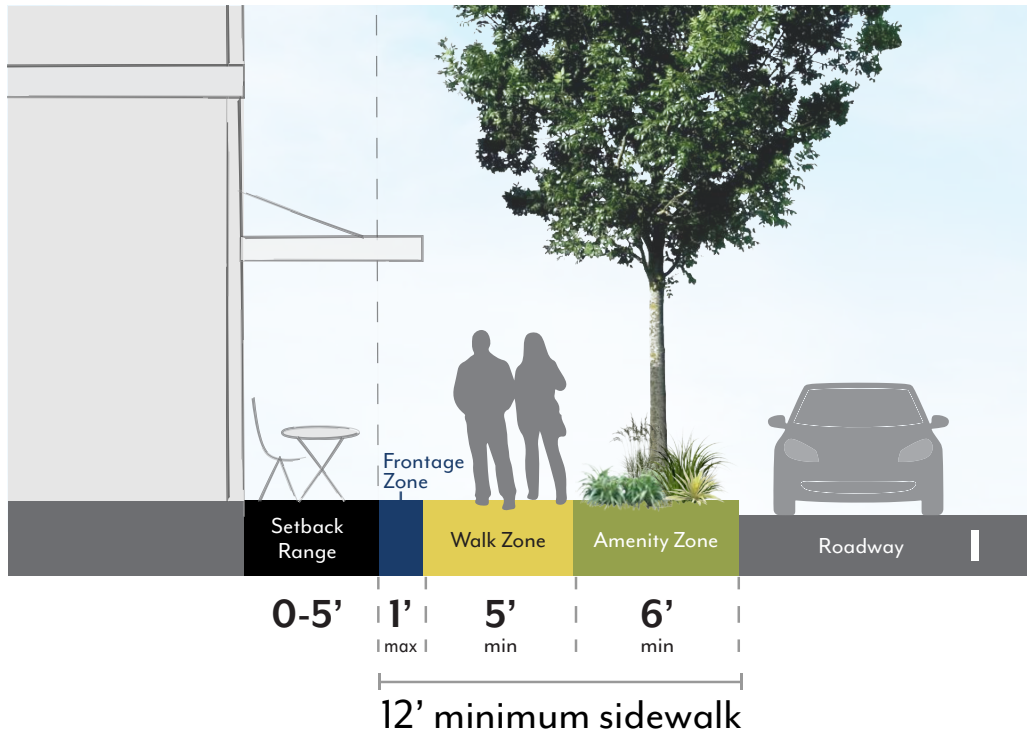


Figure 5.1-10: Sidewalks - Low Commercial (LC)



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Figure 5.1-11: Sidewalks - North Lake Transit District (NLTD)

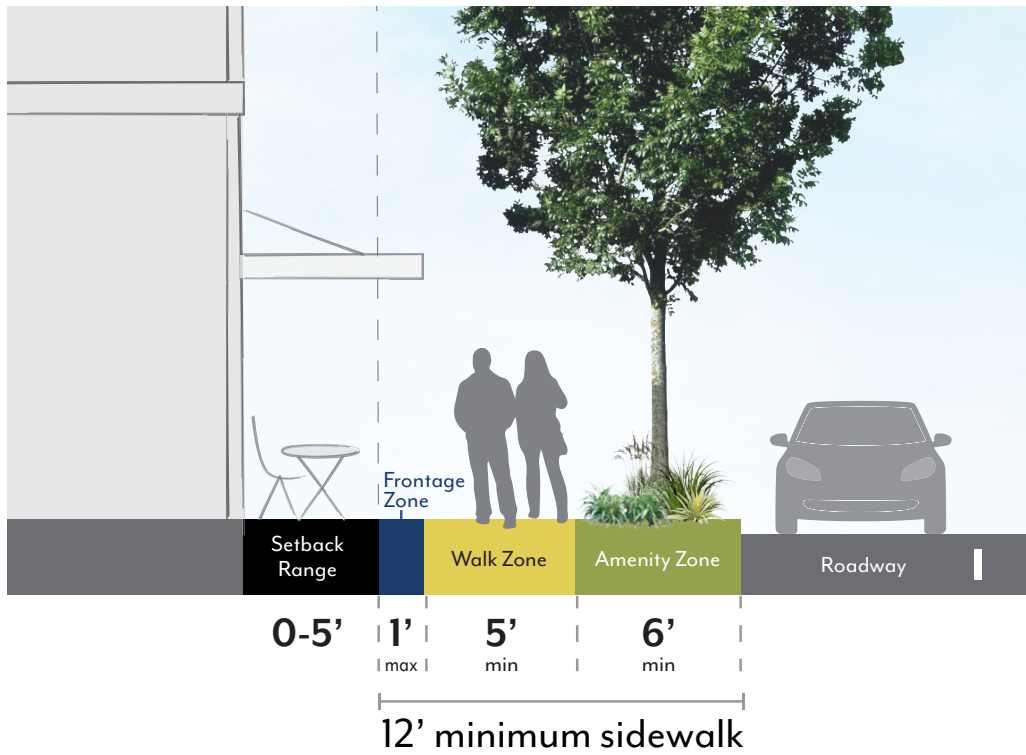


Figure 5.1-12: Sidewalks - North Lake Transit District (NLTD)

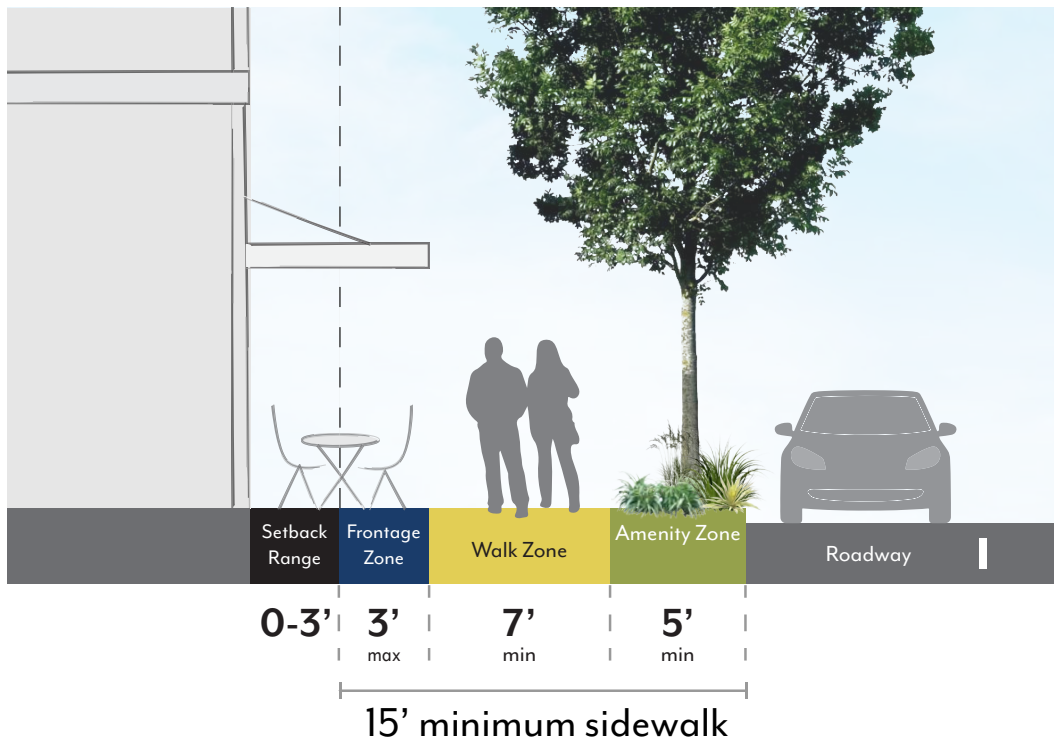
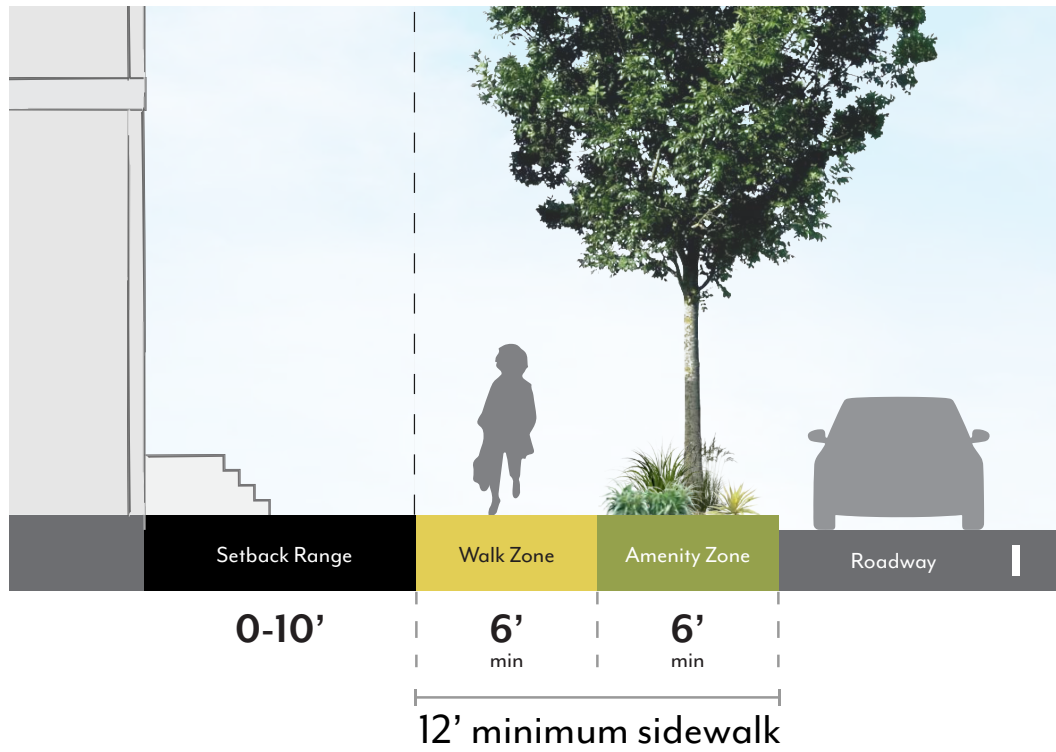


Figure 5.1-13: Sidewalks - Urban Housing (RM/UH)



Note: Residential units on the ground floor shall have a minimum of 5 ft setback

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SIDEWALK EXAMPLE IMAGES

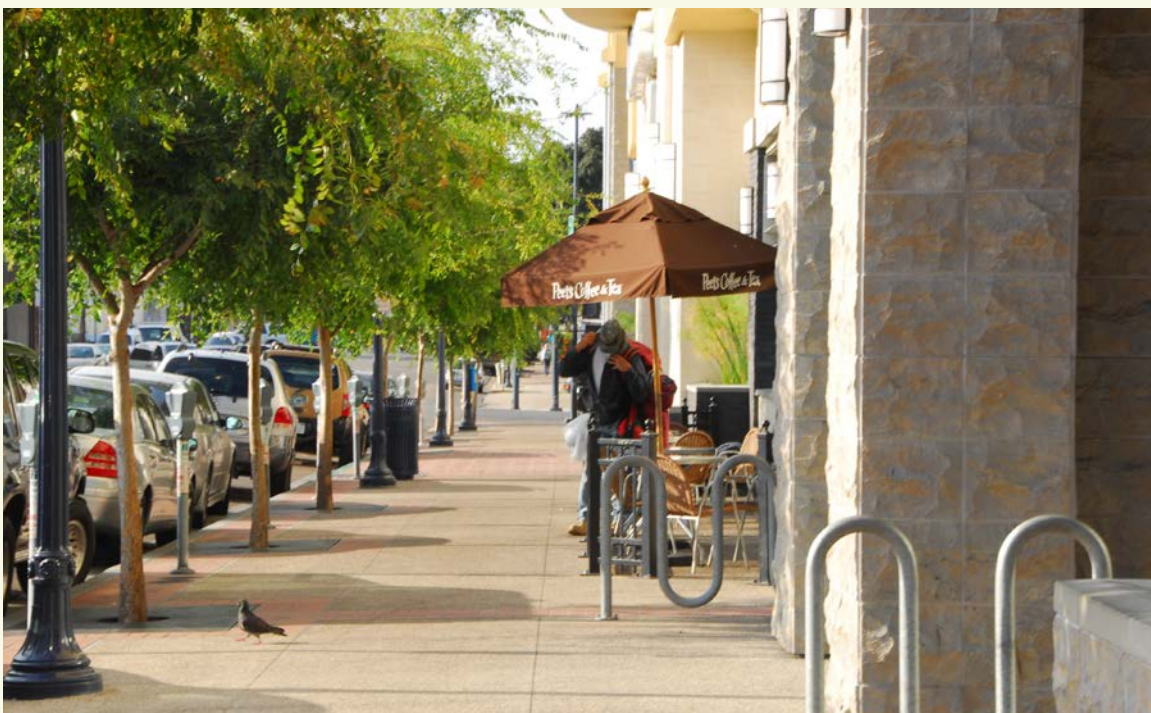
Sidewalk widths of at least 10' are required throughout the Specific Plan Area to provide space for a clear walk zone and basic amenities such as landscaping, lighting, signage, and bicycle parking. Sidewalks of 12' and 15' are required where feasible to increase flexibility of amenity placement and clear paths of travel.



Example of approximately 10' sidewalk



Example of approximately 12' sidewalk



Example of approximately 15' sidewalk

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5.2 PARKWAYS AND STREET TREES

The following Parkway and Street Trees standards and guidelines are intended to:

- » Enhance pedestrian conditions through increased landscaping at sidewalk level
- » Provide a visual buffer between parking lane and sidewalk
- » Improve stormwater capture and increase permeability of sidewalk zone
- » Improve street tree health

The following standards and guidelines are covered in detail in this section:

- » 5.2.1 Parkway Frequency
- » 5.2.2 Parkway Design
- » 5.2.3 Street Trees (section under development)



IMPORTANCE OF PARKWAYS

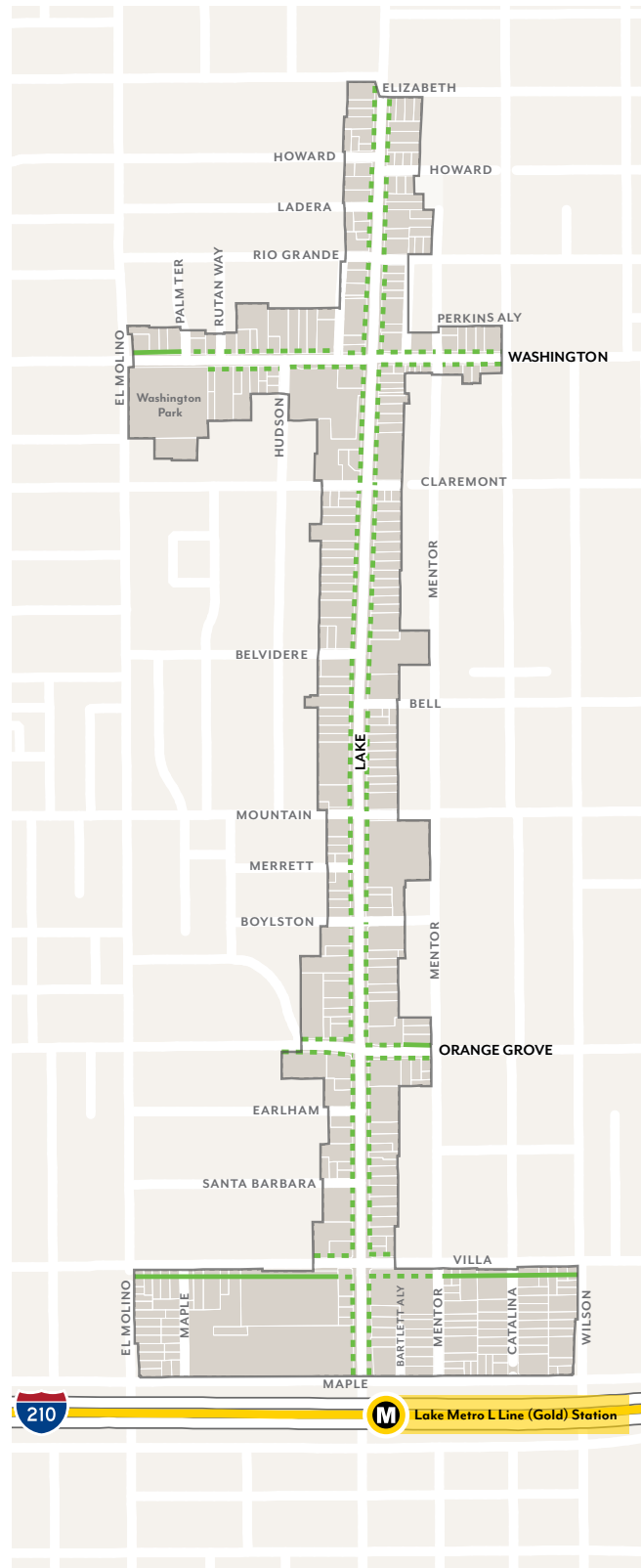
Parkways are landscaped or permeable areas within the sidewalk that play an important role in today's urban landscape by improving pedestrian comfort, increasing sustainability, and enhancing the aesthetic character of the public realm. By expanding the permeable area around street trees, parkways increase rain and stormwater capture, leading to improved street tree health and larger tree canopies, which creates cooler temperatures for pedestrians and reduces pollution in our nearby waterways. Parkway also provide a visual buffer between the pedestrian and moving or parked vehicles, which further improves pedestrian comfort and creates a more attractive sidewalk environment. Typically residential neighborhoods can accommodate long, uninterrupted areas of parkways within the sidewalk. In commercial and mixed use areas, available space for parkways may be constrained by bus shelters, street lights, and the need to accommodate higher levels of pedestrian traffic; however, significant parkway opportunities still exist on these corridors.

IMPORTANCE OF STREET TREES

Street trees play an important role in keeping cities livable, sustainable and resilient. Trees improve air quality, increase urban biodiversity, and help reduce carbon emissions. In addition to environmental benefits, trees provide health, social, economic, and aesthetic benefits to communities. Requirements based on guidance from the City's Master Street Tree Plan will increase street tree coverage and require the preservation or introduction of certain tree species. In adherence with these street tree standards and guidelines, new development will contribute to an enhanced shade canopy that helps to reduce the urban heat island effect, decrease sidewalk temperatures, enhance pedestrian comfort, and improve the visual experience of the street.

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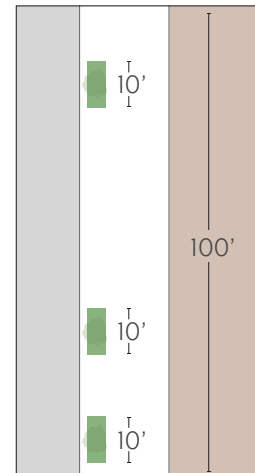
Map 5.2-1: Parkway Frequency



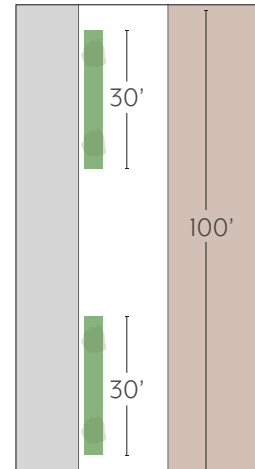
Minimum Parkway



Example of 30% Parkway Frequency



Example of 60% Parkway Frequency



5.2.1 PARKWAY FREQUENCY

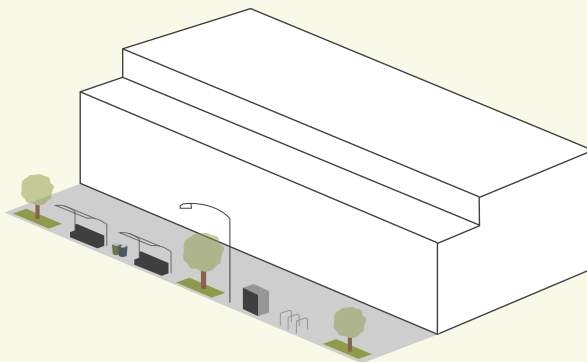
- A. **Parkway frequency.** Parkway shall be provided according to the minimum frequency illustrated in Map 5.2-1, measured as a percentage of the parcel frontage. See figure 5.2-1 for illustrative diagrams of 30% and 60% parkway frequencies.

5.2.2 PARKWAY DESIGN

- A. **Minimum parkways.** Parkway shall be provided according to the minimum widths illustrated in Figures 5.1-3 to 5.1-13.
- B. **Access.** Sidewalks shall include an access space measured from the primary curb line that includes a minimum 18-inch paved area to allow access to and from vehicles parked on the street.
- C. **Stormwater capture.** Parkway shall be designed to collect and retain or treat runoff from the sidewalk. The center 2 inches of the parkway shall be depressed 3-4 inches to form a shallow swale to collect sidewalk stormwater. Alternative means of storing runoff may be provided to per the approval of the Department of Public Works.
- D. **Materials.** A minimum of 50% of the parkway area must be comprised of planting, including street trees, shrubs, and groundcovers. No more than 50% of the parkway area may be comprised of permeable cover materials, including rock, decomposed granite, or permeable pavers. Mulch or porous concrete is not permitted.

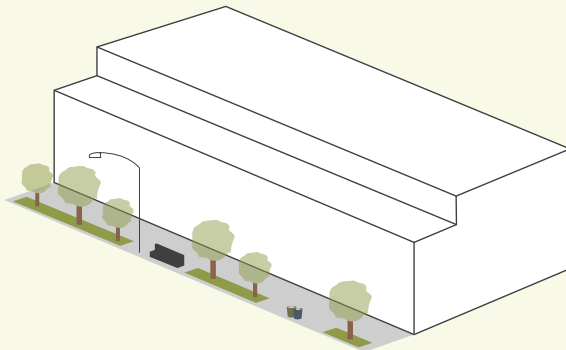
Figure 5.2-1: Parkway Frequency Requirement

30% PARKWAY FREQUENCY



30% parkway frequency provides room for landscaping and street trees while allowing for other amenities or utilities that may be found in a commercial or mixed-use environment, including seating, waste receptacles, bicycle parking, bus shelters, and driveways.

60% PARKWAY FREQUENCY



60% parkway frequency provides room for consistent landscaping and shade tree coverage while allowing for driveways and other amenities or utilities that may be found in a primarily residential environment.

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PARKWAY EXAMPLE IMAGES

The images below reflect examples of appropriate conditions for parkways. These examples are illustrative and may not reflect all applicable development standards.



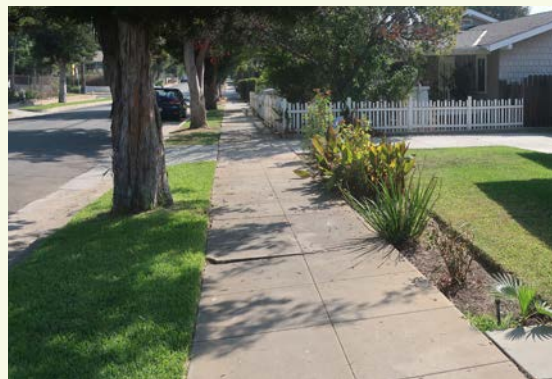
Commercial Parkway



Residential Parkway



Commercial Parkway



Residential Parkway



Commercial Parkway



Residential Parkway

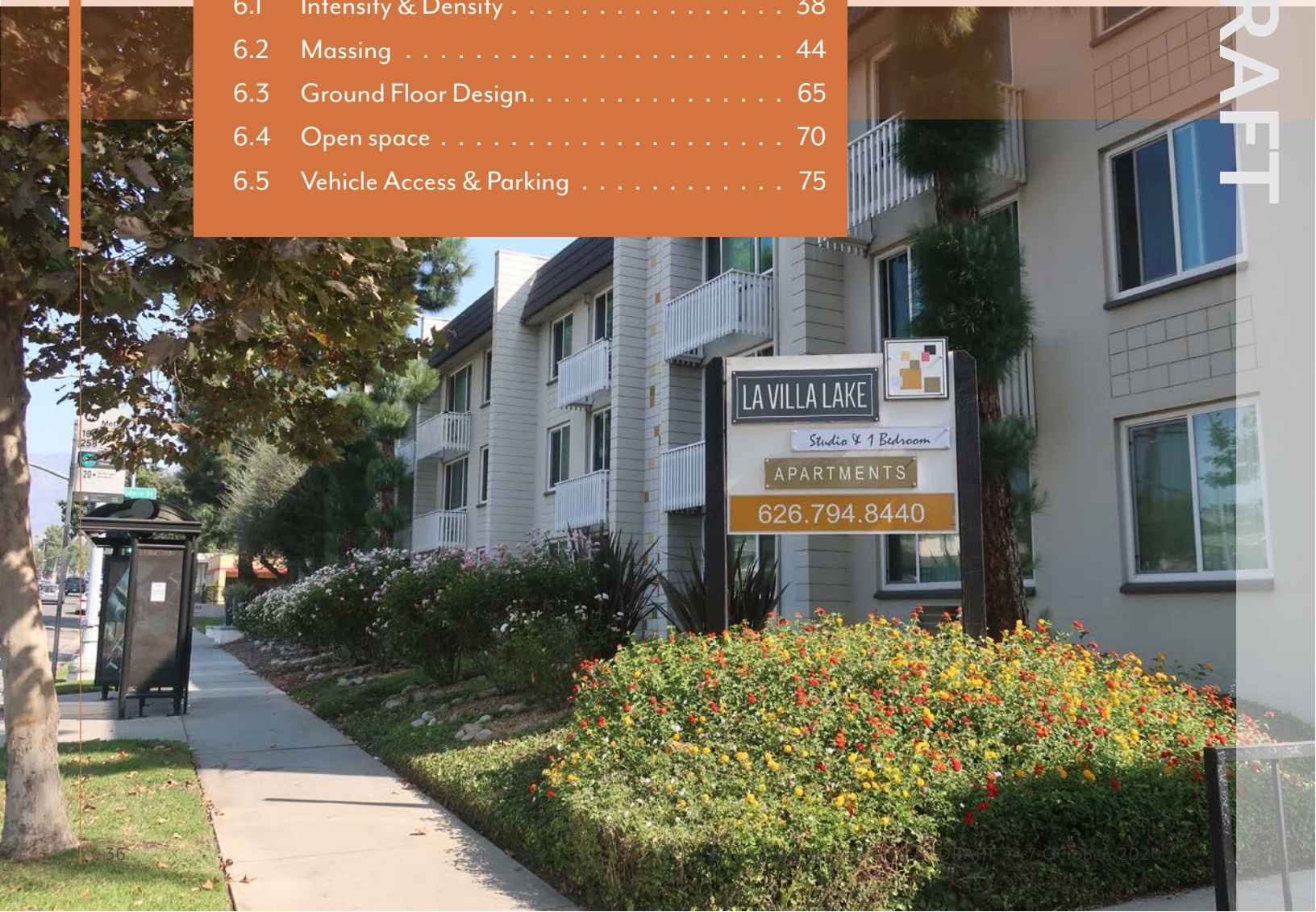
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Ch. 6

Development & Design Standards

Development & Design Standards	37
6.1 Intensity & Density	38
6.2 Massing	44
6.3 Ground Floor Design.	65
6.4 Open space	70
6.5 Vehicle Access & Parking	75

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DEVELOPMENT & DESIGN STANDARDS

IMPORTANCE

The development and design standards in this chapter serve to implement the General Plan vision for the North Lake Specific Plan Area:

“...To transform its automobile-oriented character with pockets of commercial and residential uses into a well-designed and attractive corridor supporting multiple travel modes including transit, bicycling, and walking with clusters of distinctive places for shopping, dining, and living.”

The standards identified for the North Lake Specific Plan facilitate a mixed-use neighborhood district at the intersection of N. Lake Avenue and Washington Boulevard and a transit district surrounding the Metro Gold Line Station, with additional clusters of commercial and residential activity with local-serving shops, housing, and amenities. While the standards in this chapter are focused on achieving a forward-thinking vision, they also serve to guide development with contextual sensitivity to designated historic resources, surrounding historic landmark districts and neighboring residential communities.



CHAPTER OVERVIEW

The development and design standards in this chapter address and regulate new development, working together to facilitate high-quality, context-sensitive buildings which support a vibrant neighborhood-oriented district in the North Lake Specific Plan Area. Each development and design standard serves a distinct purpose and collectively forms a holistic toolbox of strategies. The following standards are presented in this chapter:

- » **6.1 Intensity & Density.** Addresses residential density, commercial intensity, and building heights.
- » **6.2 Massing.** Includes a series of development and design standards which work together to shape development.
- » **6.3 Ground Floor Design.** Standards that focus on the design of a building's ground floor.
- » **6.4 Open Space.** Introduces standards for private, common, and public use.
- » **6.5 Access & Parking.** Addresses vehicle access and parking standards, as well as standards which address parking garages.

Each section includes rationale for the standard followed by sub-sections for individual standards, if applicable. Within each standard, introductory text is provided for additional context, followed by standards in text and/or table format with diagrams and images to illustrate regulations. Note that diagrams and images are provided to communicate measurement and intent of the standards; neither are intended to suggest the use of particular architectural styles.

6.1 INTENSITY & DENSITY

The General Plan Land Use Element designates a range of intensities and densities in the North Lake Specific Plan Area to support the establishment of a vibrant mixed-use neighborhood district with new housing options, retail and service businesses, office spaces, and community uses.

The standards in this section are intended to:

- » Implement the General Plan densities (du/ac) and floor area ratios (FAR)
- » Foster a diverse community that supports integrated residential and non-residential uses appropriately scaled to the surrounding areas.

The following standards are covered in detail in this section:

- » 6.1.1 Density and FAR
- » 6.1.2 Height

DEFINING SCALE

The overall scale of new development is primarily determined by building intensity, density, and height. Intensity relates to the ratio of a building's floor area to its land area, measured in floor area ratio (FAR). Density relates to the number of dwelling units per acre (du/ac) in a residential building.



Example of a 4-story senior housing development on Villa Street

6.1.1 DENSITY AND FAR

- A. **Maximum Density (du/ac) and FAR.** Projects shall not exceed the allowable dwelling units per acre (du/ac) and/or floor area ratio (FAR) maximums set in Map 6.1-1 and 6.1-2. The maximums are based on gross parcel size; a reduction in buildable area due to dedications/easements or setbacks shall not reduce allowable maximums. Parking and loading areas are excluded from FAR calculations.
1. **Residential** projects are subject to du/ac maximums.
 2. **Non-residential** projects are subject to FAR maximums.
 3. **Mixed-use** projects are subject to both du/ac and FAR maximums.

SCALED DEVELOPMENT & HOUSING NEEDS

FAR and Density maximums in MUN and MUC aim to maintain existing low-scale, mixed-use character within largely residential buildings. FAR maximums in WC and LC aim to maintain a low-scale commercial and office character. FAR and Density maximums in WMU, NLTD and RM/ UH allow for higher residential capacity in order to meet local and regional housing needs and support local businesses.

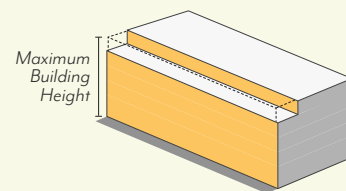
6.1.2 HEIGHT

- A. **Building Height.** Projects shall not exceed the allowable height limits set in Map 6.1-3. Height is measured from the existing grade of the site to an imaginary plane located above but parallel to the grade.
- B. **Varied roof lines.** In the North Lake Transit District (NLTD) zone, the maximum allowable height of each building measured to the top of a projection may exceed the maximum building height by up to 12 feet for no more than 30% of the proposed footprint of that respective building.
1. Multiple buildings with an above-grade connection shall be treated as one building with a combined proposed footprint area. Buildings connected only through subterranean parking shall be considered separate when calculating proposed footprint area.
 2. This allowance is not applicable to other development standards relating to building scale and massing, such as setbacks.
 3. This allowance may not be used with the height concession set in PMC17.43.055.
- C. **Exceptions,** including for appurtenances and railings, allowed per PMC17.40.060.

BUILDING HEIGHT

Height standards ensure that developments are built in relationship to their surrounding context, creating overall compatibility and architectural cohesion throughout a neighborhood or corridor.

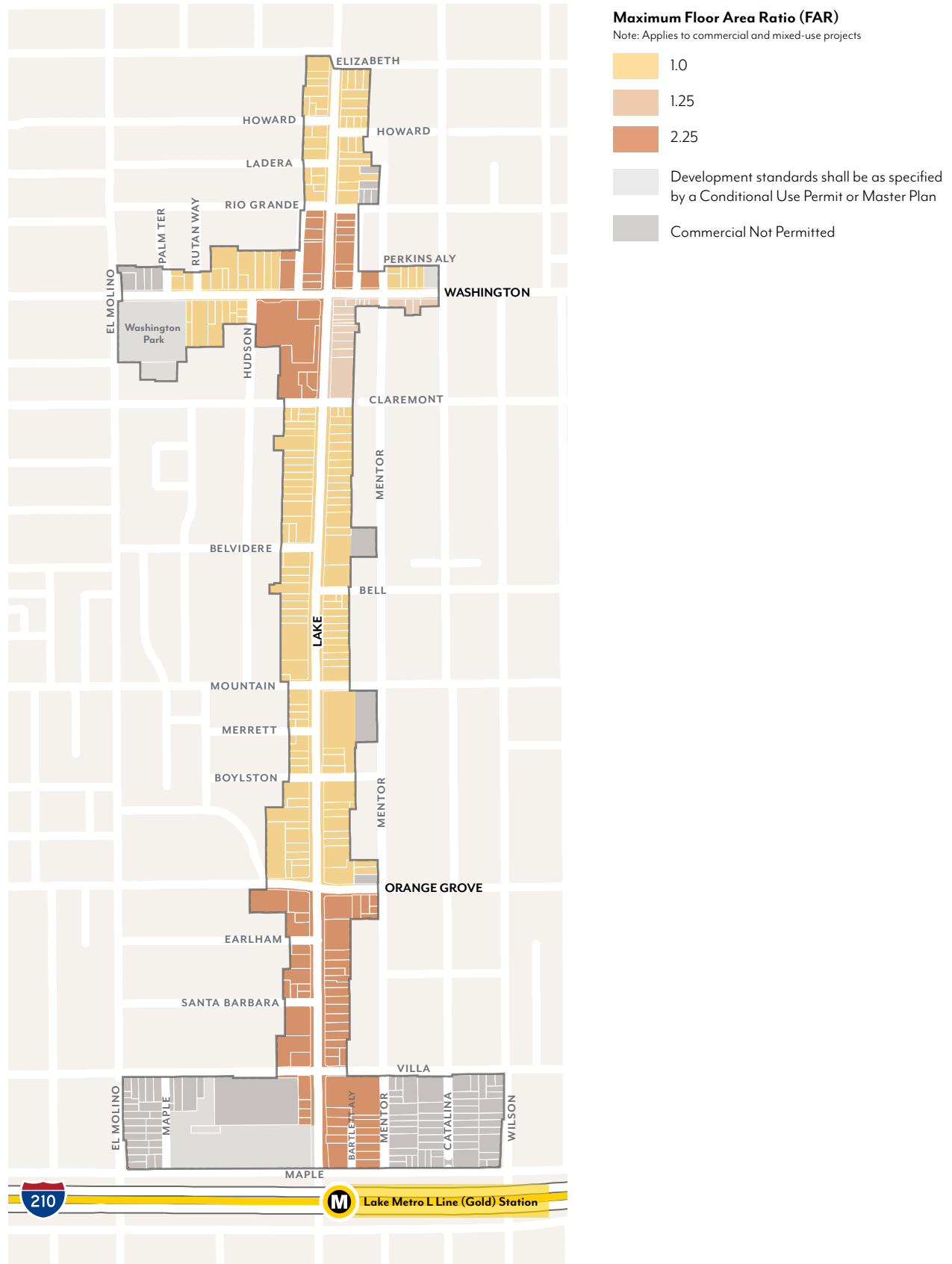
Figure 6.1-1: Maximum Height



Height is measured from the existing grade of the site to an imaginary plane located above but parallel to the grade.

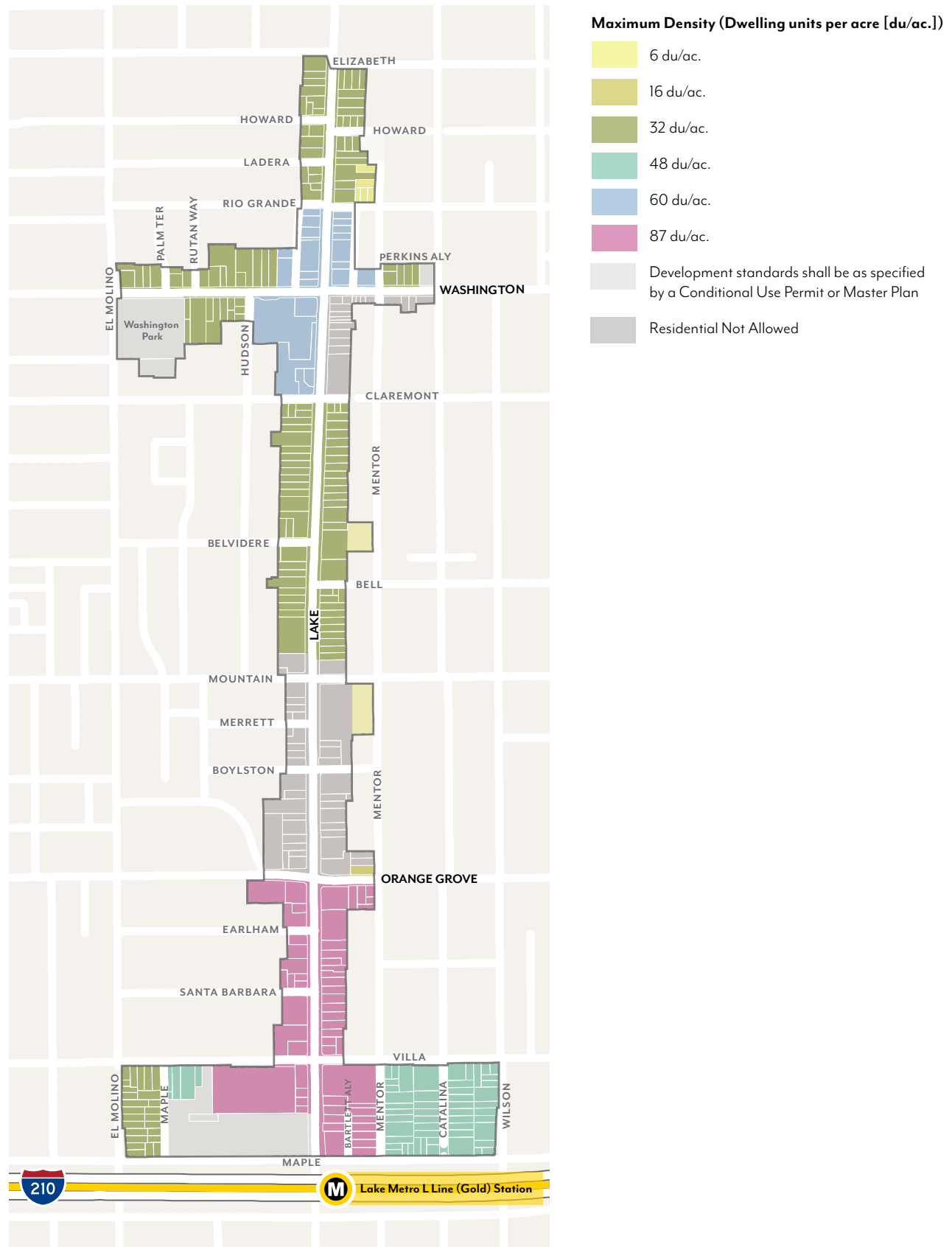
Note: Diagram used for measurement illustration purposes only.

Map 6.1-1: Maximum Floor Area Ratio (FAR)

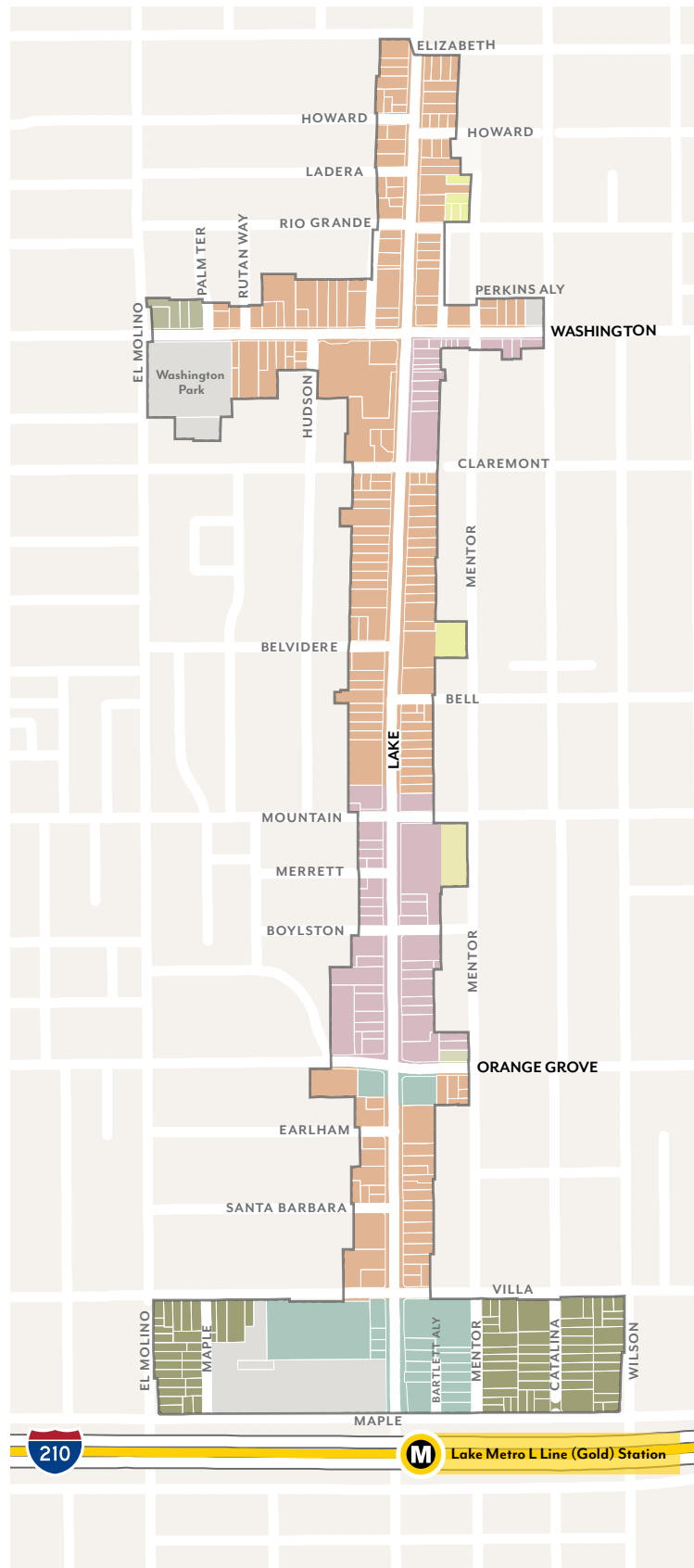


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Map 6.1-2: Maximum Density (du/ac)



Map 6.1-3: Maximum Building Height



Maximum Building Height

- 36 ft.
- 39 ft.
- 51 ft.
- Refer to RS-6 Zoning Regulation
- Refer to RM-16 Zoning Regulation
- Refer to RM-32 Zoning Regulation
- Refer to RM-48 Zoning Regulation
- N/A
- Development standards shall be as specified by a Conditional Use Permit or Master Plan

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HEIGHT EXAMPLE IMAGES

The images below reflect a range of building heights that are allowed in zoning districts throughout the North Lake Specific Plan area. Architectural features such as roof shape, stepbacks, and modulation can add variation to the roof line and reduce visual impact of building height. These examples are illustrative and may not reflect all applicable development standards.



Example of approximately 36' building



Example of approximately 39' building



Example of approximately 51' building

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6.2 MASSING

The standards in this section are intended to:

- » Shape development in a manner that creates a defined public realm and appropriate scale of buildings for a visually appealing community.
- » Reduce building massing adjacent RS zones through setback and stepback requirements that create appropriate transitions to residential neighborhoods.
- » Require appropriate transitions to registered historic structures and districts.
- » Support high-quality architecture and urban design with articulation and modulation requirements.

The following standards are covered in detail in this section:

- » 6.2.1 Setbacks
- » 6.2.2 Streetwall
- » 6.2.3 Stepbacks
- » 6.2.4 Façades & Modulation
- » 6.2.5 Historic Adjacency

Parcels adjacent to historic structures shall refer to Section 6.2.5 Historic Adjacency.

SHAPE & DESIGN OF DEVELOPMENT

Building massing contributes to the overall shape and design of development. Through building setbacks, developments can allow for landscaping, seating and shade structures, as well as public plazas and open space. Between buildings, development can step back from the property line to help ensure context-sensitive massing transitions, including transitions to residential neighborhoods or historic properties. Façade modulation works with the range of massing tools listed above to contribute to attractive and pedestrian-scaled buildings by balancing linear visual consistency with interest and variety.

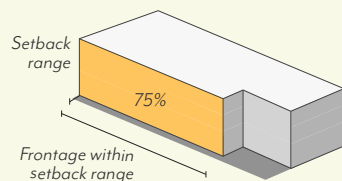


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6.2.1 SETBACKS

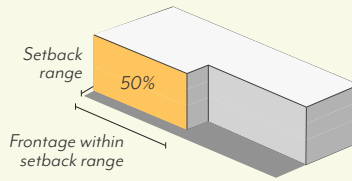
- A. **Street Setback.** Projects shall comply with the Setback ranges and minimums set in Map 6.2-1. Setback ranges shall be met for the percent of primary street frontage set in Map 6.2-2. While the remaining percentage of street frontage may be beyond the maximum, setbacks less than the minimum are prohibited. Street setbacks are those abutting public property and are measured from the minimum sidewalk line.
1. Residential dwelling units on the ground floor shall have a minimum setback of 5 feet.
 2. Exceptions allowed per PMC17.40.160.
 3. Allowed features within the street setback include landscape, hardscape (stoops, patios), planters, seating, shading, and other open space features per Design Review/Director approval.
- B. **Interior Setback.** Projects shall comply with the interior setback minimums set in Table 6.2-1. Interior setbacks are those abutting private parcels and are measured from the property line (PL). Interior PL setback applies to properties within the same zone. Where adjacent to other zoning categories see interior PL setback to other districts. See Section 6.2.5 Historic Adjacency for interior PL setbacks to designated historic properties.
1. Exceptions allowed per PMC17.40.160 (Table 6.2-1).

Figure 6.2-1: Setback Range
(CG, CL, CF, MU-48)



Up to 25% of building frontage can be setback farther than the required range (setback range varies by zoning district and street)

Figure 6.2-2: Setback Range
(RM-16)



Up to 50% of building frontage can be setback farther than the required range (setback range varies by zoning district and street)

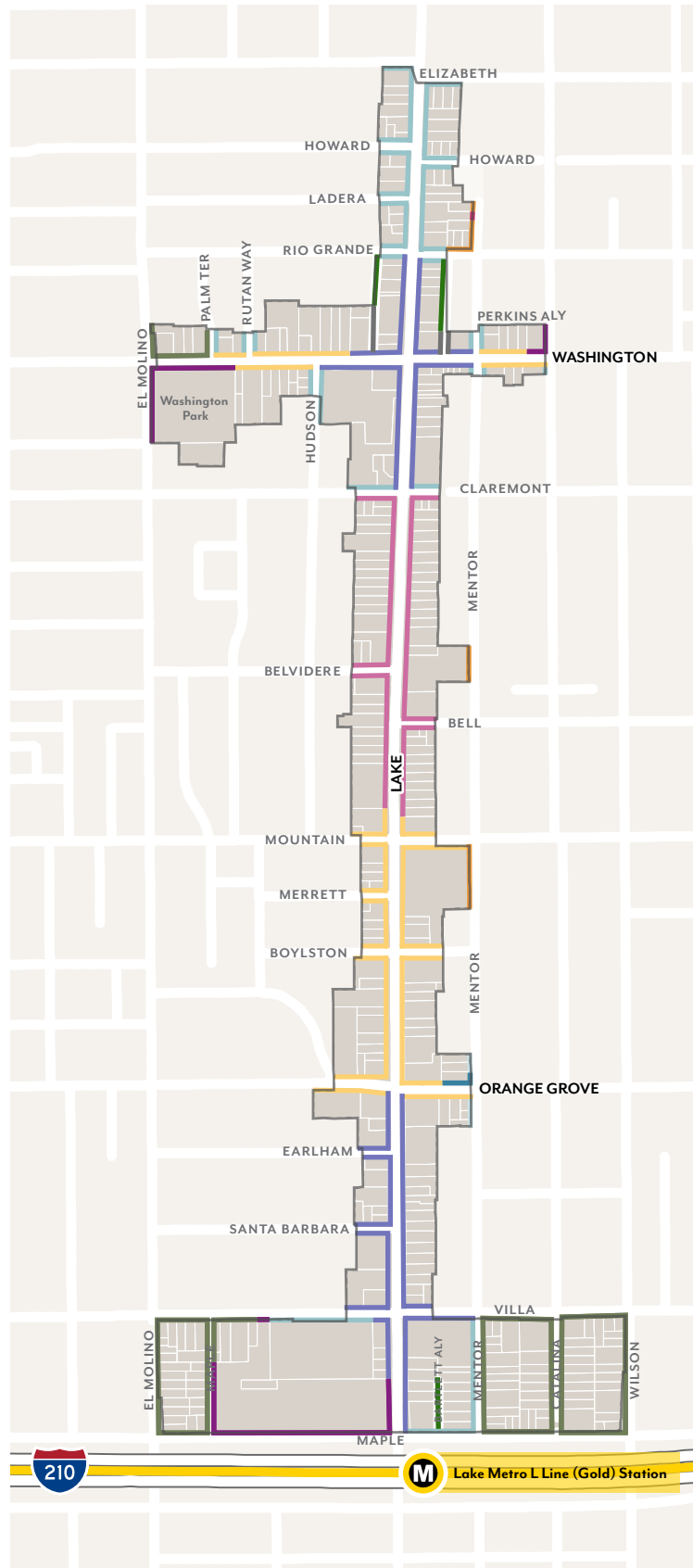
Note: Diagrams used for measurement illustration purposes only.

Table 6.2-1: Interior Setbacks by Zoning

	MUN	WMU	WC	MUC	LC	NLTD	RM/UH
Interior PL setback within zone	None required			5' min.	None required		5' min.
Adjacent non-residential zones	None required						
Adjacent mixed-use zones	None required						
Adjacent residential zones	20' min.	15' min.	15' min.	20' min.	15' min.		
Adjacent OS / PS	15' min.						

Interior Setbacks for other RS and RM zones shall be determined per PMC 17.22.050. Interior setbacks for OS and PS shall be determined by CUP/MP.

Map 6.2-1: Street Setbacks



Street Setbacks

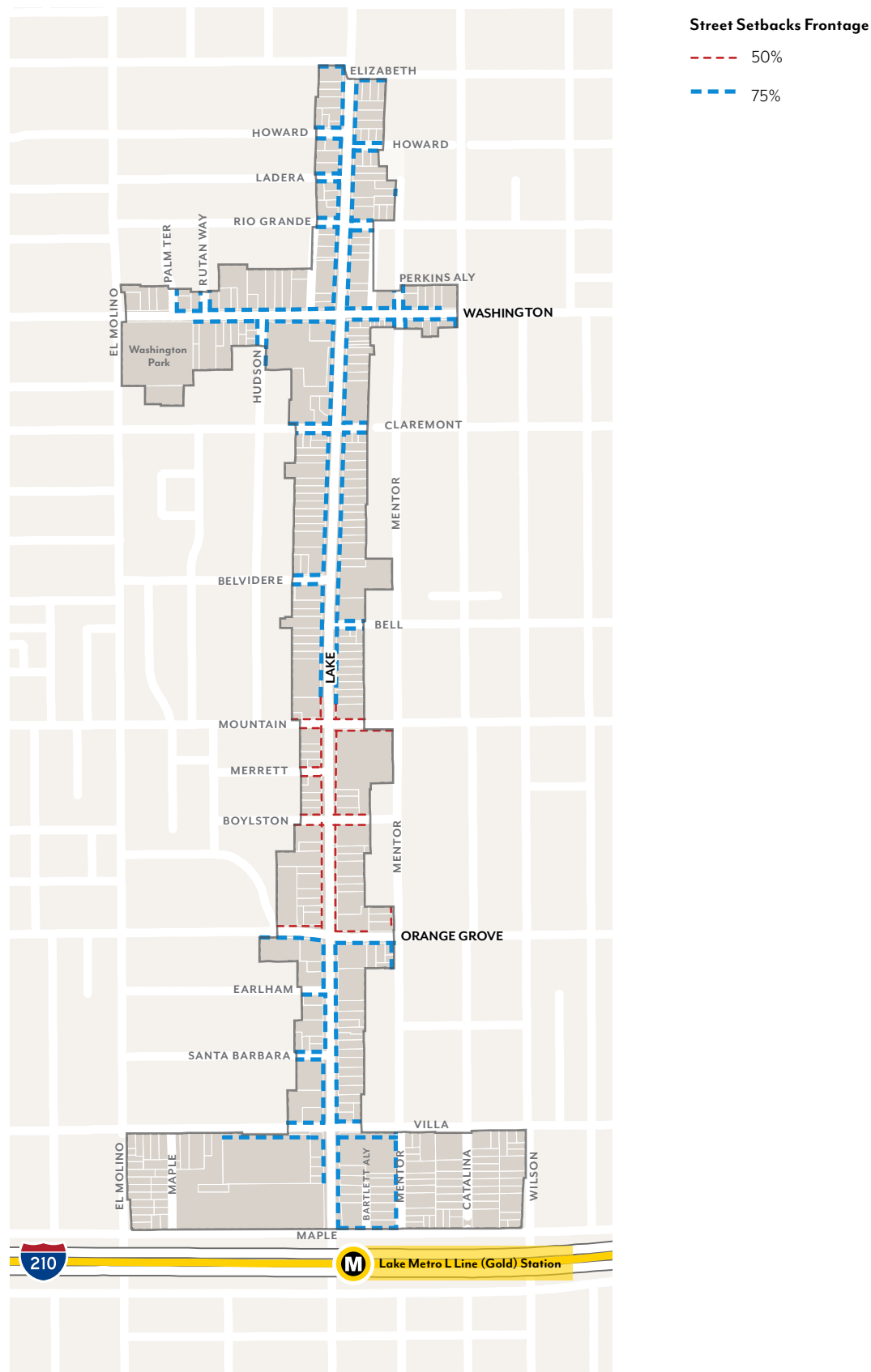
Minimum-Maximum setback range from minimum sidewalk line

- 0
- 3 ft. min.
- 0 - 3 ft.*
- 0 - 5 ft.
- 0 - 10 ft.*
- 10-20 ft.
- Refer to RS-6 Zoning Regulation
- Refer to RM-16 Zoning Regulation
- Refer to RM-32/48 Zoning Regulation
- Development standards shall be as specified by a Conditional Use Permit or Master Plan

* Note: Residential units on the ground floor shall have a minimum 5 ft. setback

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Map 6.2-2: Street Setbacks Frontage



STREET SETBACK EXAMPLE IMAGES

Street setbacks refer to the space between the public sidewalk and a building. The images below reflect a range of setback conditions allowed in zoning districts throughout the North Lake Specific Plan Area. Setback standards create a consistent streetwall and help achieve an appropriate level of interaction between the public realm and private properties. Setbacks can enhance the building frontage zone by providing room for landscaping and outdoor dining. Wider setbacks provide a buffer between the sidewalk and residential properties. These examples are illustrative and may not reflect all applicable development standards.



Example of a 0-5' setback



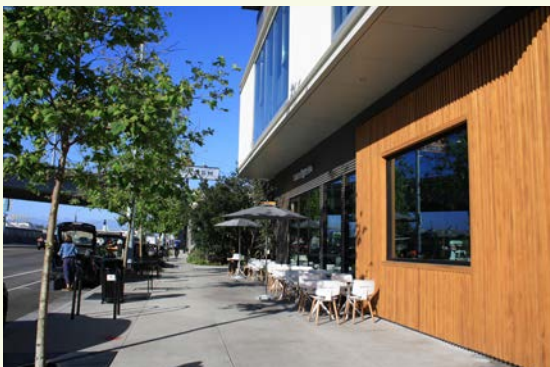
Example of a 5-10' setback



Example of an approximately 10' setback



Example of a 10-20' setback



Example of Recessed Ground Floor



Example of Arcade

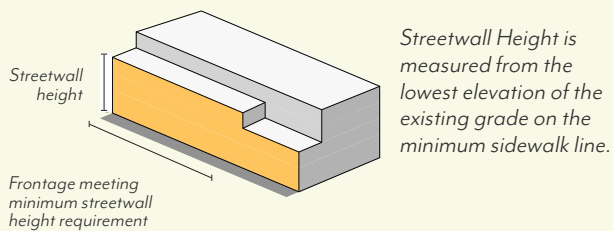
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6.2.2 STREETWALL

- A. **Streetwall.** In North Lake Transit District (NLTD) and Washington Mixed Use (WMU), Projects shall meet or exceed 25 feet along Lake Avenue, Washington Avenue, and Villa Street for at least 75% of frontage if the number of stories is greater than or equal to the streetwall requirement. Height is measured from the lowest elevation of the existing grade on the minimum sidewalk line. See Section 6.2.5 Historic Adjacency for streetwall minimum requirements adjacent to designated historic properties.
1. Streetwall is not required to be continuous. Breaks are allowed for articulation and modulation.



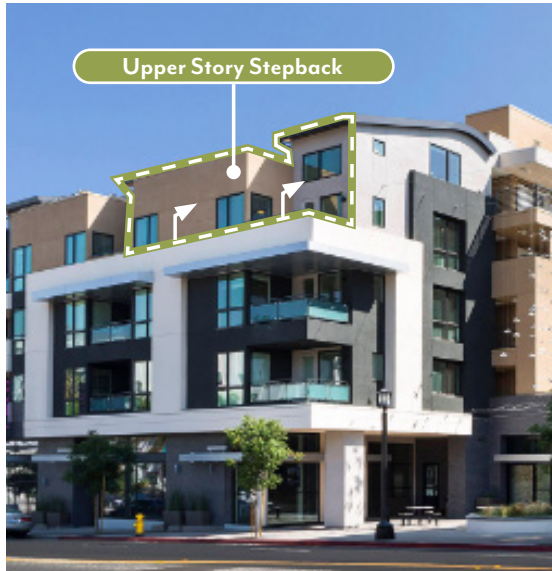
Figure 6.2-3: Minimum Streetwall Height



Note: Diagram used for measurement illustration purposes only.

6.2.3 STEPBCKS

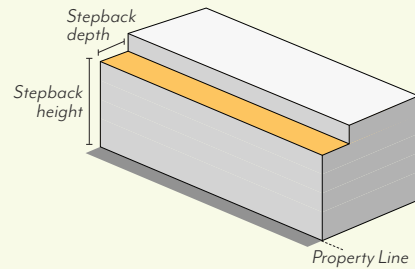
- A. **Upper Story Stepback.** Projects shall not exceed the height specified in Table 6.2-2 before stepping back the specified depth. Stepbacks are measured from the existing grade of the site. No Stepback is required when the adjacent zone is non-residential or mixed-use. See Section 6.2.5 Historic Adjacency for stepbacks for properties adjacent to designated historic properties.
1. **Allowed uses** within the Stepback include balconies, patios, trellises, green roofs, and other open space features per Design Review/Director approval.



NEIGHBORHOOD TRANSITIONS

Stepbacks help ensure that building mass and height is distributed appropriately, creating transitions between the highest point of a building and neighboring structures. Interior stepbacks from adjacent residential properties create scale transitions between zones. Each street has a street section diagram on the following pages identifying the stepback requirements in more detail.

Figure 6.2-4: Stepbacks



Note: Diagram used for measurement illustration purposes only.

Table 6.2-2: Stepbacks by Zoning District

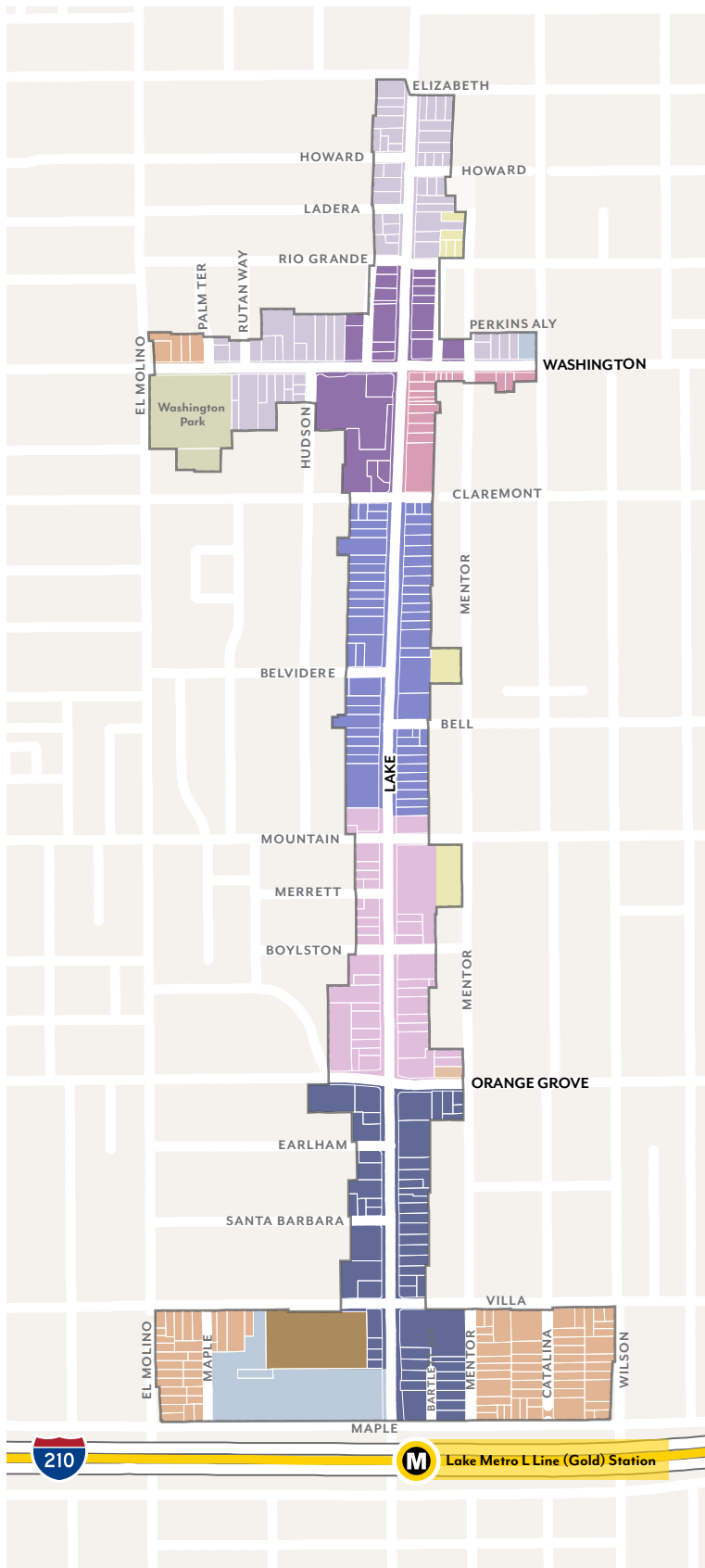
Depth		MUN	WMU	WC	MUC	LC	NLTD	UH	RS-6	RM-16	RM-32/48	OS/PS
Lake Avenue ²	10'	39' ¹	39' ¹	—	—	—	51' ¹	51' ¹	Per PMC 17.40.160			As approved by CUP / MP
	20'	—	—	—	20' ¹	—	—	—				
Other streets ²	10'	39' ¹	39' ¹	—	39' ¹	—	51' ¹	51' ¹				
Adjacent RM	50'	39' ¹	39' ¹	—	39' ¹	—	51' ¹	51' ¹				
Adjacent RS	—	Per PMC 17.40.160										

¹ Affordable housing projects that take a concession for additional height shall step back above this height.

“—” = Not Applicable

² Elizabeth Street, Howard Street, Ladera Street, Rio Grande Street, Washington Boulevard, Rutan Way, Hudson Avenue, Prime Court, Mentor Avenue, Claremont Street, Belvidere Street, Bell Street, Orange Grove, Earlham Street, Santa Barbara Street, Villa Street, Maple Street

Map 6.2-3: Massing Cross Sections by Zoning District Key Map



MASSING CROSS SECTIONS BY ZONING DISTRICT

The colored bars and numbered labels in this map correspond to the numbered cross sections in Figure 6.2-5 through Figure 6.2-11. The arrows indicate the direction of the views represented in each cross section diagram.

Zoning Districts

- NLSP-MUN (Mixed Use Neighborhood)
- NLSP-WMU (Washington Mixed Use)
- NLSP-MUC (Mixed Use Corridor)
- NLSP-NLTD (North Lake Transit District)
- NLSP-WC (Washington Commercial)
- NLSP-LC (Low Commercial)
- NLSP-RM/UH (Urban Housing)
- RS-6 (Single Family Residential)*
- RM-16/32/48 (Multi-Family Residential)*
- PS (Public, Semi-Public)*
- OS (Open Space)*

*Zone is governed by PMC

MASSING | CROSS-SECTIONS BY ZONING DISTRICT

Figure 6.2-5: Mixed Use Neighborhood (MUN)

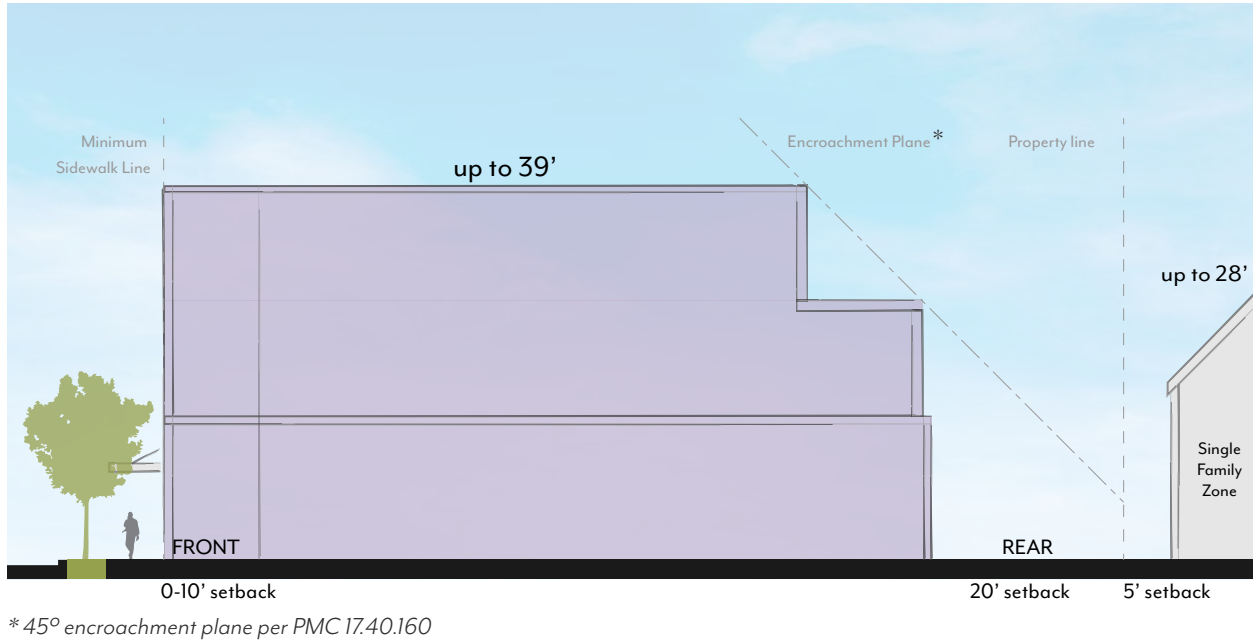
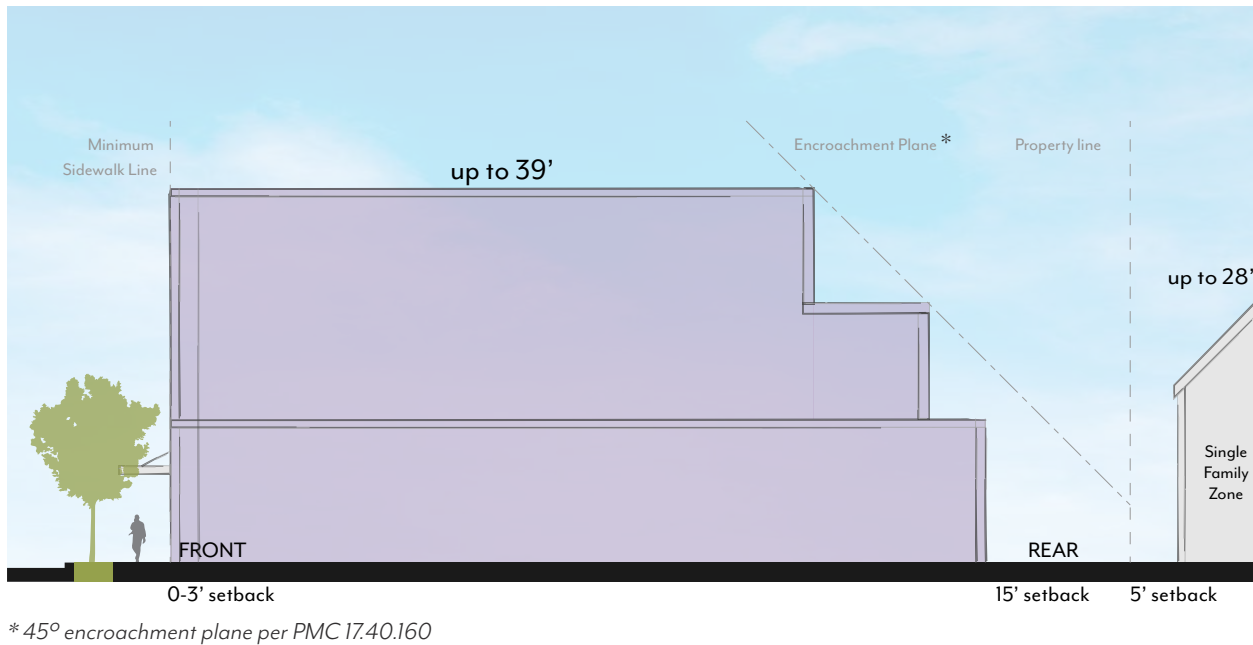


Figure 6.2-6: Washington Mixed Use (WMU)



Notes: Diagrams used for measurement illustration purposes only. Multi-Family Zone height limits represent existing standards as of August 2020 and are subject to change.

MASSING | CROSS-SECTIONS BY ZONING DISTRICT

Figure 6.2-7: Washington Commercial (WC)

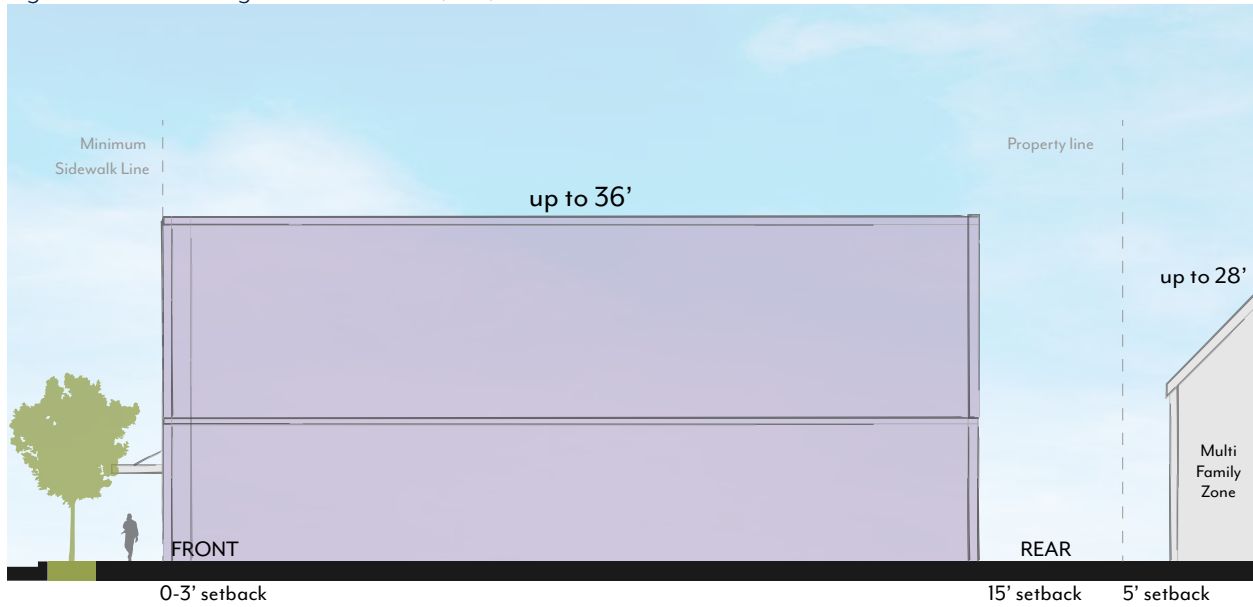
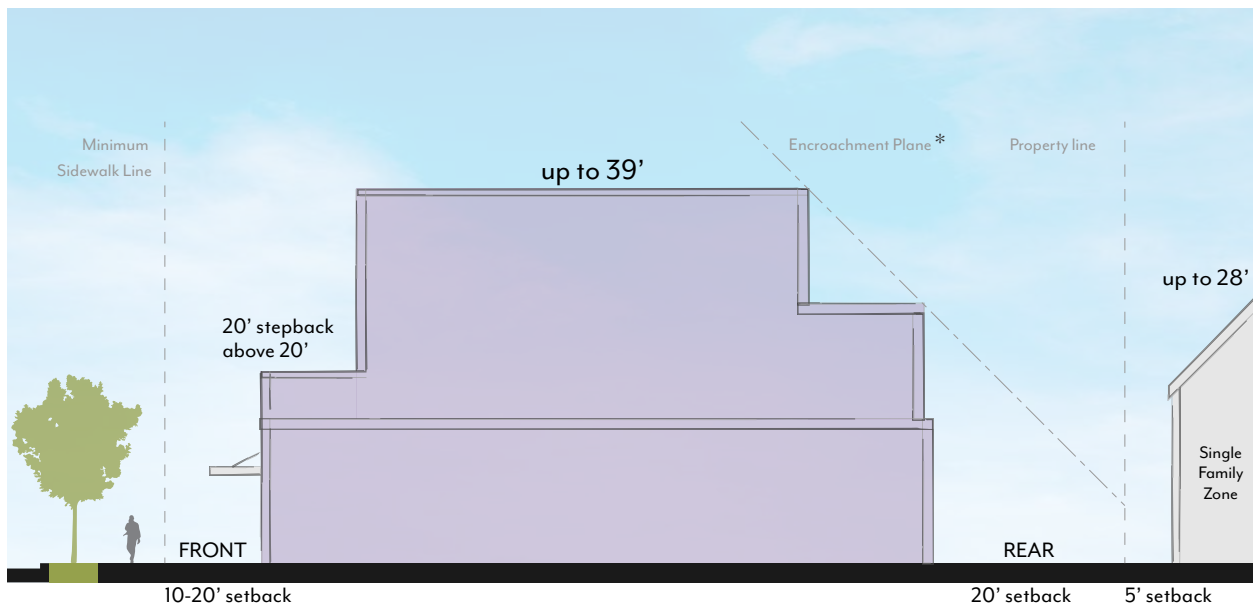


Figure 6.2-8: Mixed Use Corridor (MUC)



Notes: Diagrams used for measurement illustration purposes only. Multi-Family Zone height limits represent existing standards as of August 2020 and are subject to change.

MASSING | CROSS-SECTIONS BY ZONING DISTRICT

Figure 6.2-9: Low Commercial (LC)

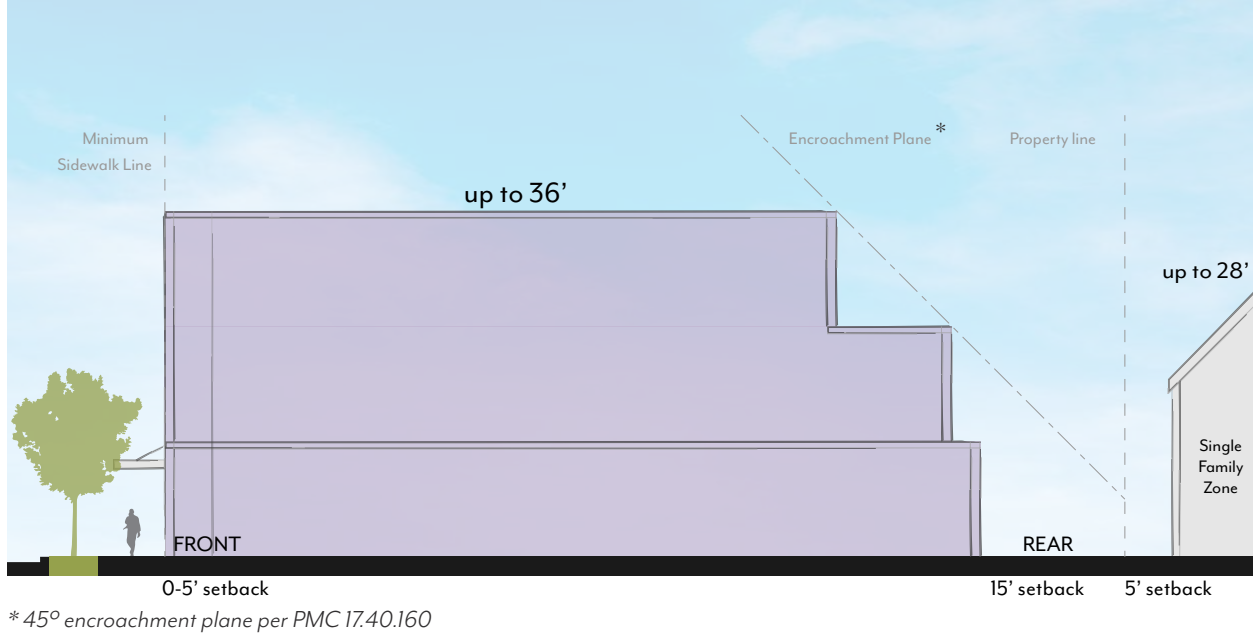
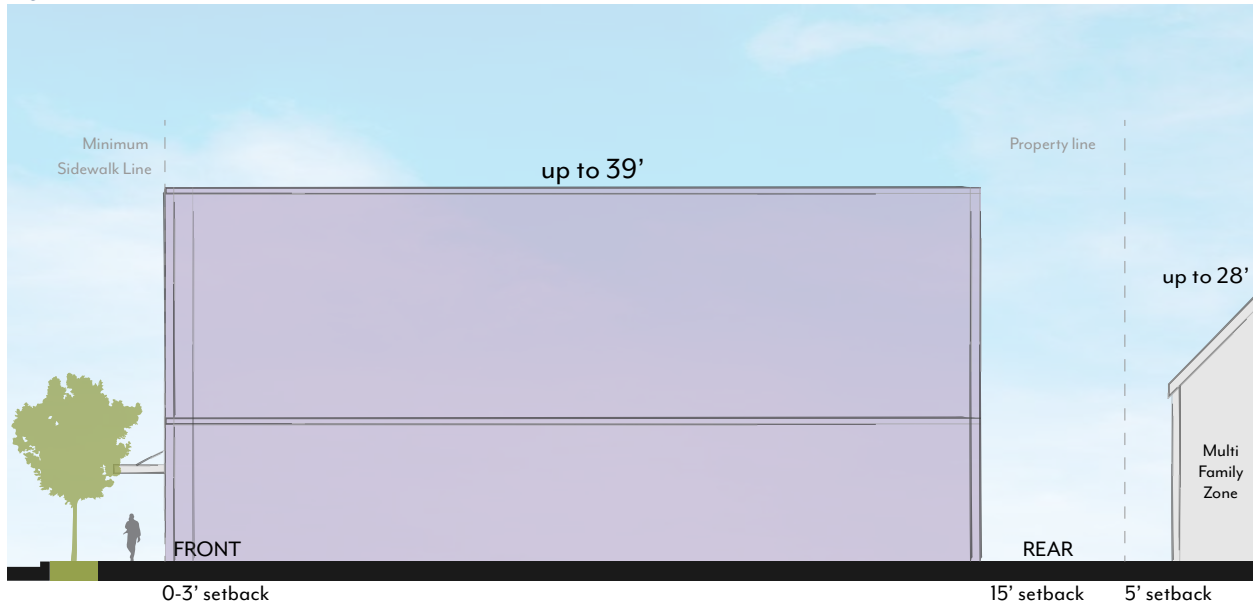


Figure 6.2-10: North Lake Transit District (NLTD) 39' Condition



Notes: Diagrams used for measurement illustration purposes only. Multi-Family Zone height limits represent existing standards as of August 2020 and are subject to change.

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Figure 6.2-11: North Lake Transit District (NLTD) 51' Condition

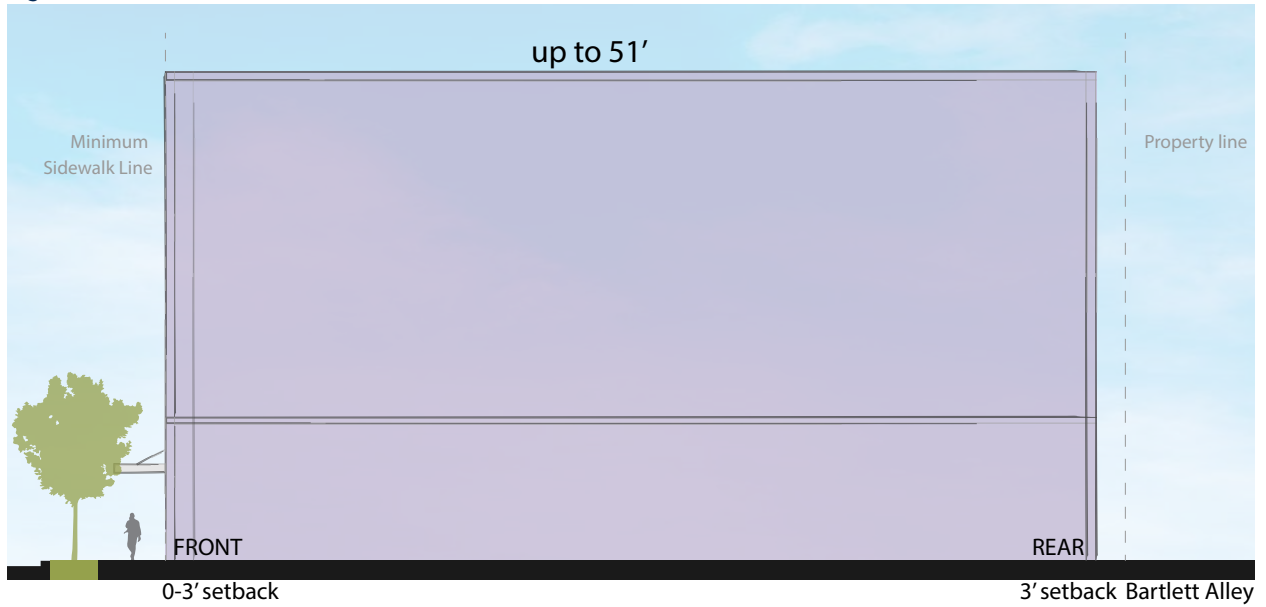
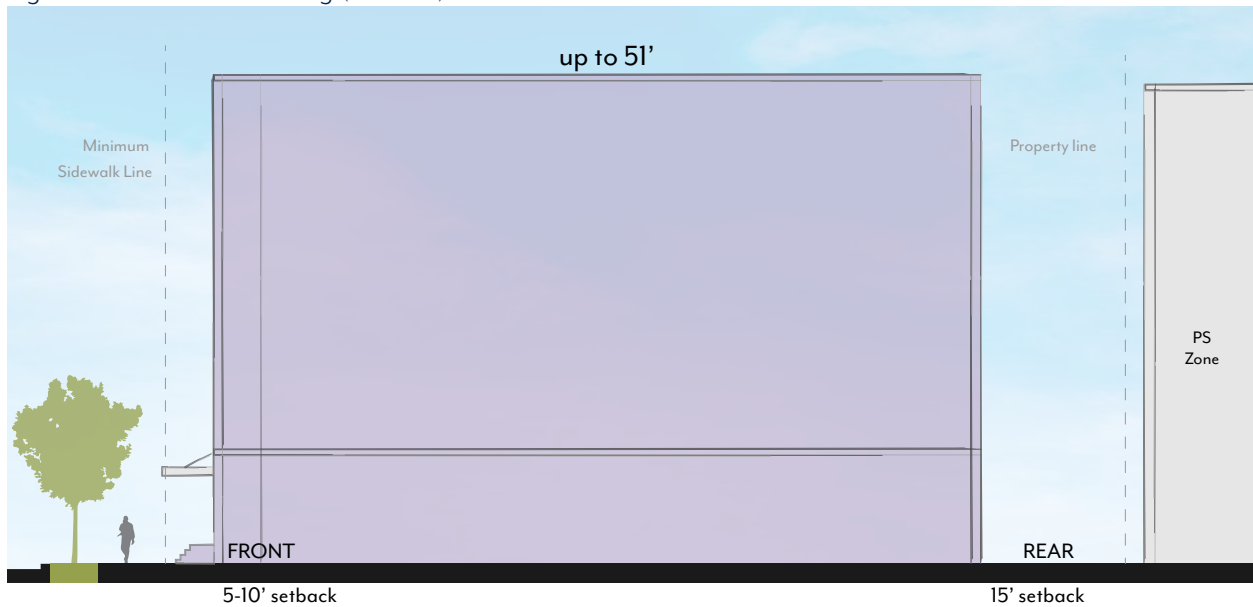


Figure 6.2-12: Urban Housing (RM/UH)



Notes: Diagrams used for measurement illustration purposes only. Multi-Family Zone height limits represent existing standards as of August 2020 and are subject to change.

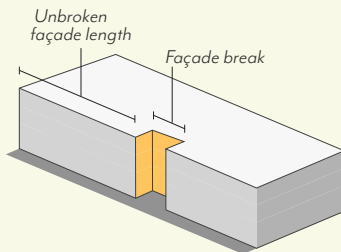
6.2.4 FAÇADES

- A. **Length.** Façades over 150 feet in length shall include a break at least 20 feet wide and 10 feet deep, open to the sky.
1. Exceptions allowed for residential buildings with individual unit entrances up to 200 feet in length before a break is required.
- B. **Modulation.** Façades over 50 feet in length and 2 stories in height shall modulate a minimum of 25% of the area above the ground floor at least 2 feet in depth. Buildings with fewer than 3 stories are exempt.
1. Modulation includes any street-facing façade within 10 feet of the Setback except for any required Stepbacks.
 2. Modulation is not required to be continuous or open to the sky, and may be recessed or projected, but not beyond the minimum sidewalk line.
 3. Windows shall be recessed by at least 2 inches from the facade.
- C. **Materials.** At least 5% of each façade shall consist of a secondary material, excluding those used in windows, doors, and railings.
- D. **Transparency.** At least 20% of each façade facing a public street or required paseo shall be comprised of transparent openings. Ground floor transparency requirements shall also apply; see section 6.3.3.
1. Transparent openings may include windows and doors with clear glass or façade openings at least three feet in depth.
 2. The use of mirrored or highly reflective glazing is prohibited.

CREATING VISUAL INTEREST AND BREAKING UP MASS

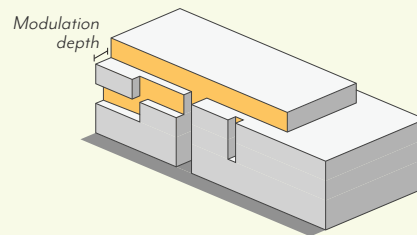
Façade modulation refers to variations in depth of a building's façade. Modulation can be achieved through architectural elements such as fenestration patterns and window bays, stepbacks, balconies, and full façade breaks. Modulation breaks up building massing, creates visual interest, and provides opportunities for open space.

Figure 6.2-13: Façade Length



Façades over 150 feet in length shall include a break at least 20 feet wide and 10 feet deep, open to the sky.

Figure 6.2-14: Façade Modulation



Façades over 50 feet in length and 2 stories in height shall modulate a minimum of 25% of the area above the ground floor at least 2 feet in depth.

Note: Diagrams used for measurement illustration purposes only.

FAÇADE & MODULATION EXAMPLE IMAGES

The images below reflect examples of appropriate façade and modulation treatments. These examples are illustrative and may not reflect all applicable development standards.



Balconies and other variations in wall plane depth create visual interest



Façade modulation can be applied to various architectural styles

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6.2.5 HISTORIC ADJACENCY

A. **Transition Massing.** Projects adjacent to designated historic resources within the Specific Plan Area are subject to the following standards and shown in Figure 6.2-15.

1. **A modified minimum street setback.** A modified minimum street setback shall be an average of the minimum setback in Map 6.2-1 and that of the resource for a minimum of 20 feet closest to the shared property line. If between two resources, the street setback shall be an average of the setbacks of the two resources.
2. **A modified minimum-maximum interior setback.** The minimum interior setback shall be no less than the adjacent interior setback, up to 15 feet.
3. **A modified maximum streetwall.** A modified maximum streetwall height shall be no higher than the height of the historic resource for at least 20 feet from the shared property line. A stepback of 10 feet in depth is required above this height, measured from the minimum street setback.
4. **A modified maximum stepback.** A modified maximum stepback height on the interior property line adjacent a residential historic resource shall not exceed an encroachment plane sloping upward and inward at a 30-degree angle measured from the vertical, commencing six feet above the existing grade at the property line.



Oversen Building

HONORING HISTORIC SIGNIFICANCE

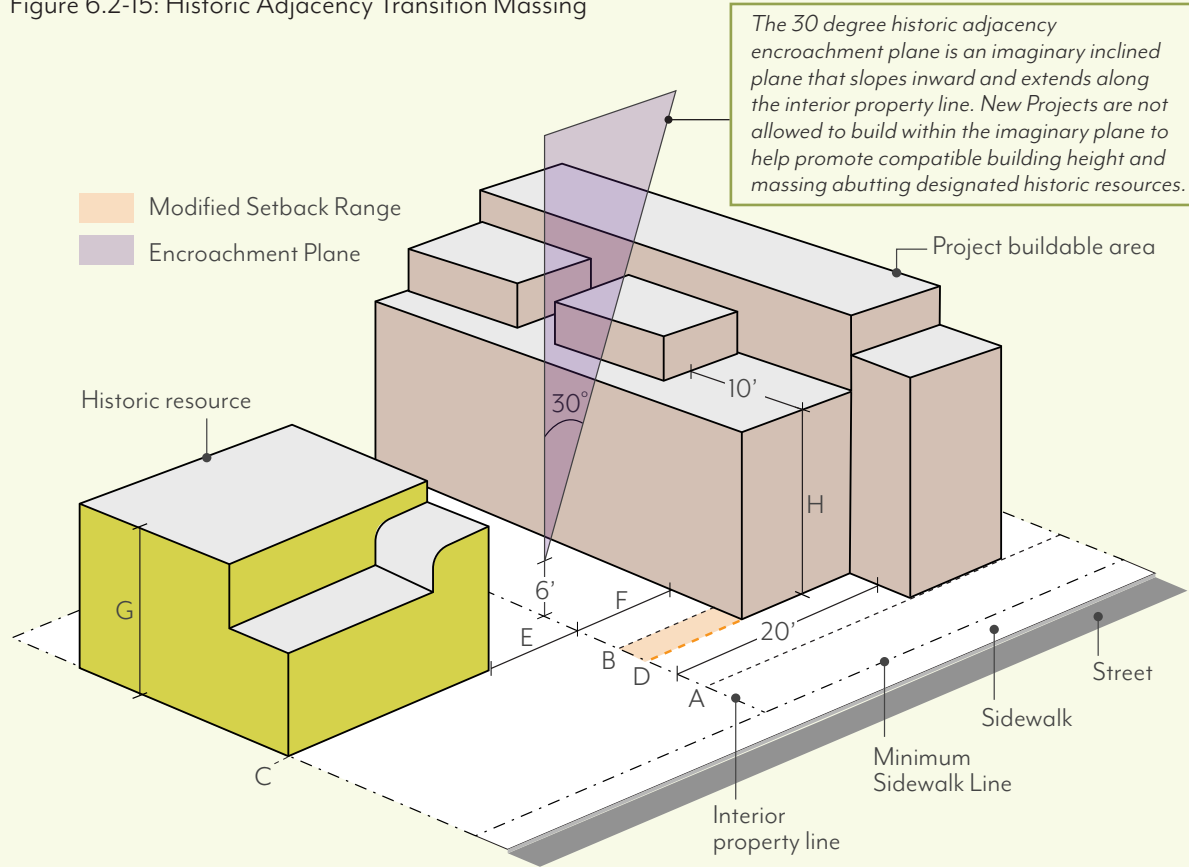
In addition to preserving historic landmarks throughout the district, modified standards for adjacent properties ensure that historic structures do not appear diminished or incongruous with new developments that take form in the surrounding area.



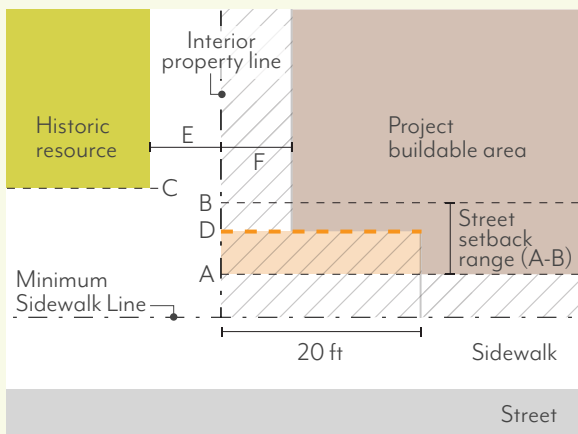
Washington Theater Building

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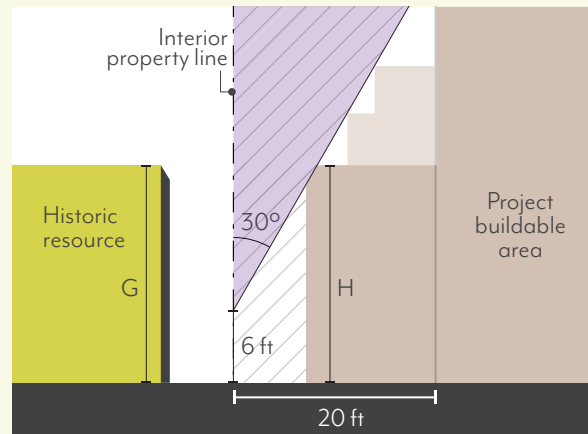
Figure 6.2-15: Historic Adjacency Transition Massing



PLAN VIEW



ELEVATION VIEW



- A: Minimum street setback from setback range
- B: Maximum street setback from setback range
- C: Street setback of historic resource
- D: Modified minimum street setback (average of A & C) within 20' of Interior property line

- E: Interior setback of historic resource
- F: Interior setback of project
- G: Height of historic resource
- H: Maximum height before stepback of 10' in depth within 20' of Interior property line

Note: Diagrams used for measurement illustration purposes only.

NORTH LAKE MIXED USE CORRIDOR

One of the General Plan's Seven Guiding Principles states, "Change will be harmonized to preserve Pasadena's historic character and environment. City-wide design principles will be established so that new development blends with the old; historically and architecturally significant buildings will be preserved; new public spaces will be acquired; and we will act as stewards of our natural environment."

The North Lake Mixed Use Corridor (MUC) developed its historic character in the early 1900s when it was originally subdivided into approximately 45-foot-wide lots, primarily for residential use. One- and two-story single-family residential buildings were built along the street in the California Bungalow (Craftsman), Spanish Colonial Revival/Spanish Eclectic, and Minimal Traditional styles that were popular from the 1900s through the 1940s. Although not designated as a historic district, North Lake MUC's historic character is a valued trait of the neighborhood, and some of the general policies of the Design Guidelines for Historic Districts (2002) in Pasadena may be applied to enhance the traditional feel of neighborhood.



Minimal Traditional example



California Bungalow (Craftsman) example



Spanish Colonial Revival example



Spanish Eclectic example

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Design Guidelines

New development along North Lake Avenue within the MUC should complement and respond to the immediate area, reflecting the scale and proportion of residential buildings dating from the 1900s to 1940s in the corridor.



Craftsman example with building alterations and setback



Adaptive re-use of Spanish Colonial Revival/Spanish Eclectic residential building to commercial office

Building Alterations:

- » Original architectural details and building materials should be preserved in place whenever feasible.
- » Deteriorated architectural details and building materials should be repaired rather than replaced, whenever possible.
- » Original architectural details and building materials that have deteriorated beyond repair should be replaced in kind.
- » Original porches should be maintained.
- » Historic windows and doors should be preserved; a new or replacement window or door should match the appearance of the original.
- » The original form, materials, eaves, rafter tails, gutters and other roof features should be preserved or replaced in kind.
- » An addition should have a compatible design with the original building.
- » A roof-top addition should be subordinate in scale and character.
- » Seismic retrofitting should minimize changes to original architectural features and building materials.



Example of original porch on a Craftsman style building

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Architectural Features



Typical features of a Spanish Colonial Revival building



Typical features of a California Bunaglow (Craftsman) building

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Architectural Features



Typical features of a Minimal Traditionalist building



Typical features of a Spanish Eclectic building

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Streetscape/Site Development:

- » Sidewalks and Driveways should be compatible with the surrounding area.
- » A fence should be in character with those used traditionally and relate to the principal structure on a lot. (Where no fence exists keeping the yard open may be the best approach for a front yard. Where a new fence is needed, it should be similar in character with those seen historically.)
- » Plant materials should be used to create continuity among properties. (In new landscape designs, use materials that are compatible with those seen historically. Use plant materials that are adapted to the Pasadena climate. Maintain mature trees. Incorporate established plantings in new projects.)
- » Exterior lighting should be a subordinate element on a site.
- » Parking areas and structures should have a positive visual impact as seen from the street.



Craftsman streetscape example with open front yard and compatible plant materials



New Craftsman style multi-family residential development with compatible building and roof forms

Infill Construction:

- » Utilities should be placed such that their visual impacts are minimized. (Minimize the visual impacts of utilities and service equipment. Avoid placing equipment on a roof.)
- » The pattern in which buildings relate to the street and a sense of human scale in the neighborhood should be maintained.
- » A building should appear similar in mass and scale to that of single-family structures seen traditionally in the neighborhood.
- » A front elevation should appear similar in scale to those seen traditionally in the block.
- » The height of a building should be similar to that of houses found traditionally on the block and in the neighborhood.
- » Building and roof forms should be similar to those seen traditionally. (Simple rectangular building forms are preferred. Sloping roofs such as gable and hipped roofs are appropriate for primary roof forms.)
- » Building materials should appear similar to those used traditionally in the neighborhood, such as wood, brick, stucco, stone, and tile. (Use building materials that contribute to the traditional sense of scale and that reinforce the sense of visual continuity in the neighborhood. Roof materials should convey a scale and texture similar to those used traditionally.)
- » The use of architectural details that add visual interest to the street is encouraged. (New interpretations of the three representative traditional building styles – California Bungalow, Spanish Colonial Revival/Spanish Eclectic and Minimal Traditional – are encouraged. Building components should be similar in scale to those used historically. Maintain the alignment of horizontal elements along the block.)
- » Windows and doors should be used in a manner similar to those seen traditionally. (Windows and doors should be of a traditional size and should be placed in a similar solid-to-void relationship as historic buildings.)

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6.3 GROUND FLOOR DESIGN

These standards are intended to create an inviting, visually engaging, shaded sidewalk and pedestrian environment that supports local residential and commercial activity.

The following standards are covered in detail in this section:

- » 6.3.1 Dimensions
- » 6.3.2 Entrances
- » 6.3.3 Transparency
- » 6.3.4 Arcades
- » 6.3.5 Shade Structures
- » 6.3.6 Blank Walls
- » 6.3.7 Security Bars
- » 6.3.8 Fences

CREATING A VIBRANT STREET ENVIRONMENT

Successful ground floor design contributes to a vibrant built environment to create an inviting, visually engaging, shaded sidewalk and pedestrian environment that supports commercial activity. Altogether, ground floor treatments increase visual interest and physical access across all building uses to create active frontages.



Shade awnings, lighting, and ground floor transparency all contribute to a comfortable pedestrian experience

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6.3.1 DIMENSIONS

- A. **Residential uses.** Ground floor heights shall be a minimum 10 feet measured floor-to-floor.
- B. **Non-residential uses.** Ground floor heights shall be a minimum 15 feet measured from the upper surface of the ground floor and the upper surface of the next floor above. Commercial spaces shall have a minimum average depth of 35 feet measured from the minimum sidewalk line.



Example of an approximately 10' residential ground floor height



Example of an approximately 15' non-residential ground floor height

Figure 6.3-1: Ground Floor Height

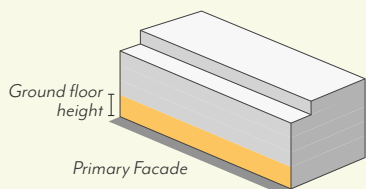
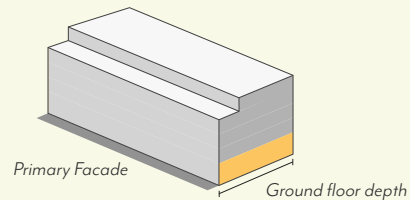


Figure 6.3-2: Ground Floor Depth



Note: Diagrams used for measurement illustration purposes only.

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6.3.2 ENTRANCES

- A. **Residential uses.** Primary entries shall be located on the primary frontage for dwelling units adjacent the street.
1. Primary entrances shall be distinguished through architectural features such as front porches, overhead projections, or recessed planes.
 2. Pathways from the sidewalk to any required pedestrian entrances shall be at least 3 feet in width and separate from parking and driveways.
 3. Doorways shall be set back at least 8 feet from the Minimum Sidewalk line.
- B. **Non-residential uses.** Primary entries shall be located on the primary frontage and open into the public realm (e.g. a sidewalk or public open space); secondary entrances at the side or rear of a building are permitted.
1. Grade separation, measured from finished sidewalk grade, shall be 0 feet for primary entrances. Secondary entrances are not required to be at 0 feet if parcel frontage is sloped.
 2. Entrances shall be covered architectural features such as overhead projections (e.g. a canopy or awning) or recessed planes.

ACCESSIBLE AND ENGAGING FAÇADES

Entrance standards ensure that ground floor spaces are accessible, inviting, and easy to locate for both intentional visitors and passersby. Transparency standards create visual interest and engagement between ground floor uses and the public realm.



Example of appropriate entrance with awnings and a recessed plane

6.3.3 TRANSPARENCY

- A. **Residential uses.** At least 15% of the building façade shall consist of transparent openings, such as windows and doors with clear glass. The use of mirrored or highly reflective glazing is prohibited.
- B. **Non-residential uses.** At least 60% (in WMU and NLTD), 30% (in MUC) or 50% (in all other zones) of each public-facing façade between a height of 3 and 8 feet above sidewalk elevation shall be transparent openings.
1. Transparent openings are defined as glazing that provides views into work, display, sales, lobby, or similar active areas with a minimum depth of 4 feet.
 2. Blinds, drapes, posters, signage, and shelving for product displays visible to the public right-of-way shall obscure no more than 10 percent of the transparent areas of each respective storefront.
 3. The use of mirrored or highly reflective glazing is prohibited.



Example of appropriate ground floor transparency with a recessed entrance.

6.3.4 ARCADES

- A. **Residential and non-residential uses.** Depth of arcades shall be at least 8 feet from back of column to building façade. Uses permitted within the arcade include seating, dining, or planters. Buildings with ground floor arcades shall also meet transparency requirements per 6.3.3.

6.3.5 SHADE STRUCTURES

- A. **Residential and non-residential uses.** Shade structures shall allow at least 8 feet of vertical clearance and may project up to 10 feet into the public right-of-way, so long as they do not conflict with existing trees.



Example of an appropriate commercial arcade treatment

6.3.6 BLANK WALLS

- A. **Residential and non-residential uses.** Windowless expanses of walls on the ground floor shall not exceed 20 feet in length. These areas shall be mitigated by architectural treatments or public art per Design Review/Director approval.

TRANSITIONAL OUTDOOR SPACES

Arcades create a shaded, transitional outdoor space between the public realm and ground floor interior. Shade structures contribute to a comfortable pedestrian experience and serve as inviting design features for ground floor uses.



Example of an appropriate shade structure

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6.3.7 SECURITY BARS

- A. **Residential and non-residential uses.** Exterior and interior security bars are prohibited unless they are designed to be fully hidden from view during business hours with devices such as concealed side pockets and ceiling cavities.



Example of a blank and windowless ground floor wall (Prohibited)



Example of exterior security bars (Prohibited)

6.3.8 FENCES

- A. **Fences are permitted within the Street Setback in front of individual dwelling units, subject to PMC17.40.180 with the following exceptions:**
1. Fences within the street setback may be up to 42 inches in height, as measured from sidewalk grade at the minimum sidewalk line.
 2. Fences within the street setback shall be set back at least 2 feet from the minimum sidewalk line along street frontages, separated by planted area.
 3. Fences within the street setback shall be at least 50% open.
- B. **Non-residential uses.** Fences are permitted within the Street Setback when enclosing outdoor dining areas.
1. Fences within the Street Setback may be up to 42 inches in height, as measured from sidewalk grade at the minimum sidewalk line.
 2. Fences and walls within the Street Setback shall be at least 50% open.



Example of appropriate residential fence height and placement

6.4 OPEN SPACE

The following standards are intended to:

- » Provide a variety of open space types for gathering, recreation and respite that contribute to enhanced livability within an urban setting
- » Improve building design and site planning through the integration of open space throughout development
- » Correlate open space requirements with number of residents and size of buildings

The following standards are covered in detail in this section:

- » 6.4.1 Open Space Minimum Area Requirements
- » 6.4.2 Private Open Space
- » 6.4.3 Common Open Space
- » 6.4.4 Public Open Space



Private Open Space (Balconies)



Common Open Space (Pool Area)

IMPORTANCE OF OPEN SPACE

High quality, usable and accessible open space across a variety of types contributes to an active public realm and successful building design. A combination of **Private Open Space**, such as balconies and patios, **Common Open Space**, such as shared courtyards, gardens, and pools as well as indoor community rooms and gyms, and **Public Open Space**, such as plazas and paseos, serve a range of purposes, including spaces for relaxation and community gathering for residents, employees, and visitors within an urban setting. Open spaces either on the ground floor or on upper level stories, correlated to the building use and size, can also help to break down building massing creating effective site and building design.

OPEN SPACE CATEGORIES

- » **Private.** Private Open Spaces, e.g. patios and balconies, are not freely open to the public and are only accessible from individual units.
- » **Common.** Common Open Spaces are shared among residents within a building and often take the form of courtyards, plazas, or other amenities, such as pools. Common Open Space can also include shared indoor open space, such as community rooms or gyms.
- » **Public.** Public Open Spaces, e.g. plazas, pocket parks, and paseos, are freely available to the public to use and typically include amenities such as seating, landscaping, fountains, and public art.



Public Open Space (Plaza)

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6.4.1 MINIMUM AREA REQUIREMENTS

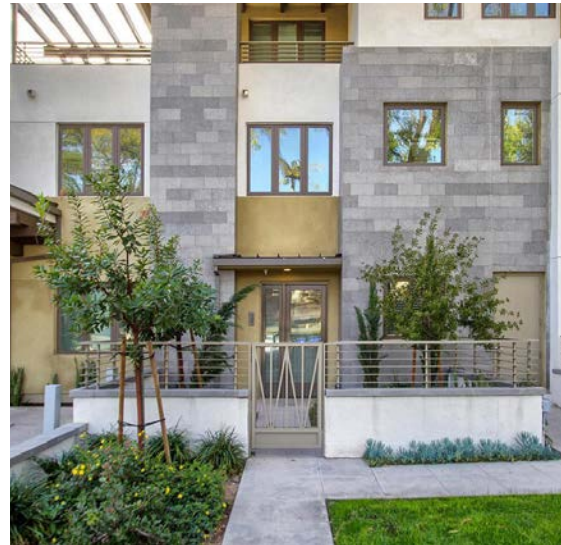
- A. **Private and Common Open Space.** Projects shall provide the minimum area of Open Space based on use and size per Table 6.4-1 below. Areas used regularly for parking, loading or storage do not count towards minimum Open Space requirements.
- Residential** projects shall provide a minimum area of Open Space based on unit types set in Table 6.4-1.
 - Non-residential** projects with more than 40,000 square feet of non-residential uses shall provide 5% of the gross non-residential floor area as Open Space. Open space may be any mix of Public, Common, or Private space. Projects with 40,000 square feet or less of non-residential space are exempt from this requirement.
 - Mixed-use** projects shall comply with requirements applicable to each type of use.
- B. **Public Open Space.** Projects in Washington Mixed Use (WMU) and North Lake Transit District (NLTD) with more than 60,000 square feet of building floor area or more shall provide a minimum area of Public Open Space set in Table 6.4-1.

APPROPRIATE AMOUNT OF OPEN SPACE

Open space area requirements ensure that a building's open space correlates appropriately to the number of residents and size of the building. Private open space provides residents with access to light, air, landscaping, and views. Balconies add visual interest to building façades through articulation.

6.4.2 PRIVATE OPEN SPACE

- Distribution.** No more than 40% of the required residential Open Space shall be private to individual tenants.
- Dimensions.** A minimum area of 36 square feet with a dimension of at least 5 feet in each direction is required for Private Open Space.
- Projections.** Balconies and patios may project up to 4 feet from the wall plane and shall not project past property lines into public right-of-way.



Private Open Space (Front Patio)

Table 6.4-1: Residential Open Space by Unit Type

	Studio	1-BR	2-BR	3+ BR
Per Unit (Square Feet)	125	150	200	250

Table 6.4-2: Public Open Space by Project Size

	60,000-119,999 sf	120,000-199,999 sf	200,000+ sf
Per Project (Square Feet)	2% of building floor area	3% of building floor area	5% of building floor area

6.4.3 COMMON OPEN SPACE

- A. **Distribution.** At least 60% of the required residential Open Space shall be shared among the tenants of the Project.
- B. **Dimensions.** Areas counted towards the minimum Common Open Space requirement must be a minimum area of 400 square feet with a minimum width of 15 feet.
- C. **Indoor/outdoor.** A minimum of 75% of Common Open Space shall be outdoors. A minimum of 80% of outdoor Common Open Space shall be open to the sky.
- D. **Hardscape.** A maximum of 25% of Common Open Space may be paved in standard concrete. Remaining areas shall use any of the following enhanced paving techniques:
 - 1. Brick,
 - 2. natural stone,
 - 3. unit concrete pavers,
 - 4. textured and colored concrete,
 - 5. concrete with exposed or special aggregate, and/or
 - 6. other alternative paving per Design Review/ Director approval.
- E. **Landscape.** A minimum of 25% of Common Open Space shall be planted area at least 30 inches in length, width and depth. Plant materials shall be selected in compliance with PMC17.44.050 - Water Efficient Landscape: Incorporation of Model Water Efficient Landscape Ordinance.
- F. **Trees.** A minimum of one 24-inch box tree per project or per each 500 square feet of Common Open Space, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50% of trees planted shall be shade trees. [need list of qualifying species]
- G. **Water features.** A maximum of 5% of Common Open Space shall be fountains, reflecting pools, or other water features. Swimming pools are not considered water features.
- H. **Roof decks.** A maximum of 40% of Open Space may be on a building's rooftop.
 - 1. Roof decks shall cover no more than one-third of the roof area.
 - 2. Roof decks shall be set back 5 feet from the building edge on all sides.
 - 3. Roof decks shall not be allowed within 50 feet of an RS zone.
- I. **Access.** Common Open Spaces may be accessible to the public if desired but is not required to meet Public Open Space requirements.

COMMON OPEN SPACES

Common open spaces provide areas for gathering, recreation, and respite within a property that contribute to enhanced livability within an urban setting.



Enhanced paving and landscaping can improve the aesthetics and navigation of open spaces



Landscaping and water features can be used to provide shade, seating, and improve aesthetics of the open space

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6.4.4 PUBLIC OPEN SPACE

- A. **Dimensions.** A minimum area of 400 square feet with a minimum width of 20 feet is required for Public Open Space.
- B. **Signage.** Public Open Space shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and including opening hours.
- C. **Hours.** At a minimum, Public Open Space shall be open to the general public from 8am to 8pm.
- D. **Elevation.** For Projects requiring less than 3,000 square feet of Public Open Space, all required space shall be provided at ground level with a primary entrance at sidewalk elevation. For Projects requiring more, at least 3,000 square feet of Public Open Space shall be at ground level with a primary entrance at sidewalk elevation.
- E. **Hardscape.** A maximum of 25% of Public Open Space may be paved in standard concrete.
- F. **Seating.** A minimum of 1 seat shall be provided per 300 square feet.
- G. **Landscape.** A minimum of 25% of Public Open Space shall be planted area at least 30 inches in length, width, and depth. Plant materials shall be selected in compliance with PMC17.44.050 - Water Efficient Landscape: Incorporation of Model Water Efficient Landscape Ordinance.
- H. **Vertical landscaping** (“green walls”) may be implemented as an alternative to in-ground landscaping. The area requirement of 25% of Public Open Space is unchanged.
- I. **Trees.** A minimum of one 24-inch box tree per project or per each 750 of Public Open Space, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50% of trees planted shall be shade trees.
- J. **Washington Neighborhood Plaza.** If a Project includes the plaza location at the southwest corner of Washington Boulevard and N. Lake Avenue (shown in Map 6.4-1 within the Washington Neighborhood sub-area) and Public Open Space is required, the open space requirement must be met through the provision of a corner plaza and meet minimum requirements.
 - 1. Plaza shall have a dimension of 40 feet in each direction and be at least 75% open to the sky.
 - 1. Plaza shall be at ground level and be ADA accessible.

PUBLIC OPEN SPACES

Public open spaces create a livable urban environment and provide community gathering spaces supportive of the commercial uses.



Enhanced paving, public art, and landscaping create a comfortable public open space and community landmark

Map 6.4-1: Public Open Space Requirement Location



Required Open Space Locations

 Required Plaza Location



A public corner plaza creates a space to gather or rest, including amenities such as seating, landscaping, shade trees, and public art

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6.5 VEHICLE ACCESS & PARKING

The vehicle access and parking standards in this section are intended to:

- » Reduce the visual impacts of parking
- » Regulate appropriate parking supply and location in a manner that prioritizes pedestrian access and multi-modal activity
- » Encourage change of use and adaptive reuse of existing buildings through parking reductions and exemptions
- » Promote a more efficient use of parking spaces through shared parking among multiple uses within a project
- » Increase design standards for parking structures through ensuring habitable floor areas between parking and street frontage and screening

The following standards are covered in detail in this section:

- » 6.5.1 Vehicle Access
- » 6.5.2 Vehicle Parking Minimums
- » 6.5.3 Vehicle Parking Layout and Design

IMPORTANCE OF PARKING

Vehicle parking access, location and supply influences the street environment, multi-modal travel and overall development. Minimizing vehicular access, such as entries and driveways, can help to promote continuous sidewalk activity and safer travel across modes. Similarly, minimizing surface parking lot size and locations (such as placing lots behind buildings or a landscaped open space), supports the success of street-fronting activity, such as pedestrian travel and commercial frontages. The number of required parking spots is another defining factor that shapes urban travel and development. By establishing an appropriate number of parking spots by land use and size of development, residential and commercial activity can be supported while also attracting a variety of new development. Through tailored standards as well as parking reductions and exemptions for certain uses and conditions, space efficiency and cost savings are promoted.

Table 6.5-1: Parking by Land Use

Retail Sales	3 per 1,000 sf*	Projects ≤5,000 sf are exempt from parking minimums
Services		First 2,000 sf of outdoor dining area exempt from parking minimums
Office, Professional and Business Support		For Medical Offices >5,000 sf, refer to PMC17.46
Residential	≤1-bed: 1 per unit ≥2-bed: 1.5 per unit Guest: 1 per 10 units	Residential guest parking can be shared with commercial parking in mixed-use developments
Other uses	Refer to PMC17.46	

**Unless a lower requirement is indicated for a specific use in PMC17.46.
See Section 5.7.2.B for exceptions to parking requirements.*

6.5.1 DRIVEWAYS

- A. **Location.** Where there is access from an alternative street or alley, curb cuts on N. Lake Avenue and Orange Grove shall not be permitted. Driveways shall be shared with adjacent properties/uses wherever feasible to reduce the number of curb cuts.
- B. **Number.** For parcels less than 200 feet of primary street frontage, only one two-lane driveway shall be permitted. For parcels greater than 200 feet of primary street frontage, two two-way driveways shall be permitted.
- C. **Frequency.** Driveways shall be shared with adjacent properties/uses wherever feasible to reduce the number of curb cuts.

6.5.2 REQUIRED PARKING

- A. **Vehicle parking.** Projects shall provide the minimum number of parking spaces based on use and size set forth in Table 6.5-1. The standards of PMC17.46 apply to all Projects unless conflicting with the standards below.
- B. **Exceptions** allowed for:
 - 1. **Commercial uses less than 5,000 square feet.** For Projects seeking a building permit for uses less than 5,000 square feet, no parking is required. Commercial uses include Recreation, Education & Public Assembly; Commercial Entertainment; Commercial Recreation; Office, Professional & Business Support; Retail Sales; and Services classifications.
 - 2. **Historic resources and preservation of older buildings:** Any Projects on a parcel with a designated historic resource or buildings constructed prior to 1950 that involve new construction or enlargement of an existing structure shall provide 25% of the minimum parking requirement.
 - 3. **Changes of use.** Projects involving changes of use in structures built prior to 1970 or in designated historic structures that would result in an increased parking requirement shall be exempt from providing the additional parking.
 - 4. **Shared parking.** Parking may be shared among multiple uses per PMC17.46.050.

- C. **Unbundled parking.** For any building with new residential units, parking shall be unbundled from the rents, sale prices, or other fees charged for occupying living space. Automobile parking spaces shall be leased or sold separately from the rental or purchase fees, such that renters or buyers have the option of renting or buying the space at a lower price than if automobile parking was included.
 - 1. Affordable units are not subject to this provision, and are required to include one parking space for the unit in the base rent or sales price.

6.5.3 VEHICLE PARKING LAYOUT & DESIGN

- A. **Surface parking.** Parking lots shall be set back at least 30 feet from the primary frontage and 10 feet from any secondary frontage. Parking shall be buffered by habitable floor area or landscaped open space.
 - 1. Landscaping shall include hedges or shrubs at least 3 feet in height at the time of planting, and no more than 42 inches in height in the future. These hedges or shrubs need not be planted within the entire landscaped area but shall form a continuous visual screen.
- B. **Podium parking.** No more than one story of above-grade parking is permitted within habitable buildings. Multiple stories of above ground parking are permitted within wrap style developments or parking structures if the project meets the parking structure standards below.
- C. **Parking structures.** Structures shall be buffered with habitable floor area between the parking and any street frontage (not including alleys), except for access and driveways.
 - 1. Elevators and stairs shall be located adjacent sidewalks or paseos.
 - 2. Screening shall hide parking areas visible from a public street, using heavy-gauge metal, precast concrete panels, laminated glass, green walls, photovoltaic panels or other material per Design Review/Director approval.
- D. **Underground parking.** Fully subterranean parking may extend up to the property line.

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