

*East Colorado Boulevard  
Specific Plan*

**Prepared For  
City of Pasadena**

**Prepared By  
RRM Design Group  
Kimley Horn & Associates  
Natalson Company Inc.**

**EAST COLORADO BLVD.**

# ACKNOWLEDGEMENTS

## EAST COLORADO BLVD. COORDINATING COMMITTEE

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Don Fedde  
Roger Gray  
Barry Tobias  
Sharon Shueman  
Gary Rhoades

David Blacher  
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Elizabeth Trussell  
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Jason Kruckeberg, Planner, Project Manager  
Darrell Cozen, Planner,  
*Design and Historic Preservation*  
Ruth Martinez, Project Manager,  
*Development*  
Judi Masuda, Transportation Planner  
Eric Shen, Transportation Planning and  
Development Manager  
Jose Jimenez, Planning Intern

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### ***Executive Summary***

The East Colorado Boulevard Specific Plan establishes a vision and guidelines for future development and beautification for a portion of Colorado Boulevard, approximately 3 miles in length, extending eastward from Catalina Avenue to the eastern city limits at Sycamore Avenue. The plan area also includes Allen Avenue from Colorado Boulevard to the light rail station at the 210 Freeway.

Within this planning area, a wide variety of predominantly commercial businesses provide goods and services for both citywide and regional patrons and residents immediately north and south of the corridor. Over the years, it has been a goal of the City to beautify and improve the appearance and functionality of this heavily used corridor. The East Colorado Boulevard Specific Plan, along with an extensive public process has built upon previous planning goals and objectives to further define a vision for the planning area and to firmly establish implementation actions that will guide the City, property owners, and business owners in making desired improvements. The vision for East Colorado Boulevard, simply stated, is to “create a vibrant mix of land uses, a unified streetscape and a series of distinctive places along the boulevard.” To this end, the Specific Plan includes a variety of recommendations to help obtain this vision, including:

- Streetscape improvements
- Recommendations for the addition of public spaces and plazas
- Design guidelines that will help attain a pedestrian-oriented environment
- Preservation of historic buildings
- Introduction of a mix of uses including residential development

The Plan focuses on both public and private property improvements to achieve these goals.

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### **Public Participation**

In an effort to build on the work of a previous study for this corridor (Colorado Boulevard, Today and Tomorrow 1989), the following public planning process was initiated:

- **Coordinating Committee**

At the beginning of the planning process, a Coordinating Committee was formed made up of property owners, business owners, stakeholders and neighborhood leaders who built interest and dedicated time to crafting a plan that addresses the varied interests along Colorado Boulevard. This group has met monthly since the beginning of the planning process.

- **Stakeholder Interviews**

To gauge public sentiment and identify opportunities, constraints and concerns, a series of key person interviews was conducted to help shape and focus important issues.

- **News Articles and Updates**

Using the Pasadena In Focus newsletter and/or extensive mailing list, articles providing information on the plan process and how to stay informed were communicated to city residents.

- **Community Meetings**

Over the course of the project, several community meetings were held to present Plan ideas, recommendations, alternatives, and to help refine the Plan's contents.

- **Planning Commission Study Session**

During review of the Administrative Draft Specific Plan, a study session was conducted with the Planning Commission to obtain early input and to further refine the content.

- **Public Hearings**

Public hearings have been held with a variety of city review bodies to review Plan recommendations and further refine the contents of the Specific Plan (pending).

### **Plan Goals and Objectives**

The Specific Plan's goals remain consistent with previous planning efforts such as Colorado Boulevard Today and Tomorrow and the City's General Plan. The following are some of the principal Plan goals and objectives. (Additional detail can be found in Chapter Two entitled "Plan Area Context".)

- Beautify the streetscape
- Retain the eclectic mix of uses and protect the vitality of small independent businesses.
- Expand the list of allowable land uses to include multi-family and affordable housing.
- Improve on- and off-street parking conditions throughout the Plan area.
- Preserve historic resources.
- Improve public transit, bicycle and pedestrian circulation.
- Create special subdistricts and focus areas or "nodes" to help establish a sense of place along the Boulevard.

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### **Description of Sub-areas**

In support of the visions and goals established by this planning process and in previous efforts, a number of sub-areas have been defined that will assist in the creation of identifiable retail destinations and enhanced urban environments. Sub-areas are defined by the clustering of similar types of land use, the introduction of housing, and are supported by special pedestrian oriented design standards and the availability of public transit. The planning area was organized into six sub-areas as follows:

- The Mid-City sub-area extends from Catalina Avenue to Holliston Avenue.
- The College District sub-area extends from Holliston Avenue to Allen Avenue and includes Pasadena City College frontage.
- The Gold Line sub-area extends from Colorado Boulevard up Allen Avenue to the light rail station at the 210 Freeway.
- The Route 66 sub-area extends from Allen Avenue to Sierra Madre Boulevard.
- The Lamanda Park sub-area extends from Sierra Madre Boulevard to Sunny Slope.
- The Chihuahuita sub-area extends from Sunny Slope to Sycamore Avenue.

In addition to these general planning sub-areas, two special “transit” focus areas or “nodes” have been described and linked to the Gold Line Stations at Allen Avenue and Madre Street. Within these transit nodes, a mix of uses such as transit oriented retail and services, office space, and residential apartments with slightly higher densities and flexible parking requirements are proposed to take advantage of the transit-related environment.

### **Streetscape Beautification and Public Improvements**

A significant focus of the Specific Plan revolves around beautifying the urban spaces of Colorado Boulevard. The Plan recognizes the benefit of the unique mix of smaller retail shops and the “pioneering” aspect of the businesses attracted to the planning area and proposes to further support this unique commercial environment through the employment of a strategic beautification process.

Therefore, recommendations for improvements include placement of street trees, improvement of sidewalks, introduction of a consistent theme of street furnishings such as street lights, banners, benches, trash cans, public art, and to identify various sub-areas as special destinations within the City through the use of gateways and signage. To support recommended street improvements, a variety of design guidelines and standards have been developed to further encourage the establishment of street-side plazas and other public spaces in concert with adjoining private development.

In coordination with public improvements as described in Chapter 3, the Plan recognizes that creation of lively urban environments must also be actively managed and supported by activities, events and promotional efforts. Thus, recommendations to create identity through special signage, logos and a program of activities such as street fairs, festivals, and parades that are tied to special themes such as the Route 66 historical theme are included along with recommendations to establish a merchants and/or property owners and business improvement association.

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### **Mobility**

Chapter 4 entitled "Mobility" discusses various transportation improvements that will help support the visions and goals for the planning area. This includes continued improvement of local area transit, strategic location of transit stops, improvement of bicycle and pedestrian circulation within the Plan area, and connecting the Plan area destinations with adjoining residential neighborhoods. The Plan examines bike lane facilities in the form of additional bike routes or lanes along Colorado Boulevard and alternative parallel bicycle corridors. This analysis focuses on creating safe and convenient bicycle transit through the planning area. Other key elements of the mobility section are the need to improve on- and off-street parking through creation of parking districts in the Lamanda Park, College, and Mid-City sub-areas, and making good use of existing alleys and parking lots to the rear of commercial frontage for enhanced access and circulation.

The mobility chapter further supports the establishment of pedestrian-oriented nodes as described in the Land Use section for improvements such as enhanced pedestrian crosswalks, expanded sidewalk areas, special paving patterns, enhanced urban furnishings and connections to local transit service such as the ARTS line. These recommendations mix urban design improvements with mobility activities to support a more effective, comfortable pedestrian environment.

With success in attaining Plan proposals to enhance local transit, make connections to light rail stations, improve pedestrian orientation within sub-areas and nodes along the Boulevard and improve on- and off-street parking, the resulting traffic implications for build-out within the Specific Plan area are not expected to be significant. In fact, the traffic study conducted for the Specific Plan area concluded that adequate intersection capacity remains for traffic generated by the planned intensification of land uses within the planning area and no major improvements are necessary.

### Land Use and Development Standards

Following an intensive market and economic analysis and specific urban design studies aimed at discovering the “unconstrained” development potential within the Plan area, the Specific Plan concludes that new development within the planning area will be similar to the capacity shown by the Pasadena Comprehensive General Plan. This will include approximately 750 new housing units, approximately 550,000 square feet of new commercial construction and approximately 100,000 square feet of new institutional square footage. Chapter 5 entitled “Land Use and Development Standards” further defines the location and type of development that will fall within these development caps.

The principal land use changes from what is currently allowed within the Specific Plan area under existing zoning are the following:

- Multi-family residential densities up to 48 units per acre, occupying locations above street level commercial use will be permitted within the Mid-City, College District, Gold Line and Lamanda Park sub-areas.
- Multi-family residential uses up to 60 units per acre will be allowed in the two transit nodes.
- The maximum height of structures in the Mid-City sub-area will be limited to 60 feet instead of 75 feet and the maximum height of main structures in the two transit nodes will be 60 feet, while in all other portions of the planning area, the maximum building height will remain 45 feet.
- Parking reductions will be allowed at the two transit nodes. Within these areas, parking requirements may be reduced by 25% for non-residential uses consistent with existing reduction of parking for the Central District -- 1 area (Old Pasadena).

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### **Plan Implementation**

One of the most important elements of the Specific Plan is identifying the implementation programs that will result in the desired changes articulated by the Plan. Chapter 8 of the Specific Plan identifies 10 components that form the “road map” that will guide City staff, property owners, developers, and residents alike in creating positive change as outlined in the Specific Plan. These topics deal with economic development tools, the involvement of the private sector, potential funding mechanisms, policy and regulatory actions and most importantly, a specific “action plan” which summarizes all of the Plan recommendations and improvements.

The priority implementation actions include:

- Municipal code revisions to implement the zoning, land use and development standards as proposed by the Plan.
- A study of parking districts for Lamanda Park, Mid-City and College sub-areas.
- Initiation of a study to assess the opportunities for urban park space and community service facilities in the Lamanda Park sub-area.
- The increased effort and focus on code enforcement within the plan area.
- Initiation of a study to determine the feasibility and implications of annexing a portion of the Chihuahuita area into the City of Pasadena.
- Implementation of targeted streetscape improvements for the identified sub-areas.
- Initiations of feasibility studies to extend and enhance the ARTS Transit Service with connection to the planned light rail stations and to further study the feasibility of installing bike routes or lanes on Colorado Boulevard and adjoining local streets.

The East Colorado Boulevard Specific Plan includes a wealth of information and targeted direction to assist the City and its residents to improve the quality and character of this portion of the City. It is the intention of the Plan to provide clear direction, yet maintain some degree of flexibility to enable positive, opportunistic changes in support of Plan goals to occur in the future.



# CHAPTER ONE

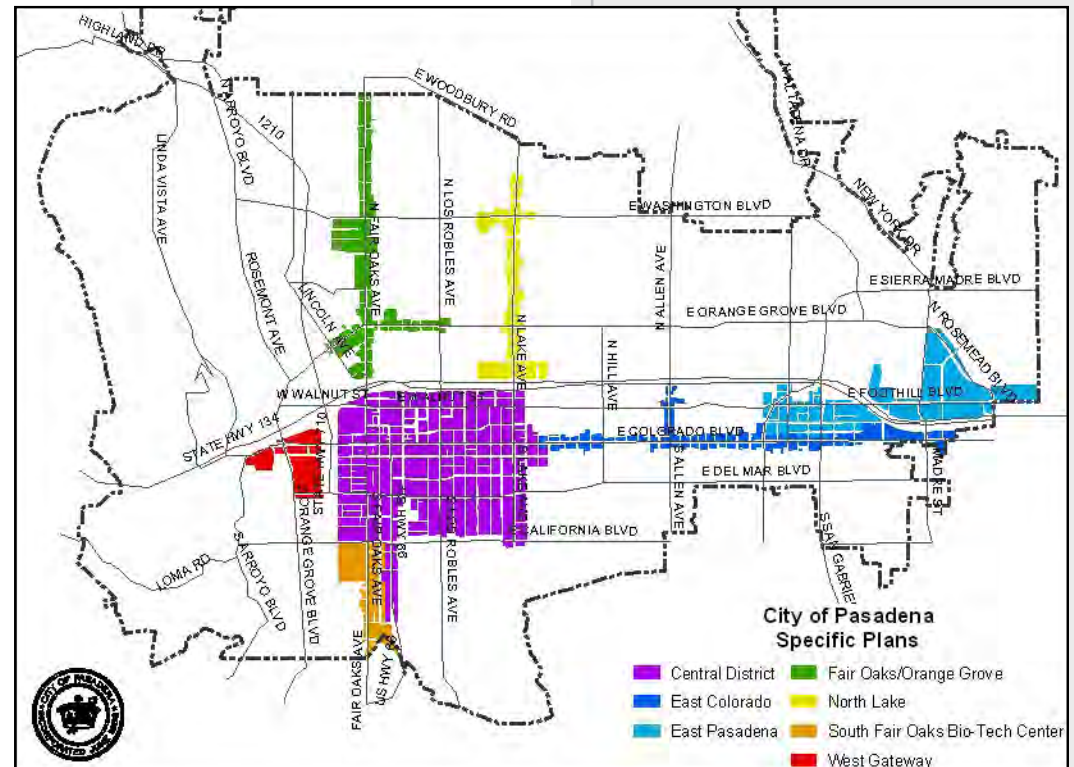
## INTRODUCTION

The purpose of this chapter is to describe the Specific Plan process and the purpose of the plan. This chapter also defines the Plan area and describes how the plan is to be used.

### A. PURPOSE AND PROCESS

#### What is a Specific Plan?

A Specific Plan is a regulatory tool that local governments use to implement their General Plan and to guide development in a localized area. While the General Plan is the primary guide for growth and development in a community, a Specific Plan is able to focus on the unique characteristics of a special area by customizing the planning process and land use regulations to that area. A Specific Plan is enacted pursuant to Section 65450 et seq of the California Government Code.



## East Colorado Boulevard Specific Plan Area

The East Colorado Boulevard Specific Plan area is approximately three miles in length and includes all parcels with frontage on East Colorado Boulevard between Catalina Avenue and the eastern city boundary (Sycamore Avenue), with two exceptions: 1) the Pasadena City College property between Hill Avenue and Bonnie Avenue, and 2) Los Angeles County Property between Northrup and Madre on the south side of Colorado Boulevard. The Specific Plan area also includes all parcels with frontage on North Allen Avenue between Colorado Boulevard and the 210 Freeway. The portion of the Plan area from the west end to Sierra Madre Boulevard is used for the Tournament of Roses Parade route.

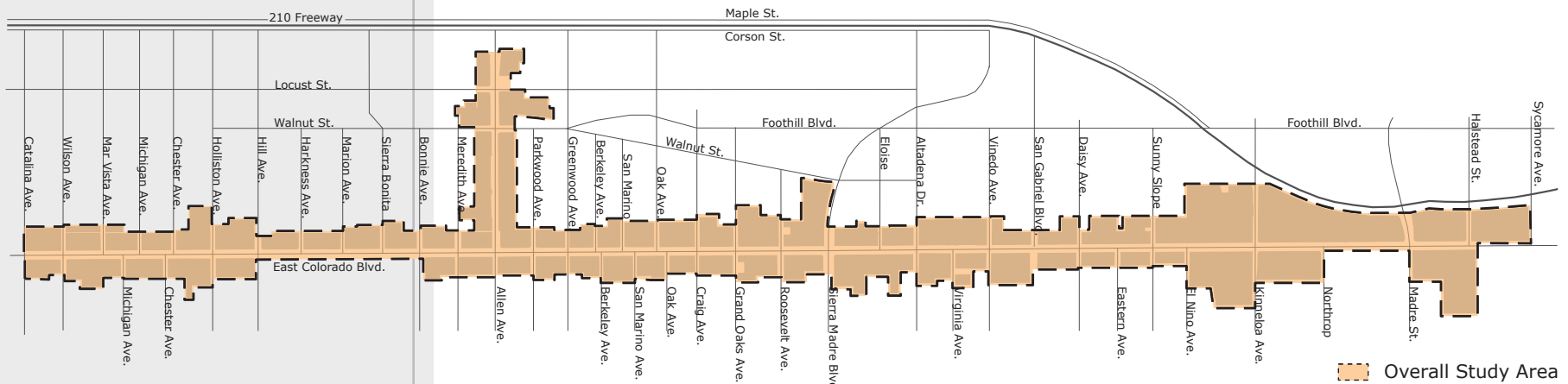


Figure 1.1

# EAST COLORADO BLVD.

## Purpose of the Specific Plan

The purpose of the Specific Plan is to facilitate and encourage development and improvements that help realize the community's vision for East Colorado Boulevard. Colorado Boulevard is the primary east/ west street in the City of Pasadena and it also extends into the neighboring communities of Arcadia, Eagle Rock, and Glendale. While extensive planning efforts have focused on Old Pasadena and the Playhouse District further west along Colorado Boulevard, there have been no significant planning efforts focused solely on the eastern portion of the Boulevard. This Specific Plan will focus on improving the appearance of the Boulevard and will recognize the strong mix of existing buildings and attractive characteristics of the Boulevard. The strength of East Colorado Boulevard is its mix of small businesses. This Specific Plan is geared toward building on the existing land use situation, and mix of uses, along East Colorado Boulevard.

### **Vision for East Colorado Boulevard**

*The primary vision of East Colorado Boulevard is one of a vibrant mix of land uses, a unified streetscape, and a series of distinctive "places" along the Boulevard.*

The Boulevard will include attractive streetscapes, public spaces or plazas, pedestrian oriented facades, historic buildings, mixed-use commercial areas, and residential development. To achieve this vision, the Specific Plan focuses on both public improvements and private property improvements. The Specific Plan cannot fully realize its goals unless both public and private investments take place.

The Specific Plan is a tool to facilitate and prioritize public improvement projects, evaluate development proposals and new land uses, enhance existing uses, and preserve historic buildings. To do this, the Specific Plan provides a structure to implement the Plan vision over time. Implementation measures include development standards, design guidelines, land use regulations, and a series of specific actions that may be undertaken by both the City and private sector to make progress toward the Specific Plan goals.

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### **Relationship of the Specific Plan to the City's General Plan**

The vision, goals, and implementation measures of the Specific Plan are based on the direction given in the City of Pasadena's General Plan. The revised Land Use and Mobility Elements of the General Plan were adopted by the Pasadena City Council on May 16, 1994. The purpose of the General Plan revision was to create a new vision for the City under the theme of "Imagine a Greater City." The General Plan was developed with the participation of several thousand community participants. The General Plan contains seven "guiding principles" which are listed on Table 1.

#### **Table 1 - General Plan Guiding Principles**

- 1. Growth will be targeted to serve community needs and enhance the quality of life.*
- 2. Change will be harmonized to preserve Pasadena's historic character and environment*
- 3. Economic vitality will be promoted to provide jobs, services, revenues and opportunities.*
- 4. Pasadena will be promoted as a healthy family community.*
- 5. Pasadena will be a city where people can circulate without cars.*
- 6. Pasadena will be promoted as a cultural, scientific, corporate, entertainment and educational center for the region.*
- 7. Community participation will be a permanent part of achieving a greater city.*

Implementation strategies outlined in the Land Use and Mobility Element of the General Plan include the formulation and adoption of seven Specific Plans for various areas in the City where development is to be targeted (refer to Figure 1). These Specific Plans are: North Lake Avenue, South Fair Oaks Avenue, West Gateway, East Pasadena, Central District, North Fair Oaks Avenue/ Orange Grove Boulevard, and East Colorado Boulevard. The North Lake Avenue, South Fair Oaks Avenue, West Gateway, East Pasadena, and Fair Oaks/ Orange Grove Specific Plans have been adopted. The Central District Specific Plan is currently under development.

The General Plan states that Specific Plans will contain detailed development standards, distribution of land uses, infrastructure requirements, and implementation measures. The General Plan goes on to state that Transit-Oriented Development, Pedestrian-Oriented Development, and Mixed-Use Development with housing over commercial will be included in Specific Plans. To continue Pasadena's tradition of citizen input, the development of Specific Plans will include an extensive public involvement component.

## The General Plan describes the East Colorado Specific Plan as follows:

*This Specific Plan will identify areas of East Colorado Boulevard which are appropriate locations for developing mixed use projects and housing projects and areas where commercial development should be concentrated. The Specific Plan will analyze the corridor between Colorado Boulevard and the proposed light rail station at Allen and the 210 Freeway for appropriate pedestrian and circulator links. The Specific Plan will also establish mechanisms to protect the single family residential area north of the freeway on Allen from the impacts of the light rail station and protect the residential areas surrounding the Specific Plan.*

*Land uses such as retail shops and offices are encouraged in the area of Hill Avenue by Pasadena City College, Colorado Boulevard at Sierra Madre Boulevard, and Allen Avenue at Colorado Boulevard. Membership retail, discount, department stores and auto dealers are primary land uses that are encouraged to anchor the eastern entrance of the City on Colorado Boulevard. These uses will also serve residents of adjacent cities.*

*The overall purpose of this Specific Plan is to break up long stretches of strip commercial with residential uses and cluster commercial uses into nodes which will be identified by the Specific Plan.*

Currently, the General Plan is once again being updated. The Land Use Element, Mobility Element, and the Central District zoning designations are being revised and rewritten to respond to changes in development patterns. The creation of the East Colorado Boulevard Specific Plan fits within the overall context of the Land Use and Mobility Elements. The advantage of each of these planning efforts moving forward together is that recommendations and policy decisions can be made consistent across the board.

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### **General Plan Development Projections**

Total New Housing Units = 750

Total New Non-Residential Square Footage = 650,000

### **Relationship of the Specific Plan to Zoning Code**

The Specific Plan is an outgrowth of the city's General Plan and will provide the policy and guidance for all development, public and private, that occurs within the Specific Plan area. Additionally, an ordinance will be developed to be incorporated into the Zoning Code that will provide allowable land uses, development standards, and all other elements of the Plan that are geared toward regulation of private development.

### **B. COMMUNITY INPUT AND OUTREACH**

East Colorado Boulevard has been the subject of several past planning efforts. Most notably, the entire length of Colorado Boulevard was included in a planning effort entitled "Colorado Boulevard-Today and Tomorrow," which concluded in 1989. There were subcommittees created through this process and an extensive citizen involvement process was developed. The plan looked at all of Colorado Boulevard within the City limits, not just the eastern portion. Recommendations were established and action items were listed as "immediate," "short term," and "long term." Below are the five major action items that came out of this planning effort:

1. Promoting Business Neighborhoods
2. Enhancing the Streetscape
3. Showcasing the Arts
4. Promoting a Diversity of Character
5. Improving Flow of People and Cars

The East Colorado Boulevard Specific Plan process builds off of the earlier planning efforts of the "Colorado Boulevard - Today and Tomorrow" process. Rather than "reinvent the wheel" with a new planning process, the plan has incorporated a great deal of the content and ideas provided in the "Today and Tomorrow" document.





## **Primary Goal Adopted**

*"To improve the appearance, function, and urban ambiance of East Colorado Boulevard."*

## **Coordinating Committee**

A steering committee or "coordinating committee" was formed at the outset of the planning process to track the progress and content of the Specific Plan. The coordinating committee was made up of a group of property owners, business owners, stakeholders, and neighborhood leaders who are dedicated to crafting a plan that addresses all of the varied interests along Colorado Boulevard. The coordinating committee met monthly from February 2001 to July 2002. The involvement of a citizen-based committee was invaluable in the creation of this plan. The committee provided a sounding board and reality check for the recommendations and ideas brought forth by the consultant team, city staff, and the public. The full list of participants on the coordinating committee is listed in the beginning of the document.

## **Stakeholder Interviews**

In addition to the coordinating committee, the planning process employed a number of additional methods to obtain community participation in the process. The consultant team and city staff met with stakeholders in a series of "key person interviews" which took place over several days. The interviews were an opportunity for the consultant team and staff to speak candidly with representatives of various interest groups. The interviews were a method of information sharing and issue identification that helped the team focus on the community's key issues.



## Introduction



### News Articles and Updates

Articles providing information on the Plan were published in the *Pasadena Star News* and the *Pasadena In-Focus*, a mailer sent by the City through utility bills. These articles provided general information and invited participation at community meetings and inclusion in a project mailing list. The citizen mailing list developed for the plan included over 100 interested residents, families, and businesses. News of upcoming meetings, progress reports, and maps were mailed to this mailing list to keep the interested public informed of Specific Plan progress, meetings, and key dates.

### Community Meetings

Several community meetings were held to present plan recommendations, ideas, and alternatives in a public forum. The first community meeting was held on June 28, 2001 and was attended by approximately 55 individuals. The goals and objectives of the plan were presented, as were the background conditions in the Specific Plan area as they relate to traffic and mobility, land use, and economics. Following the presentation, the public was invited to comment on the suggested sub-areas and the preliminary ideas that had been developed through the key person interviews, and through the coordinating committee. Notes and “minutes” of the meeting were distributed to the coordinating committee members and the project mailing list. Most importantly, all public comments were incorporated into the planning issue prioritization process.

The second community meeting was held on October 25, 2001 and was attended by approximately 60 individuals. At the meeting, the initial draft of the Specific Plan was presented to the public along with a number of graphics and ideas for the Specific Plan area. A strong message was received from the public at this meeting regarding the importance of small businesses in the Specific Plan area. Following the presentation, an open-house was held to answer additional questions and take public comments and suggestions. A meeting summary and copies of the presentation were mailed to meeting attendees once again, all comments were incorporated into the Draft Specific Plan.



The third community meeting was held at Holliston Church on April 18, 2002. Approximately 65 community members attended the meeting. A prioritization exercise was held with the participants following a brief staff presentation. The participants were organized into small groups based on the six Specific Plan sub-areas. Members of the Coordinating Committee and staff facilitated discussions with each group to review the vision of each sub-area and discuss the recommendations and action items for each sub-area. Finally, each group prioritized the key issues. Although each sub-area has unique features, many of the items prioritized by small groups were similar. Some of the priority issues raised were parking, whether or not to have bike lanes, development around light rail stations, importance of "active" land uses along Colorado, and street beautification.

An issue of particular concern (and varying points of view) was parking around the Gold Line Station at Allen Avenue and the I-210 Freeway. Many participants felt that a parking lot or structure should be provided to accommodate transit users. Others felt that the neighborhoods surrounding the station would be negatively impacted by the no parking situation. Still, other participants believed a shuttle system and regular busing was the appropriate approach for the station.

A final meeting was held on November 21, 2002 to discuss the Draft Specific Plan and Environmental Impact Report (EIR). Approximately fifty community members attended. The key public issues were discussed in light of the Plan recommendations. Bike lanes, streetscape improvements, and parking proved to be the most important items to those in attendance. Public comments were received and were provided to the Planning Commission and City Council.

### **City Council Approval**

The Specific Plan was considered by all of the City's Advisory Commissions prior to reaching the City Council for approval. The Specific Plan was reviewed by the Planning Commission, Design Commission, Historic Preservation Commission, Arts Commission,

and Transportation Advisory Commission. These hearings took place from October 28, 2002, through March 26, 2003. All of these hearings were open to the public, and testimony was taken primarily at the February 26, 2003, Planning Commission hearing. All advisory bodies unanimously recommended approval of the Specific Plan along with suggested modifications.

The City Council adopted the Specific Plan and certified the associated Environmental Impact Report on May 12, 2003, after taking public testimony. The Council incorporated many of the modifications suggested by other commissions and the public.

### **C. CONTENT AND ORGANIZATION OF THE PLAN**

The East Colorado Boulevard Specific Plan is organized into nine chapters. The information contained in each chapter is as follows:

#### **Chapter One - Introduction**

This chapter covers the purpose of the Plan, the relationship of the Plan to the City's guidance policies and documents, and the community involvement process.

#### **Chapter Two - Plan Area Context**

This chapter provides the history of the Plan area, including historic buildings and the various historic uses of the Boulevard. This chapter also describes the existing economic conditions, transportation conditions, and land uses along the Boulevard. Finally, Chapter Two describes the goals and objectives of the Plan and describes the selected sub-areas along Colorado Boulevard and Allen Avenue.

## **Chapter Three - Streetscape Beautification and Public Improvements**

Chapter Three describes all of the public right-of-way improvements recommended throughout the Plan area. This includes street trees, sidewalks, lighting, furnishings, signage, pedestrian areas and amenities, etc.

## **Chapter Four - Mobility**

This chapter provides the mobility objectives throughout the planning area. This includes transit, pedestrian and bicycle use, parking, and intersection level of service information. The mobility section focuses on all modes of travel throughout the planning area.

## **Chapter Five - Land Use and Development Standards**

This chapter provides private development standards as they relate to allowable uses, housing, and parking.

## **Chapter Six - Design Guidelines**

This chapter provides examples and guidelines of quality design concepts as they relate to community character, street environment, site planning and design, and building design.

## **Chapter Seven -Infrastructure and Public Facilities**

This chapter describes the existing conditions of utilities within the plan area. This includes water, wastewater, solid waste, drainage, public safety, schools, fire protection, and energy.

## **Chapter Eight - Plan Implementation**

This chapter provides an analysis of the strategies, actions, priorities, and costs for implementing the Specific Plan recommendations.

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## **CHAPTER TWO**

### **PLAN AREA CONTEXT**

The purpose of this chapter is to describe the built environment within the East Colorado Boulevard Specific Plan area. A history of Colorado Boulevard is provided as well as information on the historic structures and objects within the area. The chapter also details the existing conditions within the Plan area in terms of zoning designations, land uses, streets and mobility issues, economics, and urban design.

#### **A. HISTORIC RESOURCES**

The City contracted with Architectural Historian Teresa Grimes to complete an Historic Resources Inventory for the Specific Plan area. The purpose of the inventory is to identify and categorize historic buildings within the plan area and provide background to be used in the planning process.

To lend context to the Specific Plan, the following information is taken directly from Teresa Grimes' report. For the complete results of the historic inventory, please see *The East Colorado Boulevard Specific Plan Historic Resources Survey*, February 2001, Teresa Grimes.

#### **Background**

In its ongoing efforts to identify and document historic resources, the City of Pasadena conducted an historic resource survey of Colorado Boulevard in 1987. The survey area, referred to as Colorado Boulevard Survey Area #31, was bounded by the Colorado Street Bridge on the west, Rosemead Boulevard on the east, and the rear property lines of those buildings fronting on Colorado Boulevard on the north and south.

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Those areas within this boundary surveyed in 1987 were not included in the 2001 study. It should be noted that the area from Sycamore to Rosemead is not within the city limits. In total, fifty-two properties were identified and documented in the 2001 inventory.

This survey was conducted of the East Colorado Boulevard Specific Plan area which includes part, but not all, of Survey Area 31.

### **Summary of Findings**

The staff of the City of Pasadena conducted a field survey of the Specific Plan area and identified 52 properties to be documented. Roughly half of those properties had been previously documented in the 1987 survey. Most of the properties being surveyed for the first time were constructed after World War II.

There are two buildings and one object in the survey listed in the National Register of Historic Places ("National Register") - the Kindel Building, also known as Holmes Body Shop, at 1095 East Colorado Boulevard; the Howard Motor Company Building at 1283 East Colorado Boulevard; and the Foothill Boulevard Marker. These two buildings and object were listed in the National Register in 1997 as part of the Multiple Property Listing of Early Auto-Related Properties. National Register listed buildings are automatically included in the California Register of Historical Resources ("California Register").

Two properties in the survey appear to be eligible for listing in the National Register. They are the Holliston Avenue Methodist Church at 1305 East Colorado Boulevard and the H.G. Loud Auto Building at 1347 East Colorado Boulevard. One of the properties mentioned above - the Holliston Avenue Methodist Church - is also designated a local landmark.

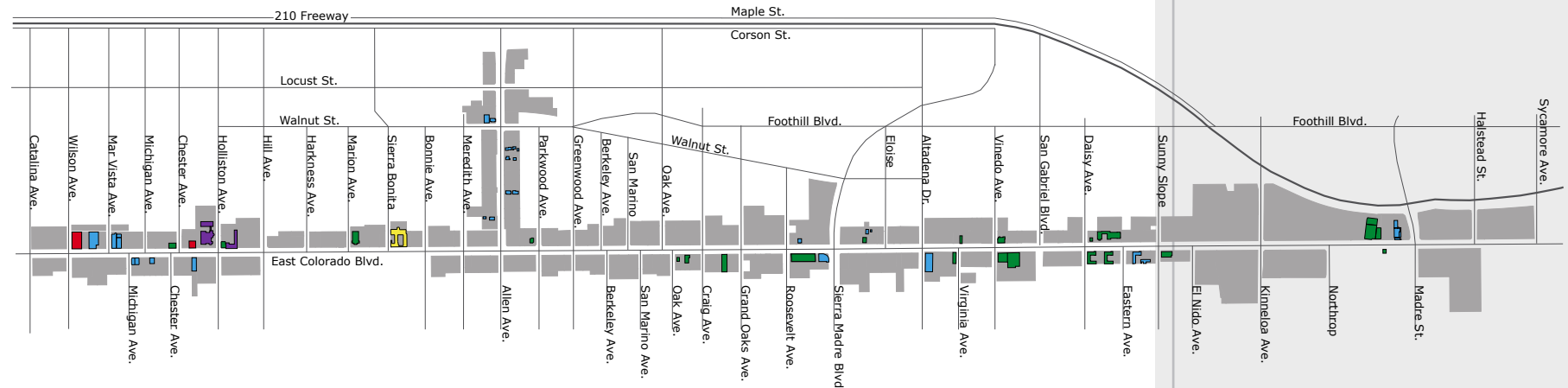
One property in the survey - the Saga Motor Hotel at 1633 East Colorado Boulevard - may become eligible for listing in the National Register when it is old enough to meet the 50 year requirement.



There were seventeen properties which appeared to be eligible for designation under the local landmark ordinance, and twenty-one properties which were not eligible under any landmark designation program, but should be taken into consideration in the local planning process. Eight buildings were of no historic or architectural significance. For a complete listing of the properties included in the survey, refer to the *East Colorado Boulevard Specific Plan Resources Survey* (available through the City).

### Historic Context

Colorado Boulevard has historically been Pasadena’s “main street.” Colorado Boulevard has a rich history. In the 1920’s, Colorado Boulevard extended east to connect with the independent communities of East Pasadena and Lamanda Park, and through a series of annexations these communities became part of Pasadena. Colorado naturally attracted commercial development as it was the only east-west street running through the center of town.



- 1s Separately listed in National Register of Historic Places
- 3s Appears eligible for separate listing in National Register
- 4s2 May become eligible for listing in National Register as well as special consideration in local planning
- 5s1 Separately listed or designated under existing local ordinance
- 5s3 Eligible for special consideration in local planning

Figure 2.1

In 1914, signs were posted along Colorado to mark the National Old Trails Route, conceived and implemented by the Automobile Club of Southern California. Later it was part of Route 66, the principal route from Chicago to the Pacific Ocean. The sections below describe some of the primary historic periods along Colorado Boulevard.

### **Lamanda Park (1885-1920)**

Early in the century, other small towns were founded east of Pasadena and were eventually connected by Colorado Boulevard. Lamanda Park was the largest of these towns. Lamanda Park was founded in 1885 by L.J. Rose, a German pioneer who owned the Sunny Slope Ranch. The 1,960 acre ranch had been part of the western portion of Rancho Santa Anita. Rose developed the ranch into the largest winery in Southern California. Nearly 1,000 acres of the ranch were planted with vineyards, while the remainder was planted with orchards. During the 1870's Sunny Slope became a tourist attraction. Tourists came to view the prize horses Rose was raising, to taste wine, and to pick oranges. When the San Gabriel Valley Railroad surveyed a route which cut off a narrow strip on the north, Rose decided to add a piece of the same size on the south. He subdivided and marketed this land as Lamanda Park, a name he invented from his first initial and his wife's first name, Amanda. Eventually, Rose's interest in breeding racehorses surpassed his interest in citriculture and viticulture. Sunny Slope was sold in 1887 to a British syndicate, and Rose moved to a horse ranch he had purchased near El Monte.

A train station was built at Rose Avenue and Rail Road Street (now San Gabriel Boulevard and Walnut Street). As well as the railroad line east from Pasadena, the Atchison, Topeka & Santa Fe built a new line from Raymond Station to bypass Pasadena and stop at Lamanda Park in 1886. By 1887, six scheduled passenger trains a day were running on the new track. The station also became an important point of distribution for the transport of oranges to the east.



### *East Colorado Blvd. Specific Plan*



By the turn of the century, trolley service was extended on Colorado Boulevard to Lamanda Park, where connections and turn around facilities had been built on Huntington Drive (now Sierra Madre Boulevard) , accounting for the width of the street. Later, the intersection of Colorado Boulevard and Sierra Madre Boulevard became the junction of two Pacific Electric lines. One was the north-south line connecting the communities of Sierra Madre, Lamanda Park, and Pasadena. The other was an east-west line connecting the communities of Pasadena, East Pasadena, and Lamanda Park.

From its beginning, Lamanda Park was a working class and middle class neighborhood. It was home to tradesmen and small farmers. Several of Pasadena's dairies were located here. The most important industry, however, was lemon and orange packing. After World War I, Lamanda Park experienced a building boom and many commercial structures were completed, as well as a new school and a new Methodist Church. On December 27, 1920, the old territory of Lamanda Park was annexed to Pasadena. A separate post office lasted until 1930 and a separate Santa Fe depot stood until 1971. Although the branch library bares the name Lamanda Park, the area has generally been known as East Pasadena since the 1930s. The only historic resource in the Specific Plan area associated with the early history of Lamanda Park is the bungalow at 2415-19 East Colorado Boulevard, which is now used as a flower shop.

#### **Titleyville-Chihuahuita (1900-1950)**

East of Eaton Wash was a small Mexican-American community called Titleyville. Settled after the turn of the century when the area was largely agricultural, the area was commonly referred to as Chihuahuita, Little Chihuahua in Spanish by some of its early residents who came from the Mexican State of Chihuahua. Titleyville had no exact boundaries, but was roughly defined by Avocado Lane and Sierra Madre, Foothill and Orange Grove Boulevards. The residents mainly worked in the surrounding vineyards, orchards, and packing houses.

## *Plan Area Context*

Many owned small houses and their children attended the Titleyville school, established in 1915. In 1922, the area had 350 residents. Although a large area east of Eaton Wash was annexed in 1927, the heart of the Titleyville community, now occupied by Target, remained an unincorporated part of the county until 1971. Virtually the only reminder of this once vibrant community is the street sign for Titley Avenue.

### **East Pasadena (1900 - 1950)**

At the turn of the century, a small village developed around the intersection of Colorado Boulevard and Chester Avenue. The village was called East Pasadena, in reference to the more densely developed and prosperous community to the west. The village included a small commercial center, as well as many bungalows and orange grove farmhouses. East Pasadena did not remain independent for long. In July of 1906 it was annexed by the City of Pasadena. Shortly after it was annexed, a school, post office and several churches were constructed.

With the annexation of additional territory to the east in 1920, 1927, and 1971, the name East Pasadena took on a larger meaning. As the names of early ranchos, tracts, subdivisions, and villages fell out of use, the area along Colorado Boulevard east of downtown Pasadena became generally known as East Pasadena. During the 1920's, the communities of Lamanda Park, Titleyville, and East Pasadena began to merge into one. Commercial development during this period began to string out along major boulevards like Colorado as the population expanded. Most of the historic resources in the Specific Plan area are associated with the development of East Pasadena from 1920 through 1950. They include churches, medical office buildings, retail shops, restaurants, and banks.

EAST COLORADO BLVD.

### **Automobile-related Businesses (1902-1950)**

Pasadena quickly and enthusiastically accepted the automobile as the primary mode of transportation. The wealthy population could easily afford the early automobiles, but it was Henry Ford's Model T that popularized the automobile in Pasadena, just as it did throughout the country. By 1915, Pasadena had the world's highest rate of automobile ownership.

The automobile has played a central role in the development of Colorado Boulevard. The influence of the automobile, and the culture it spawned, is reflected in the businesses lining the street. During the 1920's, several automobile showrooms were constructed on East Colorado Boulevard, including: the Kindel Building, also known as Holmes Body Shop, at 1095 East Colorado Boulevard; the Howard Motor Company Building at 1283 East Colorado Boulevard; and the Wegge-Pelton Co., now Aardvark's. This trend was reinforced in the 1940's and 50's with the construction of H.G. Loud Autos at 1355 East Colorado Boulevard and Lloyd Pearson Autos at 2027 East Colorado Boulevard, and continues to this day. Businesses devoted to servicing automobiles also located on East Colorado Boulevard. The oldest is probably the Carburetor Engineering Co. building which was constructed in 1927 as a blacksmith shop. Auto-related use on East Colorado Boulevard is another trend that continued for many years as indicated by the Pep Boys store, constructed in 1970.

### **Route 66 (1940-1976)**

Known as the "Main Street of America," Route 66 linked Chicago to Santa Monica through the posting of signs along existing roadways. Although Route 66 was created in 1926 as the first interstate highway, signs were not posted in Pasadena until 1929.

*East Colorado Blvd.*  
*Specific Plan*



## *Plan Area Context*

The portion of Colorado Boulevard in the Specific Plan area was not originally a part of Route 66. The original Route 66 entered Pasadena from east Foothill Boulevard, traveled west to Hill Street, turned south on Hill Street to Colorado Boulevard, west on Colorado Boulevard to Fair Oaks Avenue then proceeded south on Fair Oaks Avenue into South Pasadena. When the Arroyo Seco Parkway was completed in 1940, Route 66 was changed to enter Pasadena on the east at Colorado Boulevard, proceeded west on Colorado to Arroyo Parkway and then south on Arroyo Seco Parkway. This change had a profound impact on the development of East Colorado Boulevard after 1940 and particularly during the 1950's when Americans took to vacationing by automobile. By the end of the 1940's there were thirteen auto courts and motels on East Colorado Boulevard designed to take advantage of tourists traveling by automobile. The Ace Motel at 2870 East Colorado Boulevard was built in 1946 and is the oldest motel in Pasadena. After 1950 the motel business changed from "ma and pa" establishments to national chains. The remaining motels on East Colorado Boulevard were constructed after 1959. They include: the Saga Motor Hotel (1959) at 1633 East Colorado Boulevard; the Swiss Lodge (1961) at 2800 East Colorado Boulevard; and the Astro Motel (1962) at 2818 East Colorado Boulevard. Ironically, the public's demand for improved highways signaled the demise of Route 66. The Federal Aid Highway Act of 1956 provided underwriting for the construction of modern four-lane highways. In the case of Pasadena, Route 66 was replaced by the Foothill Freeway in 1976.

EAST COLORADO BLVD.



## How Historic Information will be Utilized

In recent times, the traditional auto-oriented character and urban design focus has shifted to that of the pedestrian, however the historic influence should be honored and retained where appropriate. Land use and development recommendations within the Specific Plan utilize the Historic Resources Inventory. The consideration and/or protection of important historic resources is built into the planning process and is an important facet of land use planning and decision-making along East Colorado Boulevard. The Historic Resources Inventory provides a detailed methodology section that describes the various classifications of buildings/ objects within the Plan area. These classifications include listings on the National Register of Historic Places, listings of buildings eligible for the National Register, and sites of Local Interest. The historic classifications and the associated buildings will be considered through all required environmental review as part of any new construction in the Plan area.

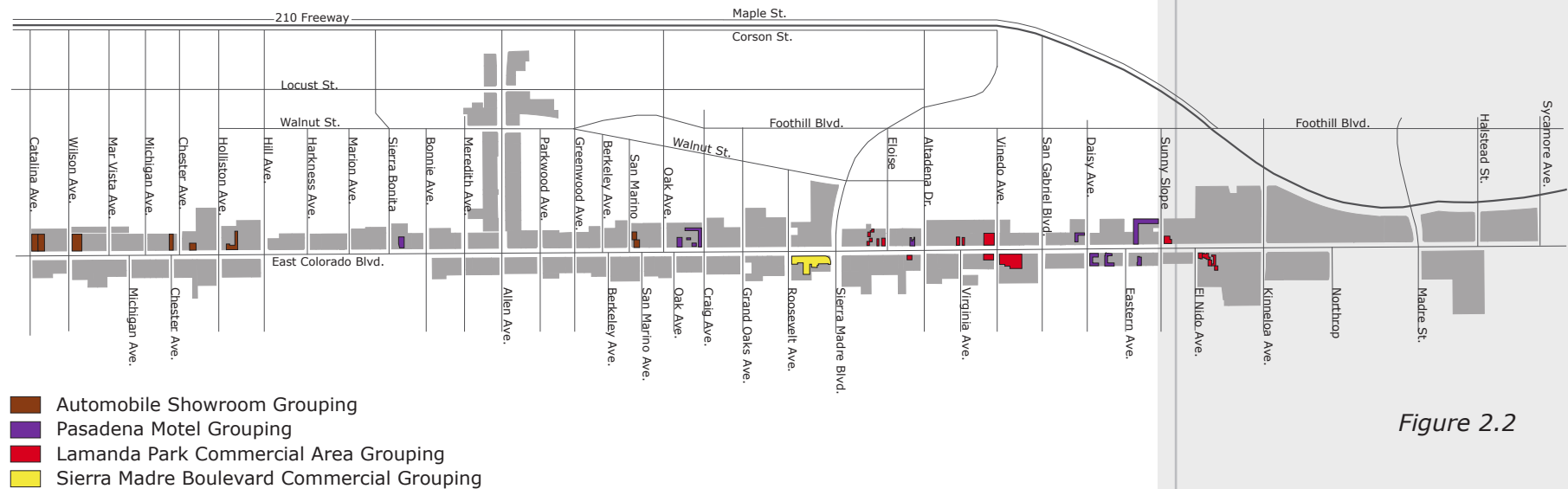


Figure 2.2

## *Plan Area Context*

Of special note are the four "Historic Groupings" listed in the Historic Resources Survey. These groupings include the Automobile Showroom grouping, Pasadena Motel Grouping, the Lamanda Park Commercial Area Grouping, and the Sierra Madre Boulevard Commercial Grouping. These historic groupings are of special significance when planning for new development or future land uses along Colorado Boulevard. Automobile showrooms, motels, and Lamanda Park represent important segments in the history of East Colorado Boulevard. Showrooms and motels typify Colorado's history as Historic Route 66 and the Lamanda Park Commercial Area provides an intact section of the Pasadena City limits that at one time was its own incorporated city.

In the 1920's the Sierra Madre commercial center served not only the residents of Lamanda Park, but also provided services for the electric car riders on the two major Pacific Electric Lines meeting at this intersection. Additional review and consideration will be required for any plan recommendations or future development that may impact buildings within these historic groupings. Further, the City will continue to evaluate potential designation of qualified properties on the National Register of Historic Places or as landmarks. Inclusion of a property in this plan does not designate a property. The City's existing Historic Preservation Ordinance governs protections and designations of historic buildings.

EAST COLORADO BLVD.

East Colorado Blvd.  
Specific Plan



## B. 2003 EXISTING CONDITIONS

East Colorado Boulevard supports a mix of land uses and contains a number of interesting mobility issues. This section outlines the current conditions within the plan area as they relate to zoning, land use, mobility, economic feasibility, and urban design. The map below illustrates many of the existing uses of East Colorado Blvd.

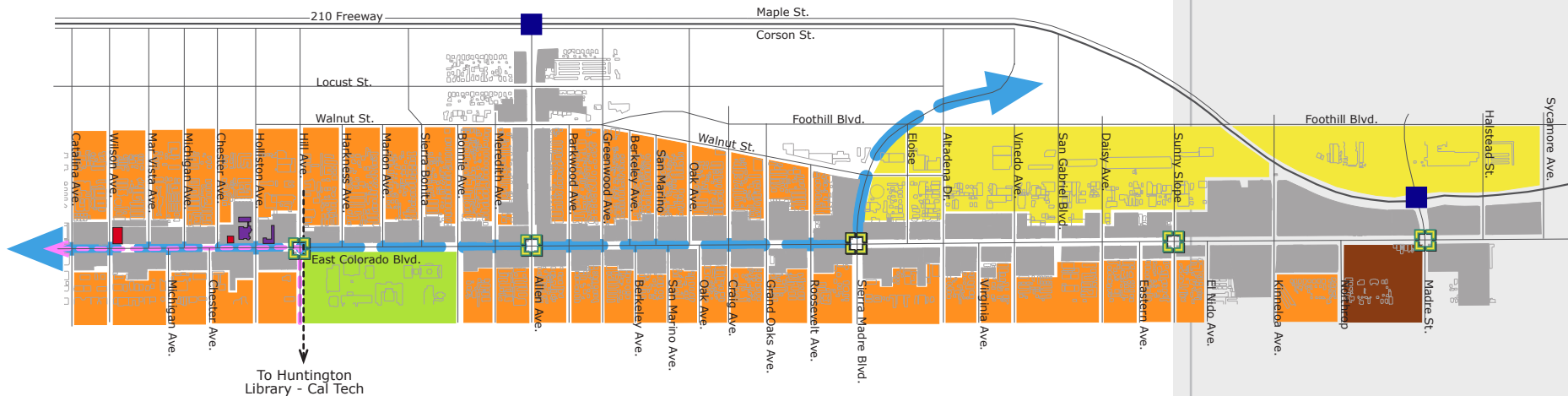
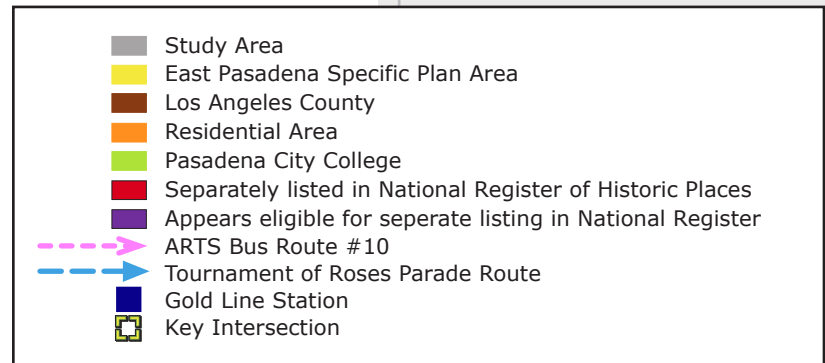


Figure 2.3



## Zoning

### Colorado Boulevard

The entire frontage of East Colorado Boulevard within the planning area is zoned General Commercial (CG) with the exception of the south side of Colorado at El Nido which is zoned PD-18 and the Kinneloa Annexation which is zoned PD-3. The majority of the CG zoning along Colorado is only one parcel deep. General Commercial zoning is the City's most liberal commercial zoning designation, allowing a range of uses including retail, office, restaurants, auto related uses, food sales, etc. The General Commercial designation does not allow housing outside of caretakers quarters. To the immediate north and south of Colorado Boulevard along much of the planning area are parcels zoned for High-Density Residential development with a Parking (PK) overlay. These areas allow for the development of commercial parking lots to support businesses along Colorado. Any proposed parking lot in the PK zone requires the approval of a Conditional Use Permit. Part of the scope of work for the Specific Plan is to evaluate these PK zoned areas and recommend development opportunities and alternatives.

- General Commercial
- Limited Commercial
- Multi-Family Residential
- Multi-Family Residential/Parking
- Planned Development
- Industrial



Figure 2.4

# EAST COLORADO BLVD.





**North Allen Avenue**

The North Allen Avenue frontage is a mix of multi-family residential and commercial zoning. The zoning designations along Allen include RM-32 PK and RM-32 (Residential, Multi-Family 32 units/ acre) zoning from Colorado to Walnut, General Commercial (CG) zoning from Walnut to Locust and Limited Commercial (CL) zoning from Locust Street to the 210 Freeway. The term RM-32 zoning means Residential Multi-Family development with 32 units permissible per acre. Current uses in this area include established multi-family and single-family residential, auto related uses, and general commercial uses.



North Allen Avenue

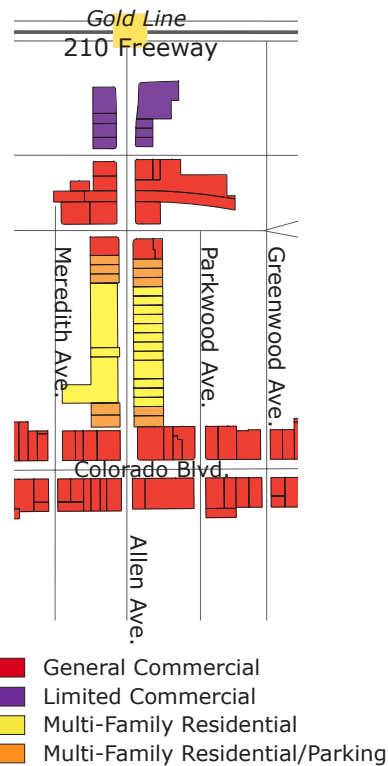


Figure 2.5



Commercial development on Allen Avenue



Residential at Allen Avenue



210 Freeway at Allen Avenue

### Mobility and Circulation

Colorado Boulevard is identified in the General Plan as a principal Mobility Corridor. As such, the goals of the General Plan focus on increasing opportunities for multiple travel modes in these corridors and protecting adjoining neighborhoods from pass-through traffic that should be directed to the 210 Freeway. Additionally, N. Allen Avenue is proposed to be a major connecting route to the planned light rail station at Allen and I-210. Due to the role Colorado and Allen will play in the City's circulation system, the Specific Plan must address issues related to traffic, pedestrian and vehicular connection, parking, and transit issues. Development opportunities around the proposed light rail station should be carefully examined as part of this planning process.

#### Street Network Characteristics

*The existing road configurations are as follows:*

Colorado Boulevard: This four-lane arterial forms the east-west "spine" of the study area. The posted speed limit ranges from 30-35 mph.

Allen Avenue: This four-lane arterial provides a major north-south travel route within the study area, and also provides full access to the I-210 freeway.

Intersection geometry data (number of lanes and turns for each approach) were documented in the field along with data on signal configuration (protected left turns, etc.), peak-hour turn movement counts, and Average Daily Traffic (ADT) data for study area segments.



The Existing Study Arterial Geometries Graphic illustrates the lane configurations of these arterials at selected points. Cross-sections indicate the width of parking, travel, and continuous turn lanes.

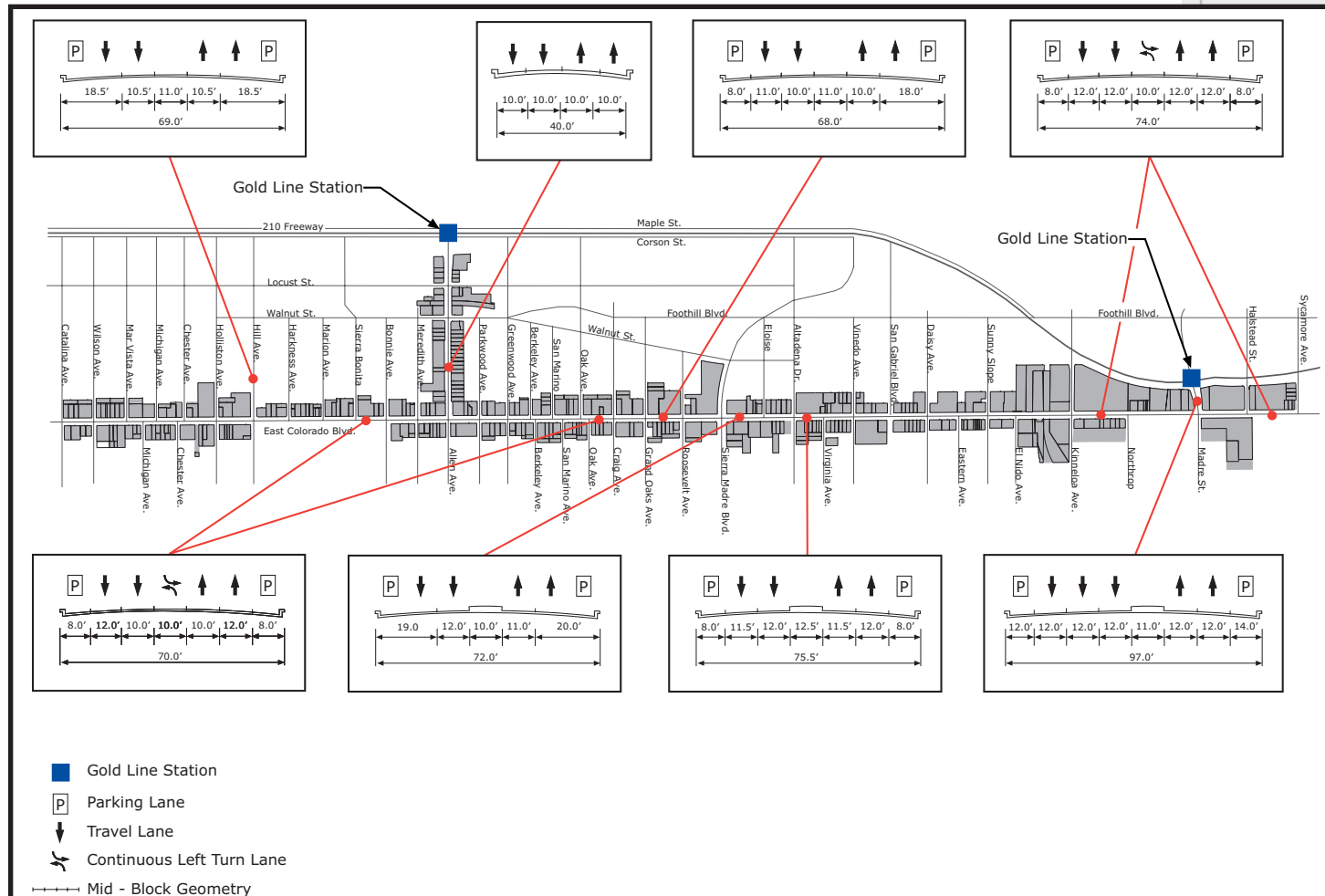


Figure 2.6

# Plan Area Context

The following graphic indicates the parking availability and restrictions in effect along Colorado Boulevard.

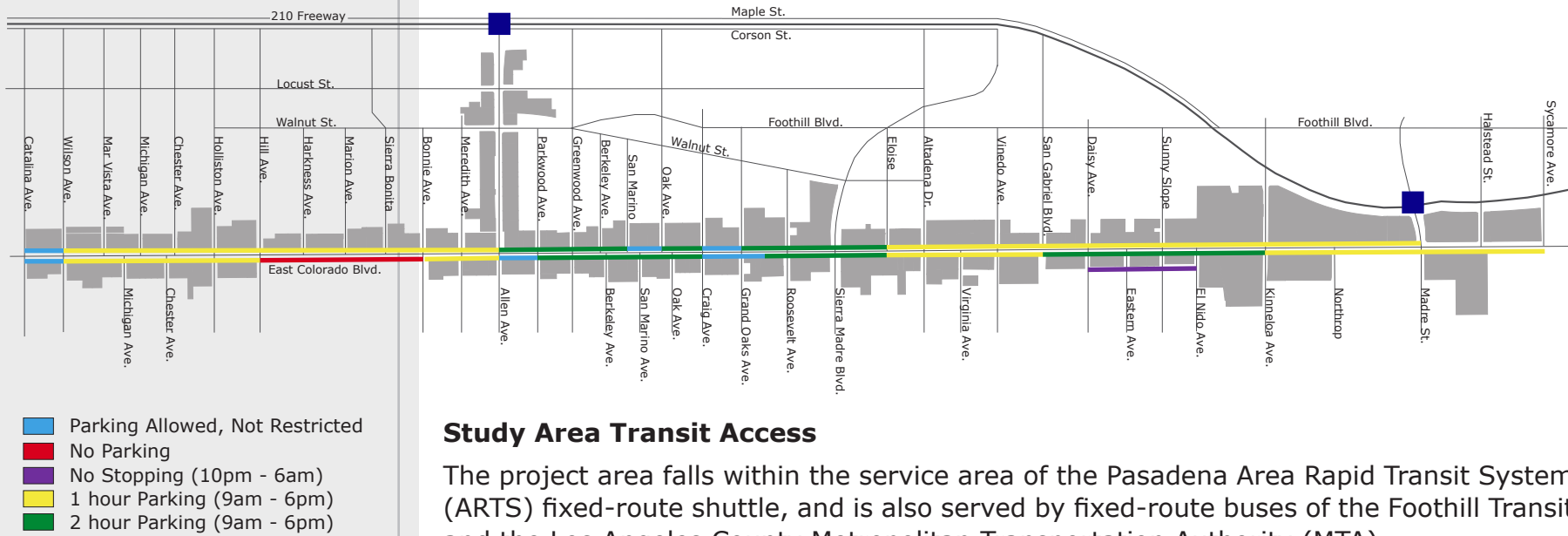


Figure 2.7

## Study Area Transit Access

The project area falls within the service area of the Pasadena Area Rapid Transit System (ARTS) fixed-route shuttle, and is also served by fixed-route buses of the Foothill Transit and the Los Angeles County Metropolitan Transportation Authority (MTA).

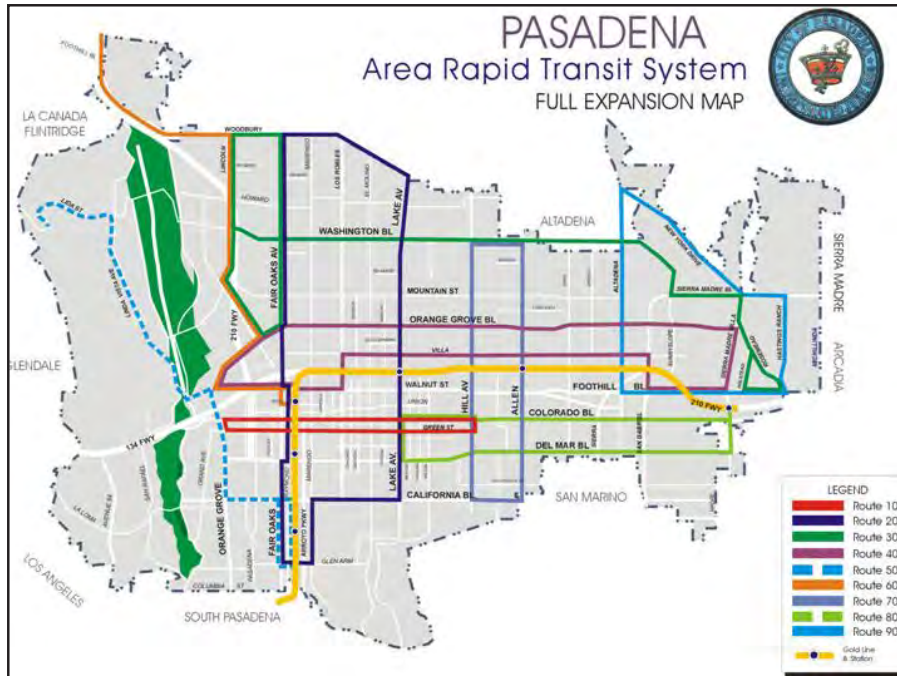
The Pasadena ARTS Route #10 provides service along Colorado Boulevard from Hill Avenue west to Orange Grove, and from Orange Grove east to Hill on Green Street on its route between Hastings Ranch, Old Pasadena, and the northwest neighborhoods of the city.

Foothill Transit Line 187 provides local service between Old Pasadena and the study area, and all foothill communities to the east, terminating at Montclair in San Bernardino County. The line utilizes Colorado Blvd. within the study area.

MTA's Line 188 provides local service between the northern area of Pasadena, the study area, and foothill communities to the east, terminating in Duarte. MTA Line 401 provides local/express service between the northwest area of Pasadena, the study area, and downtown Los Angeles.

# EAST COLORADO BLVD.

Light rail transit is also being constructed in the study area. As part of the Los Angeles to Pasadena Metro Gold Line Project, light rail stations are located within the median of the I-210 freeway at Allen Avenue and Sierra Madre Villa Avenue. The stations will have pedestrian access via the respective roadway underpasses. Parking facilities are planned for the Sierra Madre Villa Avenue station, as it is the eastern terminus of the line and can provide regional access to the system. The Allen Avenue station is more of a neighborhood-oriented station with no parking facilities.



**Study Area Transit Characteristics**

**Pasadena ARTS Route #10**

*Service Range: M-F: 7am -6pm & Sat/Sun: 12pm to 5pm*

*See text on previous page.*

*Line Origin: Woodbury Road via Old Pasadena*

*Line Destination: Hastings Ranch*

**Foothill Transit 187**

*Service Range: M-F: 4am -midnight, Sat: 5am - 10pm, Sun: 6am to 9pm*

*Colorado Boulevard Service Extents: Entire*

*Specific Plan area*

*Line Origin: Lake / Colorado*

*Line Destination: Montclair*

**MTA 188**

*Service Range: M-F: 6am -midnight and Sat: 6am - 11pm*

*Colorado Boulevard Service Extents: Entire*

*Specific Plan area*

*Line Origin: Fair Oaks / Loma Alta via Old Pasadena*

*Line Destination: Duarte*

**MTA 401\***

*Service Range: M-F: 5am - 11pm*

*Colorado Boulevard Service Extents: West of Allen Avenue*

*Line Origin: Downtown Los Angeles*

*Line Destination: Allen / New York*

\* MTA Line 401 serves the Specific Plan area on Colorado Boulevard east of Allen Avenue, but also serves Allen Avenue north of Colorado.

**Average Daily Traffic (ADT)**

Traffic levels drop significantly toward the east end of the study area (from Kinneloa Avenue to Halstead Street). Allen Avenue has noticeably lower ADT values than all of the Colorado Boulevard ADT values.

**Summary of Roadway Volumes Existing (2001) Traffic Levels**

<b><i>Average Daily Traffic (ADT) Location</i></b>	<b><i>ADT</i></b>
<i>Colorado Blvd. between Wilson and Mar Vista Avenues*</i>	<i>28,600</i>
<i>Colorado Blvd. between Holliston and Hill Avenues*</i>	<i>26,700</i>
<i>Colorado Blvd. between Sierra Bonita and Bonnie Avenue</i>	<i>27,400</i>
<i>Colorado Blvd. between Allen and Parkwood Avenues*</i>	<i>32,100</i>
<i>Colorado Blvd. at Grand Oaks Avenue</i>	<i>25,300</i>
<i>Colorado Blvd. between Sierra Madre Blvd. and Eloise Ave.*</i>	<i>23,400</i>
<i>Colorado Blvd. between San Gabriel Boulevard and Vinedo Ave. *</i>	<i>22,200</i>
<i>Colorado Blvd. between Sunnyslope and El Nido Avenues</i>	<i>24,200</i>
<i>Colorado Blvd. between Kinneloa and Northrop Avenues</i>	<i>19,300</i>
<i>Colorado Blvd. between Madre and Halstead Streets</i>	<i>17,800</i>
<i>Allen Avenue between Corson and Locust Avenues*</i>	<i>16,200</i>
<i>Allen Avenue between Walnut Street and Colorado Boulevard</i>	<i>7,600</i>

*\* ADT data for these points were factored from mobility Element Update peak provided by the City of Pasadena.*



### Study Intersection Level of Service

An important measure of roadway congestion is the Volume to Capacity (V/C) ratio. Capacity is the maximum number of vehicles that can pass over a given section of a roadway during a given time period (one hour unless otherwise specified), under prevailing roadway and traffic conditions. Volume to Capacity ratios range from 0 (no congestion) to greater than 1.0 (severe congestion). The V/C ratios are further tied to an indicator of congestion called Level of Service (LOS) which is broken into six categories, A through F. As the V/C ratio rises, the Level of Service decreases. Level of Service categories have the following characteristics.

- Level of Service is a term used to describe prevailing conditions and their effect on traffic.
- Broadly interpreted, the Level of Service concept denotes any one of a number of differing combinations of operating conditions that may occur as an intersection is accommodating various traffic volumes.
- Level of Service is a qualitative measure of the effect of such factors as travel speed, travel time, traffic interruptions, freedom to maneuver, safety, driving comfort and convenience.
- Level of Service varies from LOS A (free flow conditions) to LOS F (jammed conditions).
- Level of Service for study intersections are based on defined corresponding v/c ratios. A description of the City of Pasadena criteria for v/c ratios and corresponding Levels of Service is included in the Attachments.

*East Colorado Blvd.*  
*Specific Plan*



# Plan Area Context

There are no intersections operating at unacceptable conditions (LOS E or F) under existing conditions. There are currently three intersections operating at LOS C in either the a.m. or p.m. peak period, which is the lowest estimated LOS for the study area intersections. According to City of Pasadena guidelines, this LOS value is acceptable. Under p.m. peak conditions, the intersection of Allen Avenue / Walnut Street has a volume to capacity ratio of 1.13. When analyzed under the 1997 Highway Capacity Manual method utilized in this study, it is estimated to operate at LOS C.

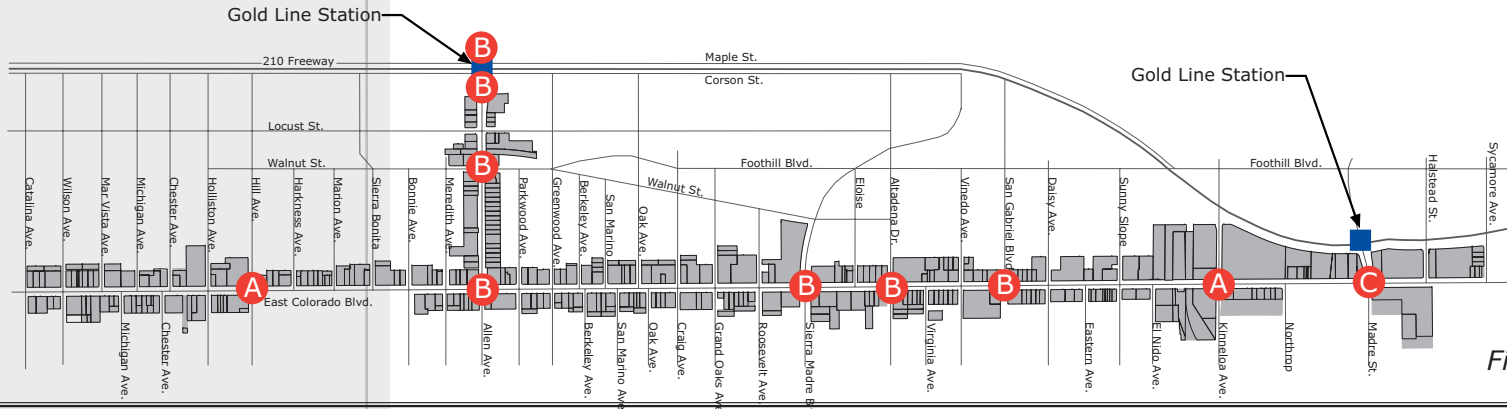
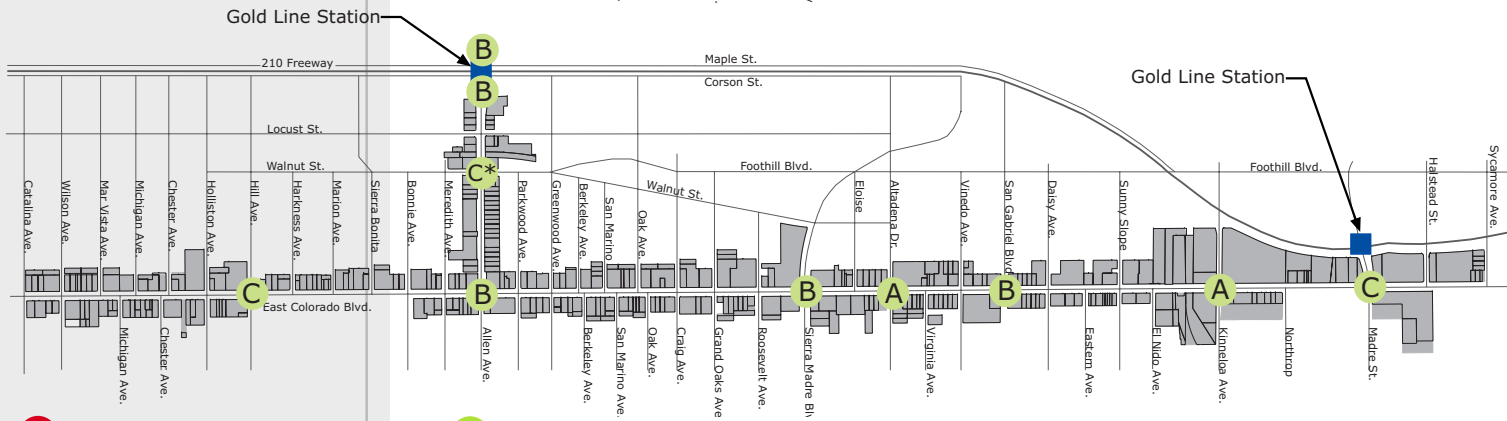


Figure 2.8



- ? AM Peak Hour Level of Service
- ? PM Peak Hour Level of Service
- Gold Line Station
- C\* This intersection has a peak level of service of 'C' according to 1997 HCM guidelines, which utilize seconds of delay to compute LOS. The volume - to - capacity ratio of the intersection is 1.13.

Figure 2.9

# EAST COLORADO BLVD.



### Economic Conditions

The following is a summary of existing economic conditions that will influence the realistic range of future development opportunities in the Plan area:

- The Plan area is largely “built out,” with few vacant or underutilized parcels.
- Prevailing property values in the Plan area reflect the fact that most parcels are already developed with existing viable uses. This situation will tend to limit the financial feasibility of redeveloping these parcels with lower-density land uses. That is, in most cases, new development would need to be relatively high density in order for the ultimate value of the development to justify the costs associated with buying and clearing land that is currently occupied with other uses. While there may be some (currently underutilized) sites that are exceptions to this finding, it applies as a good rule of thumb for defining the types of opportunities that are likely to exist for most parcels.
- There is an expressed desire among private stakeholders (businesses, residents and commercial property owners) to retain the area’s character as the “last bastion” of small businesses in Pasadena.
- The relatively limited availability of public parking currently serves as a constraint to development in the Plan area.

The above conditions suggest the following major conclusions about the types of opportunities that are likely to exist for future development in the Plan area:

- Major new development will likely need to be higher density given prevailing land values; and
- A significant focus of the Plan implementation should be on revitalization of existing development and beautification of the streetscape.

*East Colorado Blvd.*  
*Specific Plan*



**Existing Land Values and Lease Rates**

As an initial means of establishing existing land values in the Plan area, the consultants completed a review of recent (1998 through mid-2001) sales transactions. The table below summarizes the land value data by sub-area.

<b>Sale Price (Per Square Foot of Land) 1998-2001</b>			
<b>East Colorado Study Area Sub-Areas</b>			
<b>Sub-Area</b>	<b>Simple Average</b>	<b>Weighted Average <sup>1</sup></b>	<b>Number of Transactions</b>
<i>Mid-City</i>	\$118.62	\$97.38	11
<i>College/ Gold Line</i>	\$55.74	\$39.59	12
<i>Lamanda Park</i>	\$64.00	\$44.99	9
<i>Chihuahuita</i>	\$37.34	\$39.37	2
<b>Total</b>	<b>\$77.19</b>	<b>\$57.10</b>	<b>34</b>

<sup>1</sup> The weighted average has been weighted based on the total acreage of each transaction.

As for rental rates, the following table provides a summary of data obtained from commercial brokers and developers:

<b>Rental Rates</b>	
<b>By Type of Land Use</b>	<b>Rates Per Square Foot</b>
<i>Multi-Family Residential</i>	\$1.50-\$1.70
<i>Retail</i>	\$1.35-\$2.00
<i>Office</i>	\$1.45-\$2.00

*Source: Discussions with various developers and BOMA Office Market Journal 2001.*

### Urban Design and Land Use

East Colorado Boulevard supports an eclectic mix of land uses. Throughout the length of the planning area, Colorado Boulevard is filled with retail uses, general commercial uses, auto sales, restaurants, motels, churches, office, storage, and warehousing. Colorado Boulevard has been referred to as the “last bastion of the Mom and Pop shop” in Pasadena. This is evidenced by the presence of uses like the Whistle Stop (model trains), a vacuum cleaner repair shop, and Kovacs Luggage, among many others. Retaining and protecting these types of small private businesses is a main objective of the plan.

The Boulevard also includes the frontage of Pasadena City College, widely recognized as one of the top community colleges in California.

*One of the primary goals of the plan is to retain this eclectic mix of uses while keeping the plan area vital and vibrant.*

In recent years, some significant new buildings/ uses have been established along East Colorado. Notable is the Koll Corporate Center, a five-story, 175,000 square foot office building constructed at the west end of the Specific Plan area. A new Target has replaced Fedco. A five story office building has been rehabilitated at 2555 East Colorado and a new storage building and retail building is under construction in Lamanda Park.

*East Colorado Blvd.*  
*Specific Plan*



# Plan Area Context

Figure 2.10 below shows the broad mix of existing uses in the study area.

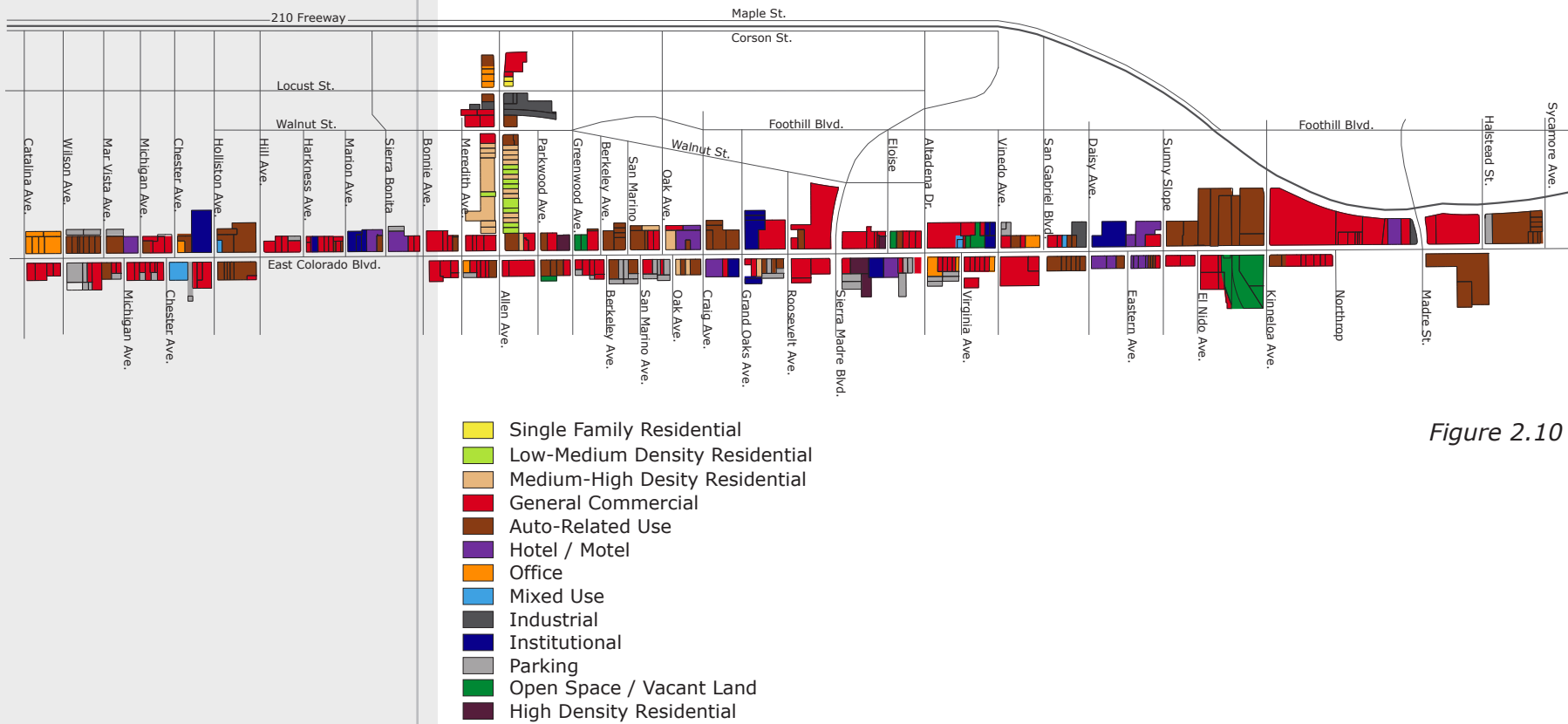


Figure 2.10

EAST COLORADO BLVD.

### C. PLAN GOALS AND OBJECTIVES

As guided by the Colorado Boulevard Today and Tomorrow document, “To improve the appearance, function and urban ambiance of East Colorado Boulevard,” the goals for revitalizing East Colorado Boulevard remain consistent with guiding Pasadena policy. To that end this Specific Plan reinforces goals and objectives that serve to accomplish beautification and enhancement. The following is a summary of the overall goals for the Specific Plan area:

- Beautify the streetscape by installation of street trees, street and median landscaping to soften the urban edge and a consistent selection of urban furnishings.
- Retain the eclectic mix of uses and protect the vitality of small independent businesses.
- Extend public transit with convenient stops located through the planning area. Consider additional expansions to the existing ARTS bus system to serve East Colorado Boulevard.
- Locate new parking to the rear or sides of buildings and/or screen new and existing parking with landscaping. Serve parking to the rear by enhancing existing alley and linked parking lot access.
- Work to beautify key intersections and establish community and sub-area gateways that help to establish a sense of place.
- Expand the list of allowable land uses to include multi-family housing on upper floors only in all sub-areas except the Route 66 sub-area and the Chihuahuita sub-area outside the transit mode.
- Work to transition auto dealers (new and used) and auto related uses into the Chihuahuita sub-area.
- Encourage two and three-story buildings along Colorado Boulevard to improve the street scale.

*East Colorado Blvd.*  
*Specific Plan*



- Create redevelopment opportunities and incentives.
- Improve parking conditions throughout Planning Area.
- Preserve historic resources identified in the historic survey.
- Provide incentives to intensify development at significant nodes.
- Provide affordable housing.

### **D. DESCRIPTION OF PLAN AREA AND SUB-AREAS:**

#### **General**

East Colorado Boulevard has a unique niche within Pasadena as it attracts more of a “pioneer” type of business rather than a “conservative, high end, chain style business”. Overall, the Boulevard has an “edgier” retail niche. One way to view the Boulevard is a series of business neighborhoods, connected by the streetscape and intensified in logical nodes. The importance of identifying a few key retail “nodes” in various sub-areas was identified. Examples include college-related use around PCC, and transit nodes with more intense density and a mix of uses at light rail stations. A “demonstration project” could be considered as a method to develop some revitalization momentum in one of the sub-areas. One of the three key opportunity sites listed in the specific plan would be good for this idea. The types of key retailers are discussed below under each sub-area.

#### **Housing**

Housing is recommended in most of the sub-areas, except the Route 66 and Chihuahuita areas. Specialized and/or creative housing types like live-work or loft style mixed-use are possible and should be encouraged. Incentives such as higher densities, reduced parking requirements and parking districts are important tools to promote housing and are recommended at selected development and transit nodes.

### Clustering of uses and transit nodes

The importance of clustering of uses and nodal development in general is a key concept in the Plan. There are some very unique uses along the 3 mile stretch of East Colorado but they are spread out and have no clear connection to each other. It is important to cluster similar uses to create identity and a collective image. For example, the Lamanda Park area has some specialty furniture stores, furnishing stores, and antique stores. An anchor such as Fedde’s furniture could help the smaller niche furniture and antique stores get going. These uses could then be promoted as a group.

Transit “nodes” are identified in the plan to promote a mix of higher density development that is directly supported by the association to the Gold Line station. Residential apartments and/or office spaces above street level retail spaces that cater to transit users have the potential to create small urban villages with slightly reduced parking requirements and higher residential densities. Transit-oriented development principles applied elsewhere in the City and in other communities have the strong potential to be realized in the East Colorado Boulevard Specific Plan.

*East Colorado Blvd.  
Specific Plan*



- Mid-City
- College District
- Gold Line
- Route 66
- Lamanda Park
- Chihuahuita
- Transit Node

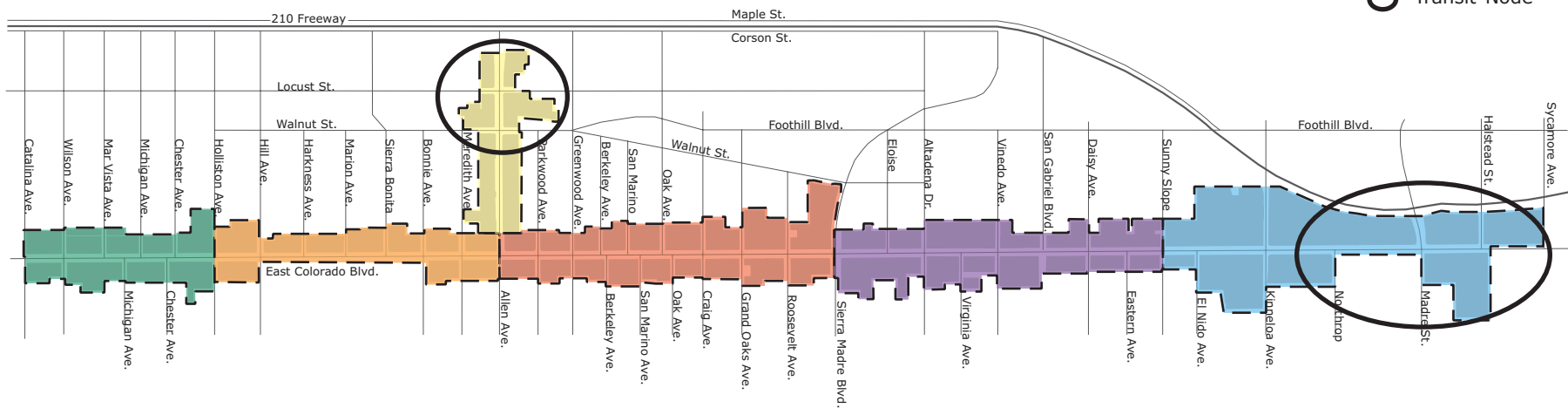


Figure 2.11

# Plan Area Context

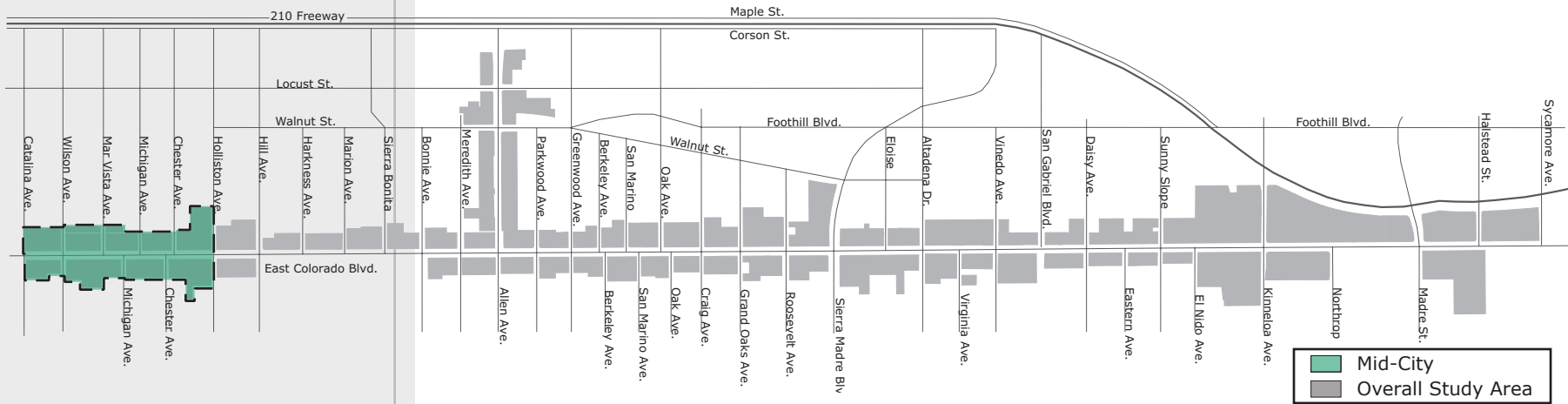


Figure 2.12

## Mid-City Sub Area:

The sub-area designated as Mid-City spans from Catalina Avenue to Holliston Avenue. Mid-City is a unique sub-area given that it has a direct connection to the Playhouse district and downtown, has the most buildings of historical significance, the massing and scale of the buildings are large, and the pedestrian crossings along the corridor are limited to intersections. The future of Mid-City is to be a transition zone from the central district to a lower density College District with multi-story buildings that have a mix of office/ retail at the ground floor and office/ residential above. The historic buildings should be retained and the architectural character should influence, but not govern the style of future buildings. The street treatment, trees, and furnishings should tie in with the Playhouse District to help unify the East Colorado Boulevard corridor. All new developments should provide parking in the rear with alley access and buildings should be built at the street edge. This will help to create the desired downtown urban feel of the area.

EAST COLORADO BLVD.



In addition, this area provides an opportunity to build multi-story projects up to 60' in height. Such developments should provide higher volume ground floor spaces. Since this sub-area is to be a more densely developed district, auto dealerships should consist of showrooms only with large lot storage located in the other areas.

*East Colorado Blvd.  
Specific Plan*



*Example of mixed-use development.*



*Koll Corporate Center is located in the Mid-City District*



*Example of a mixed-use project with office /retail at the ground floor and residential above.*

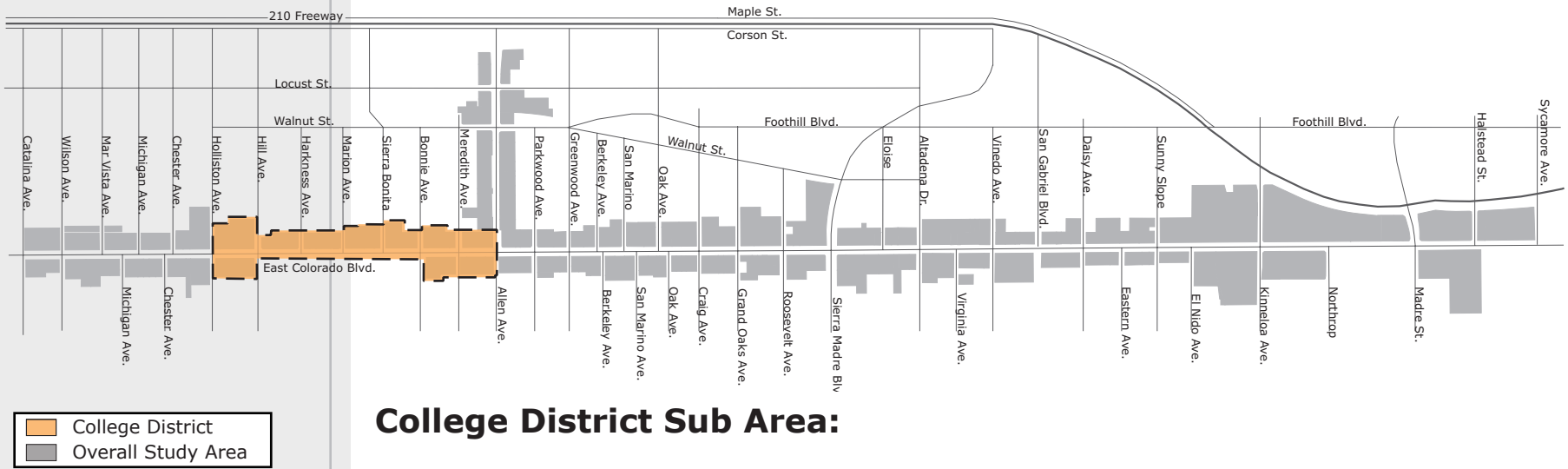


Figure 2.13

## College District Sub Area:

The College District spans from Holliston Avenue to Allen Avenue and is greatly influenced by Pasadena City College. While not under City zoning jurisdiction, the frontage along Pasadena City College is important to the overall goals of the Specific Plan. Pedestrians clearly influence the street treatment and character of the area with the automobile being secondary. The south side of the street is owned and maintained primarily by the college and it is an excellent example of landscaping and street trees. One concept that would strengthen the desire to improve pedestrian connections is to widen the sidewalks on the south side of the street, incorporate bus turnout areas, and add additional landscaping and street furniture. This would reduce the distance between the sides of the street improving the pedestrian connections and creating a large pedestrian area in front of the college.

EAST COLORADO BLVD.



Several intersections along East Colorado Boulevard have been identified as areas for improvements. Hill and Allen Avenues are both key intersections within this sub-area that should be beautified. The Ford dealer at the corner of Hill provides an opportunity for implementing the concept of relocating some of the larger automobile sales lots down to the Chihuahuita sub-area thus freeing up space for mixed-use projects that create a strong urban edge and opportunities for a pedestrian oriented streetscape. The relocation and consolidating of the auto dealers will also provide them with the benefit of more space and will create a destination that is easily accessible and identifiable. The Allen Ave. intersection forms the gateway to the Huntington Library and Caltech to the south and the Gold Line station to the north and should be treated as such.

The uses in the College District should be college/ neighborhood serving. Restaurants, cafes, bookstores, office supplies, banks and motels would all be appropriate uses within this sub-area. Since the primary focus is on pedestrians, new drive-through restaurants will no longer be allowed in this area. Underutilized parcels should be redeveloped and plazas and outdoor spaces should be incorporated into their designs.

Residential development within this area should be in the form of mixed-use projects where at least 50% of the street frontage of the building is commercial and the rest is either an entry to upper floors, parking entry, office space, a gym for residents, or other accessory uses.

The creation of a parking district should be considered within this area since many people in the area will be walking from the college. Refer to the discussion on parking in the *Land Use and Development Standards* section.



*Example of mixed-use development.*

# Plan Area Context



Gold Line station at Allen Avenue

## Gold Line Sub Area:

With the construction of the new Gold Line station at the 210 freeway, Allen Avenue will become a more heavily traveled corridor connecting the station to Colorado Boulevard, Pasadena City College, Caltech, and possibly the Huntington Library. As the Gold Line station and related transit oriented uses develop between Locust Street and the 210 Freeway, a need to improve the pedestrian connections to Colorado Boulevard arises. Additional pedestrian traffic will require a wider sidewalk and street edge treatment that is pedestrian friendly and the need for more lighting to create safer passage.

High density residential appears to be the most obvious allowable use along the Allen corridor given its existing residential character and that it is surrounded by residential development. The area within a 1/4 mile radius of south the new Gold Line station has been identified as a transit oriented area or “node” which allows for higher density development and parking reductions (refer to Chapter V). The area between Locust and the 210 is within the limits of the transit node boundary and is currently underutilized. The opportunity for a more dense mix of commercial development with retail on the ground floor and residential and/or offices above could provide a commuter-oriented destination near the station and a gateway to the East Colorado Specific Plan area.

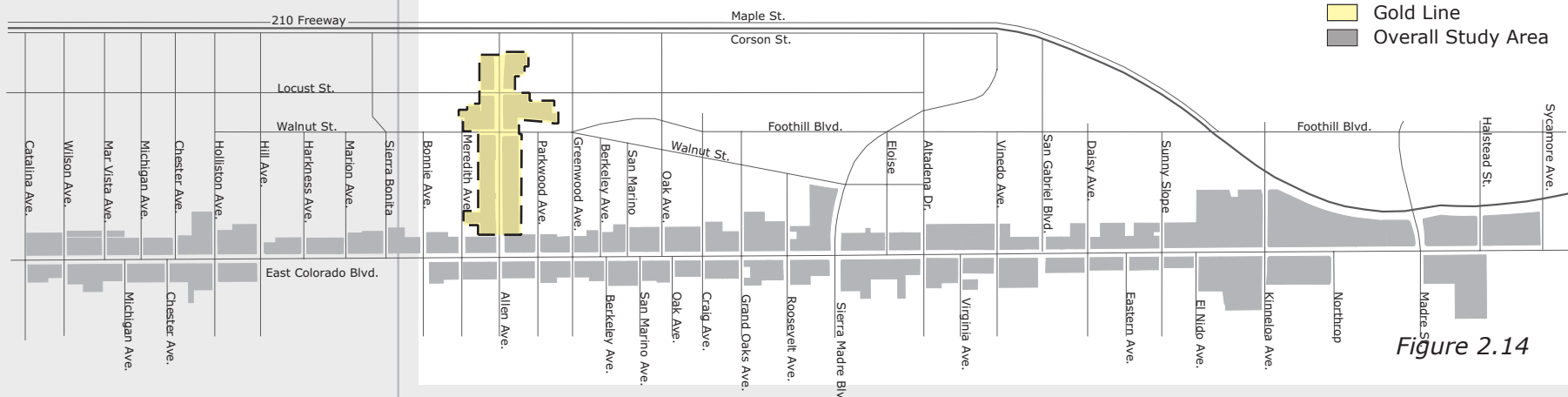


Figure 2.14

EAST COLORADO BLVD.



**Route 66 Sub Area:**

“Route 66”, made popular by a hit song and vehicle-oriented convenience development, hit a special chord with Americans of the 1940’s and 1950’s. Stretching from east to west, Route 66 formed a ribbon of autopia and galvanized a genre of auto-oriented architecture and development styles. The area between the College District and Lamanda Park sub-areas makes up the “Route 66” area between Parkwood Avenue and Sierra Madre Boulevard. Within this area the character of the historic Route 66 could really shine with unique and themed signage and architecture.

Existing development along East Colorado Boulevard still contains the image and historic essence of the Route 66 style. Building on what is left of this historic roadway would allow for additional fun and inventive neon signage to compliment existing signage that is already sprinkled throughout the area. Residential development is not encouraged in this area. However service commercial uses, restaurants, historic motels, and other uses that capture the desired Route 66 character are preferred and single story 1950’s architecture is desirable.

Due to the nature of the area, parking lots occur adjacent to the street edge. Such lots should be screened and robust landscaping should be planted at the street edge.

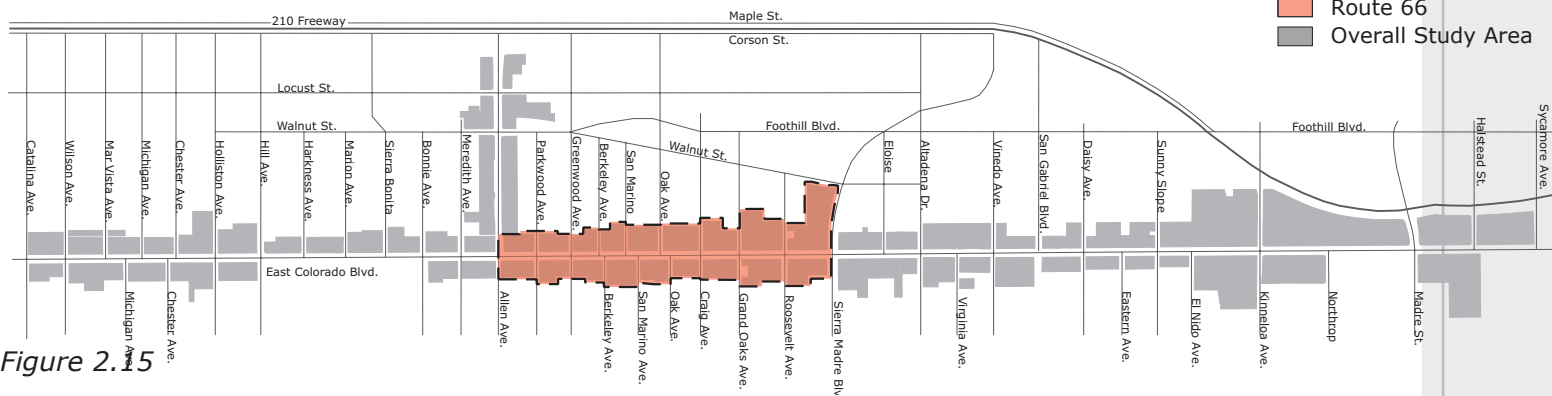


Figure 2.15

*East Colorado Blvd.  
Specific Plan*



Example of "Route 66" themed architecture



Example of "Route 66" era signage



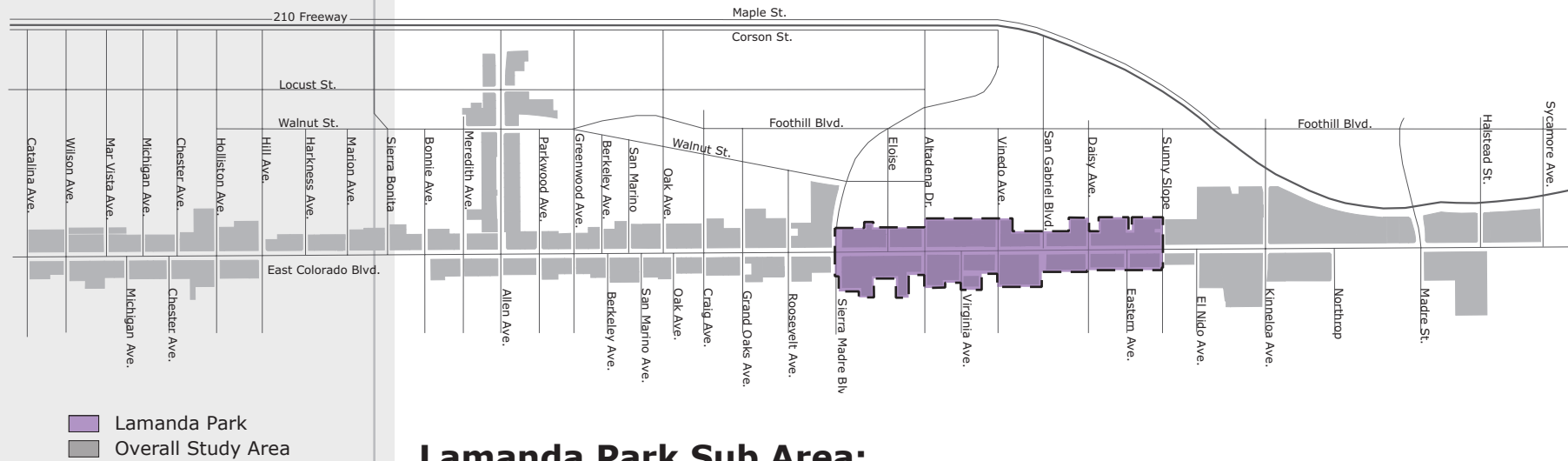


Figure 2.16

## Lamanda Park Sub Area:

Smaller scale unique businesses and uses make this a destination location. The area between Sierra Madre Boulevard and Sunny Slope historically was the separate City of Lamanda Park. Even though it was annexed years ago it has retained a special character and appeal that makes it something different. In this area, pedestrian connections are important. Traffic calming devices such as sidewalk “bump outs” in key locations and adding textured paving to crosswalks should be implemented. The streets are lined with tall ficus trees which shade the street and contribute to a pedestrian friendly environment. In an effort to create a “town within a town,” streetlights and furnishings that are unique to the area should be provided and gateway signage may be appropriate at Sunny Slope and Sierra Madre Boulevard.

## Chapter II

### East Colorado Blvd. Specific Plan



Mixed use residential development is encouraged within Lamanda Park. Consequently, the ground floor of all buildings along the corridor shall be encouraged to be entertainment related, retail, and office uses and stand-alone residential will not be permitted. Such uses include specialty retail shops, movie theaters and restaurants, antique shops, cafes, etc.. There are also opportunities for locating a community center, urban pocket park/ plaza, and a police sub-station in this sub-area. The architecture in the area is of a "fine grain" with a strong street-orientation which would be complimented nicely with small patio or plaza areas at the street edge.

Civic uses (library, community center, etc.) were mentioned in addition to book store/ restaurant/ sidewalk dining/ market type uses. The creation of a "new media library", expanding the services of the existing library branch in Lamanda Park, should be explored. Unlike a traditional library, the media library may contain references, links, and media information largely in electronic / WEB formats. An urban park should also be considered for this area.

Lamanda Park is a prime area to create a parking district which could allow parking requirements to be supplemented with in-lieu fees limiting the amount of parking required to be provided on site. Shared parking agreements with local churches and other opportunities should also be explored Thompson Alley and Nina Street should also be developed further to provide alternate access to parking in the rear of buildings.



*Example of small patio/ plaza area at the street edge.*



*Example of small business/ residential mixed-use project*



*Example of expanded sidewalks and street furnishings*

### Chihuahuita Sub Area:

Sunny Slope to Sycamore makes up the Chihuahuita sub-Area. The name “Chihuahuita” was taken from the community that was located in this area in the early 1900’s. Known as Titleyville, the area was commonly referred to as Chihuahuita, or Little Chihuahua in Spanish, because many of the residents came from the Mexican State of Chihuahua. The sub-area was named Chihuahuita through the approval process as a way of honoring this former East Pasadena Community. A number of large automobile dealerships are present in this area. A district filled with many auto dealers, easy freeway access and large retailers, makes this a destination location for neighboring communities and Pasadena residents.

The area along Colorado Boulevard between Northrop and Madre streets on the south side of Colorado Boulevard is in Los Angeles County. This area should be annexed from the county to generate tax dollars while at the same time benefiting the corridor by creating one continuous streetscape theme, improving conditions, and giving land use controls.

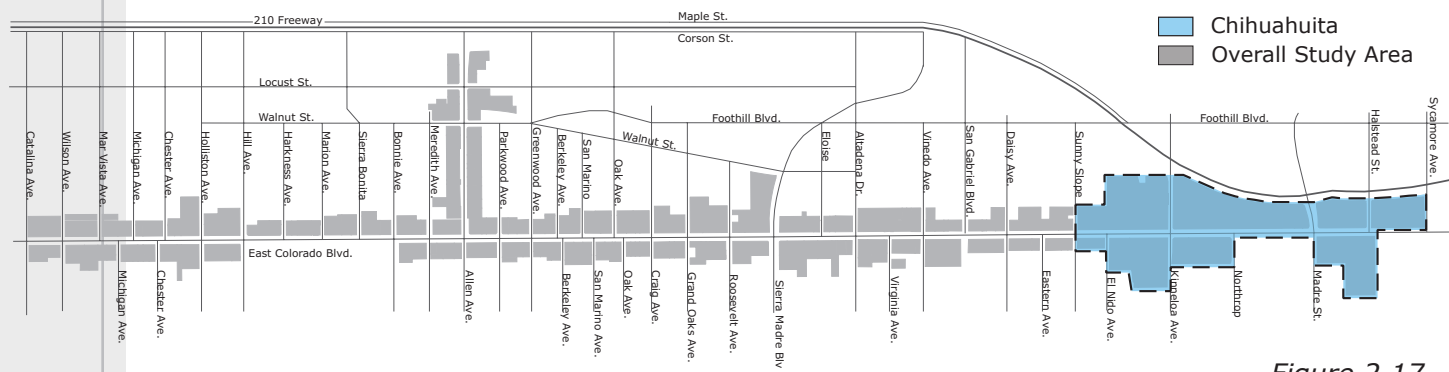


Figure 2.17

EAST COLORADO BLVD.





The area within a 1/4 mile radius of the Gold Line Light Rail Station at Sierra Madre Villa and the 210 has been identified as a transit oriented area or “node” which allows for mixed-use redevelopment, including residential homes above retail uses on the street level. In this area higher residential densities, parking reductions, and increased height limits will be allowed to create a commuter-oriented destination (refer to Chapter V).

Similar to the Route 66 sub-area, the “Route 66” theme could flourish in the Chihuahuaita area. The auto related uses and retail shops could provide large fanciful historic Route 66 signage or coordinated banners that would unify the corridor. The southern central portion of the sub-area could include restaurants, small-scale retail and offices in order to support the larger scale uses in the area. Relocating auto-related uses from the western end of the specific plan area where they may not be as desirable and consolidating similar uses at the eastern end could be a win-win situation.

The streets should be beautified with additional trees and landscaping as well as street furnishings and enhanced pedestrian crosswalks. Care should be given in street tree selection to allow maximum visibility to adjacent storefronts, auto dealers, and retail space in this area as well as the entire corridor.

All streetscape work will be coordinated with the East Pasadena Specific Plan. The East Pasadena Specific Plan includes plans for the extension of Walnut Street and Kinneloa Avenue. The completion of these extensions will improve circulation through the Chihuahuaita area, and all new projects will be evaluated against the recommendations of the adjacent East Pasadena Specific Plan area.



*A landscaped parkway helps to screen the parking of this development*

### CHAPTER THREE

#### **STREETSCAPE BEAUTIFICATION AND PUBLIC IMPROVEMENTS**

As we continue to design our cities and towns, it is important to understand, recognize, and incorporate by policy elements of good street design. Streets are truly the public's domain, places where business is conducted, people meet, and where the image of a city is shaped. Streets provide an intrinsic opportunity to shape and add character to our communities. By embracing the street as an important public place, we create an environment rather than simply a means to get from point A to point B.

Streetscape beautification is about making our streets comfortable - creating a street scene that is attractive to the eye, un-congested for a social stroll, functional for getting from point to point, and recreational for those wanting leisure. East Colorado Boulevard should be a place for nearby residents to walk to a range of uses both day and night. Many elements of the street create its character, from buildings, paving patterns, and furniture to the landscape and storefront activities. This section of the East Colorado Boulevard Specific Plan addresses those special features.

*East Colorado Blvd.*  
Specific Plan



#### **A Note About Lamanda Park**

*Lamanda Park has the potential to become a "town within a town." To help define this special area, neighborhood entry monuments should be considered at Sunny Slope and Sierra Madre Boulevard where the street subtly transitions from the vehicle-oriented boulevard to the pedestrian oriented feel of Lamanda Park. The streetscape should evoke that of a traditional neighborhood that abuts a commercial district, where the street gradually becomes quieter, with a narrower paved width section, more greenery along the streets and comfortable scale between the buildings and the pedestrian sidewalks. A comfortable walking environment is essential, and should be crafted through the use of wide sidewalks, street fronting plazas, enhanced crosswalks, comfortable street furnishings, pedestrian scale lighting with banners and signage designed to identify the district.*

**A. LANDSCAPE CONCEPTS**

**Street Trees**

The City has developed a street tree planting program with special emphasis on the major traffic arteries of the City. Parkways and trees make an important contribution to the appearance of the City, are an investment in the natural and cultural environment, and benefit real estate values. The City has identified one or more tree species designated for a particular block or segment of street based on their species, size, age, appearance or historical significance. The adjacent street tree palette indicates species that shall be planted within the East Colorado Boulevard Specific Plan Area unless otherwise specified by the City. Tree planting and placement will be coordinated with property owners to maximize the health and viability of the tree while not obscuring buildings and signage or damaging sidewalk, curb, and gutter. Final decisions on trees species will be subject to approval from the Urban Forestry and Engineering Division of the Department of Public Works. Additionally, species selection may be recommended by granting agencies if such funding is used for tree planting projects.

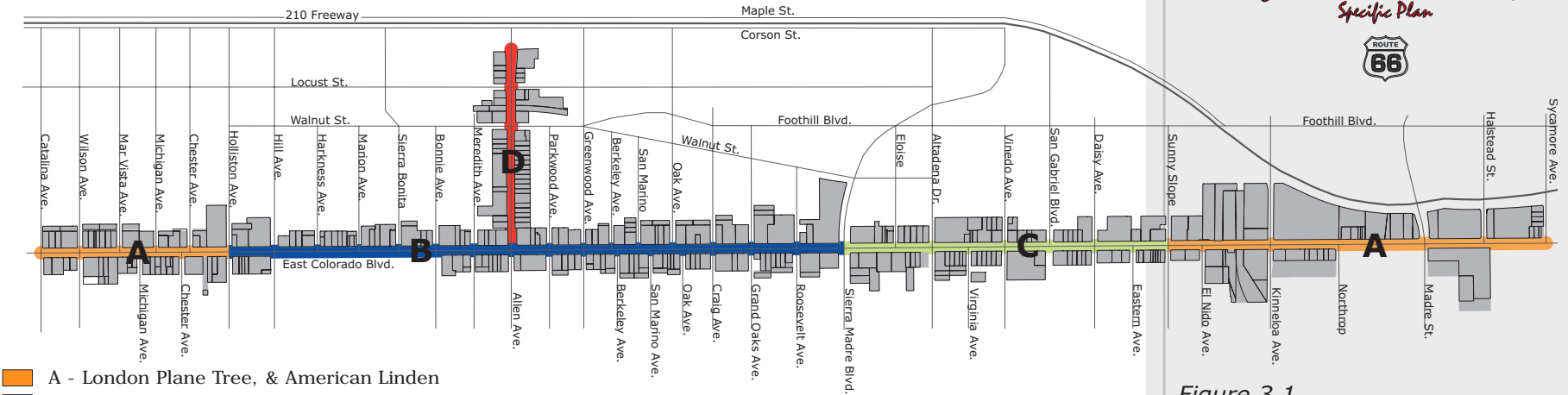
<b>Street Tree Palette</b>		
<b>Sub-Area</b>	<b>Botanical Name</b>	<b>Common Name</b>
<b>Mid-City</b>		
Catalina Ave. to Holliston Ave.	<i>Plantanus acerfolia</i>	London Plane Tree
	<i>Tilia americana</i>	American Linden
<b>College District and Route 66</b>		
Holliston Ave. to Sierra Madre Blvd.	<i>Cassia leptophylla</i>	Gold Medallion Tree
	<i>Tabebuia avellanedae</i>	Pink Trumpet Tree
<b>Lamanda Park</b>		
Sierra Madre Blvd. to Sunny Slope	<i>Pistachia chinensis</i>	Chinese Pistache
	<i>Koelreuteria bipinnata</i>	Chinese Flame Tree
<b>Chihuahuita</b>		
Sunny Slope to City Limit	<i>Plantanus acerfolia</i>	London Plane Tree
	<i>Tilia Americana</i>	American Linden

\* Mexican Fan Palms will run throughout the entire corridor of East Colorado Boulevard.



Mexican Fan Palm Trees currently line East Colorado Boulevard in the Chihuahuita area.

East Colorado Blvd.  
Specific Plan



- A - London Plane Tree, & American Linden
  - B - Gold Medallion Tree, & Pink Trumpet Tree
  - C - Chinese Pistache, & Chinese Flame Tree
  - Existing Street Tree Specimen
- \* Mexican Fan Palm will run throughout the entire corridor of East Colorado Boulevard

Figure 3.1



London Plane Tree



American Linden



Pink Trumpet Tree



Chinese Pistache



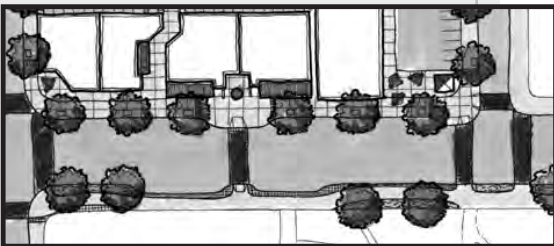
Chinese Flame Tree



## Street Tree Guidelines



*This attractive tree grate allows room for additional pedestrian travel*



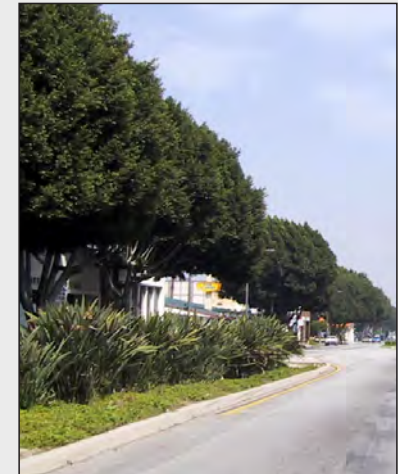
*Parkways should be expanded to include street trees and street front plaza areas.*

- Street trees will be placed in concert with property owners and drive aisles at a minimum distance of 25' from any street light or 50' from any intersection and in accordance with City standards. Existing conditions will be considered in the placement of new trees. Street trees planted within the boundaries of private development should be carefully chosen to provide shade while allowing visibility to storefronts and minimizing organic litter. Trees that are aesthetically pleasing and provide showy flowers, attractive fall colors, or large amounts of shade are preferred. In addition, species that are native to the region are preferred as are those that are generally available in local nurseries.
- The Parks and Natural Resources Division shall be responsible for planting all trees on City property or within City right-of-way. This shall be done in conjunction with property owners. All City trees shall be pruned in a manner that will encourage good development while preserving their health, structure and natural appearance.
- The parkway along East Colorado Boulevard adjacent to the Pasadena City College should be expanded to encompass the seven (7) feet of excess right-of-way. The increase in public space would greatly enhance the south side of the street and would provide an opportunity for bus turnout locations upon re-design of this area. The design should expand the existing curb line to widen the sidewalk, allow for the retention of mature specimen trees, and new installation of buffer amenities and street furnishings along the pedestrian walkway. Pasadena City College and the City will need to agree on a maintenance plan for this area.
- Street trees planted along the Tournament of Roses Parade route should be pruned to prevent damage and maintain view corridors.

## Medians

Lamanda Park, the Chihuahuita area, and along Allen Avenue between Locust and Corson are the only sub-areas where it is possible to plant medians within the Specific Plan Area due to the Tournament of Roses parade route. New raised and planted medians shall be selectively located and considered a long-term objective on East Colorado Boulevard east of Sierra Madre Boulevard. These medians should be planted with low grading, attractive landscaping, and drainage systems and will control vehicle-turning movements, serve to calm traffic and reduce noise, and demarcate pedestrian crossings and walkways. The medians will also provide a place for directional signage designating centralized parking lots and announcing key intersections while introducing color and greenery to beautify East Colorado Boulevard. In Lamanda Park, medians should be relandscaped to provide occasional light and airy shade trees and lower shrubs. This will assist in unifying opposite sides of the street and will not limit visibility to storefronts. The design of all proposed medians, including size and species of plant materials, must be approved by the Department of Public Works and Transportation. This approval will require a long term maintenance plan. Medians should not be placed in areas that will limit access to auto dealers primary entrances. In such cases where raised, planted medians are not functional, a colored, stamped concrete paving pattern that defines the space yet allows for vehicle travel should be used in its place.

*East Colorado Blvd.  
Specific Plan*



*Medians such as this help to beautify the street*

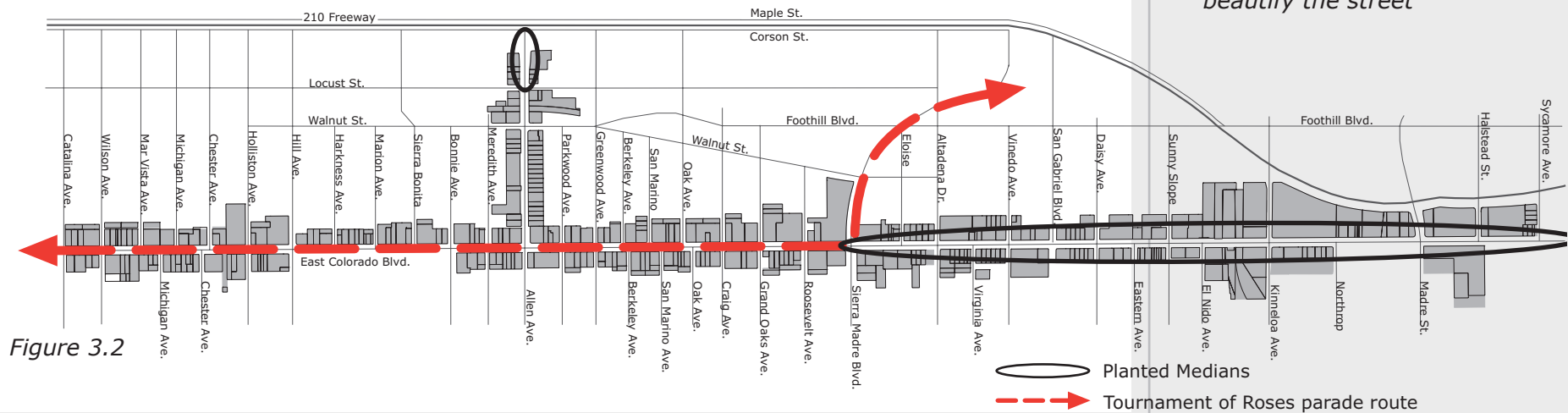
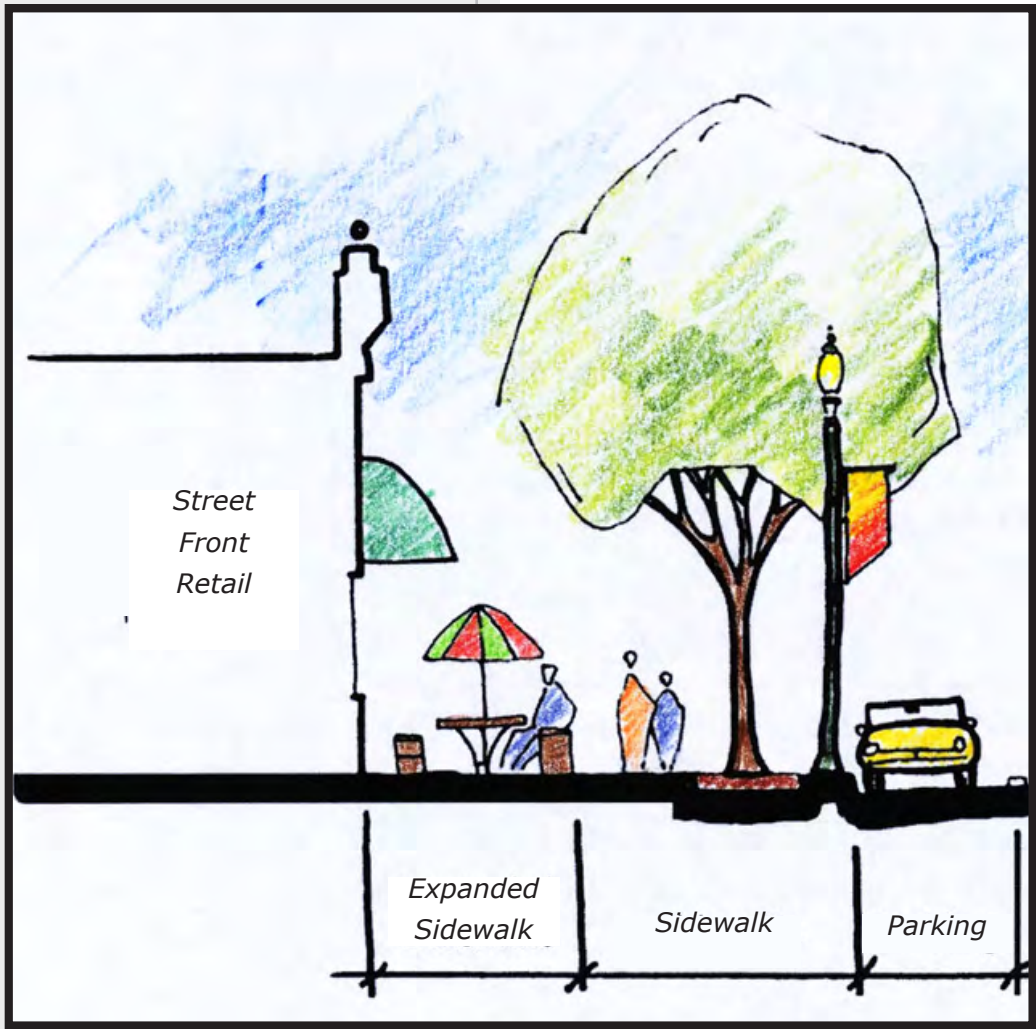


Figure 3.2

### Landscaping At Sidewalk Areas (Colorado Boulevard)



*This section depicts an enhanced sidewalk featuring outdoor seating, dining, landscaping, and lighting.*

The pedestrian experience is a very important part of every sub-area along East Colorado Boulevard. An urban street edge with wide sidewalks, street trees and landscaping, consistent street furnishings, parking in the rear, and varied building setbacks all contribute to a desirable street scene. Retailers and restaurateurs are encouraged to create outdoor eating areas and patios and buildings should be set back from the property line to allow for such areas as well as expanded sidewalks. Design features such as enhanced paving on walkways, trellis structures, landscaping and low scale and ornamental lighting should be used to distinguish the pedestrian route from the vehicle route. Trees should be planted in tree grates to maximize the area of pedestrian travel and provide shade to the outdoor spaces. Street trees with large canopies should be planted where possible to provide shade to the area and a comfortable neighborhood environment. This neighborhood feel can further be enhanced with planter pots, plaza landscaping, and building setback landscaping. Boxed and tub plant containers, such as clay pots or wooden planters, should be used to enhance sidewalks, plazas and courtyards. This should be done in cooperation with neighborhood or business associations. Potted plants attached to light posts should also be considered in all sub-areas if appropriate maintenance upkeep is feasible.





The Route 66 and Chihuahuita sub-areas have some unique characteristics that require additional treatment to the street edge. Many small businesses make up the Route 66 sub-area. Similarly, automobile dealerships and larger retailers line the Chihuahuita street frontage. It is critical that these businesses have easy access from the street and parking in the front. To enhance the pedestrian experience and maintain a continuous street frontage for retail, parking lots should be screened with a landscaped wall or a landscaped buffer, entries should be well signed, and should be shared with adjacent businesses where possible. When walls are used, they should be designed with breaks to accommodate pedestrian circulation. In addition to the landscape buffer, a consistent treatment of trees planted in tree grates will help to unify the entire corridor and will beautify the area. Route 66 furnishings and public signage should be actively promoted in these areas.

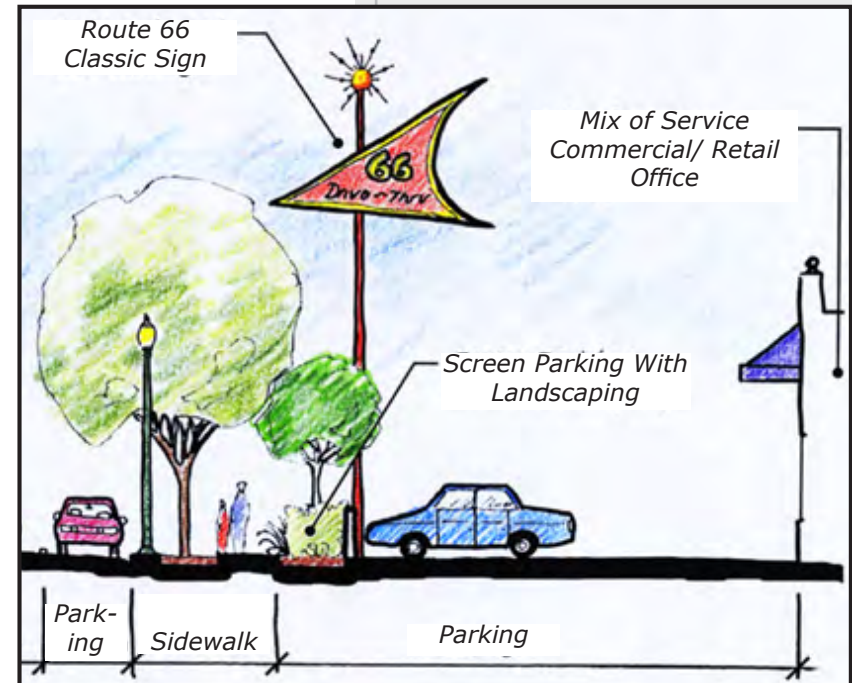


The majority of Allen Avenue is nicely landscaped with parkways and street trees

### Gold Line (Allen Avenue)

The majority of Allen Avenue is nicely landscaped with parkways and street trees. As pedestrian traffic increases as a result of the new Gold Line Station, additional lighting and wider sidewalks should be considered.

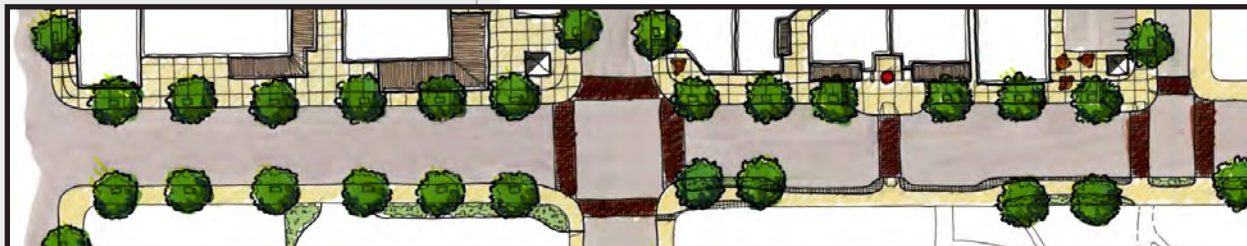
The block between Corson Street and Locust Street has the potential to take on a more urban street scene. Trees should be planted in tree grates and wider sidewalks and plaza areas are appropriate.



Landscaped buffers between parking lots and sidewalks help to improve visual impacts



**B. SIDEWALKS AND PEDESTRIAN IMPROVEMENTS**



*An additional 7' parkway should be installed along the south side of East Colorado Boulevard in front of the PCC Campus to facilitate additional frontage beautification*

**Specific Plan Area**

**Sidewalks**

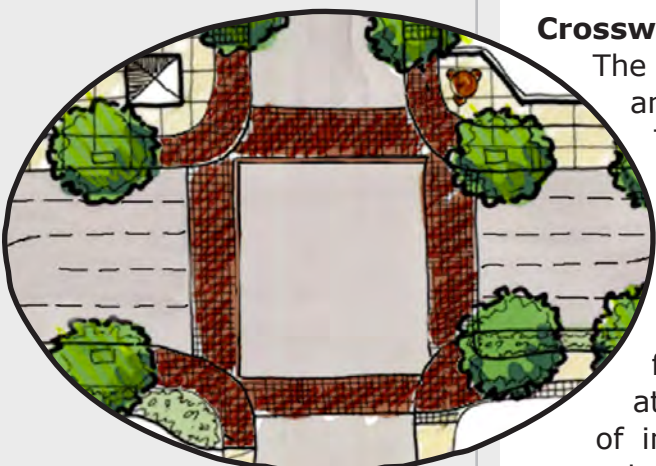
Throughout the specific plan area sidewalks need to be cleaned up and pressure washed. Hazardous irregularities in the paving need to be repaired and maintained to City

standards. The parkway at the south side of East Colorado Boulevard along Pasadena City College (PCC) frontage should be widened an additional 7'. This will reduce the travel distance for pedestrians crossing over to the retail side of the street, as well as create an opportunity for a more enjoyable landscaped walkway adjacent to the college. The appearance and function of this pedestrian area should be planned through collaboration between the PCC and the City.

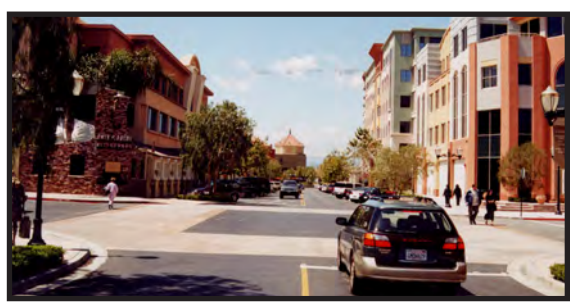
**Crosswalks**

The use of accent paving provides an opportunity to both dress up intersections and incorporate traffic calming measures for pedestrian and bicyclist safety.

The change in texture is a visual and intuitive signal to both the motorist and pedestrian of the appropriate boundaries for each. Accent paving contributes greatly to the overall visual appeal of the intersection and is typically located in one or more of the following areas: at corners; on sidewalks; at pedestrian crossings; and in the middle of intersections. The texture should be smooth enough so that an older person, cyclist and persons with disabilities are not deterred.



*Accent paving contributes greatly to the overall visual appeal of the intersection*



*Enhanced pedestrian crossings help delineate appropriate boundaries for pedestrians and automobiles*



Enhanced paving materials improve the pedestrian experience, both in visual appeal and safety



Paving treatments such as this help to create neighborhood distinction and beautification

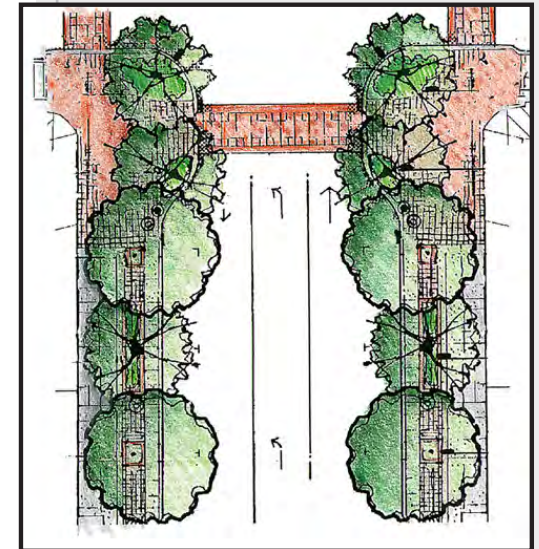
Throughout the specific plan area, with the exception of Lamanda Park, a scored concrete that has been acid washed and tinted a buff or gold color should be used at crosswalks key intersections and at mid-block crossings.

### Lamanda Park

Incorporating special paving at pedestrian crossings, at midblocks and at intersections, is an excellent way to visually cue the oncoming motorist to slow down because of possible pedestrian traffic. The texture of special paving in the crossings is another tangible cue for motorists to reduce their speed and pay increased attention to their surroundings. Special paving also enhances the pedestrian experience, both in visual appeal and safety, as pedestrians travel across various intersections.

Within Lamanda Park a special paving treatment specific to the area should be applied to create a special neighborhood distinction. An inlaid brick or similar paver should be used at crosswalks, intersections, bulb-outs, and as an accent to the sidewalks in the area.

Provisions will need to be incorporated into the Design Plan for maintenance of medians, expanded sidewalks, and mid-block crossings. Some private maintenance may be required.



A combination of enhanced paving materials and bulb outs helps to create safer pedestrian crossing



Inlaid bricks help to create neighborhood distinction



C. LIGHTING CONCEPTS

Colorado Boulevard

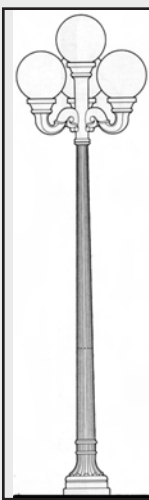
The lighting selected for the majority of East Colorado Boulevard is the light fixture used all along the Boulevard from the downtown into the Playhouse Area. Currently, fluted metal poles with "cobra heads" provide necessary lighting for motorists. The Historic Resources Survey of the plan area found that the 1928 street light bases have historical significance, and should be retained throughout the area. In addition to this vehicular oriented lighting, pedestrian scaled lighting should be placed approximately every 100' along the boulevard. Historic styled fixtures that include metal poles, double lamps, and designed to accommodate special events banners should be used as shown on the left. The addition of these lights will help to further unify Colorado Boulevard and will provide higher light levels to promote a safer feel and greatly enhance the pedestrian experience along Colorado Boulevard.



Specific Plan Area Streetlight



Standard Lighting For The Specific Plan Area



Lamanda Park Streetlight

Lamanda Park

The lighting selected for the Lamanda Park Area are historic fixtures similar to that which originally lined the streets of Lamanda Park as shown on the left. Its unique character and pedestrian oriented feel will help to establish the desired "town within a town" character of Lamanda Park. The pedestrian lamp posts should be colored red to match the street furniture proposed for the area.

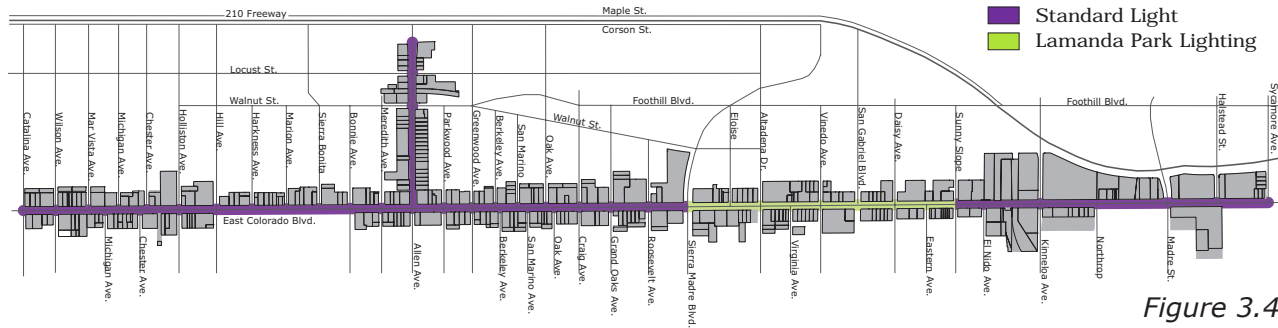


Figure 3.4

### D. STREET FURNISHINGS

Streetscape furnishings are elements to be incorporated into the public right-of-way to complement and enhance surrounding development and make the street comfortable for pedestrians. Such elements include street furniture, potted and container plantings, sidewalk and pedestrian amenities, and street trees. Streetscape improvements should be implemented as a cooperative effort between the City and private development. Street furnishings and pedestrian improvements planned along East Colorado Boulevard provide a unifying theme along the corridor. The only exceptions to the program is Lamanda Park where a different color of street furnishings will be provided to emphasize the desire to create a destination location that is a “town within a town”, and in the College District to match the attractive streetscape the college provides.

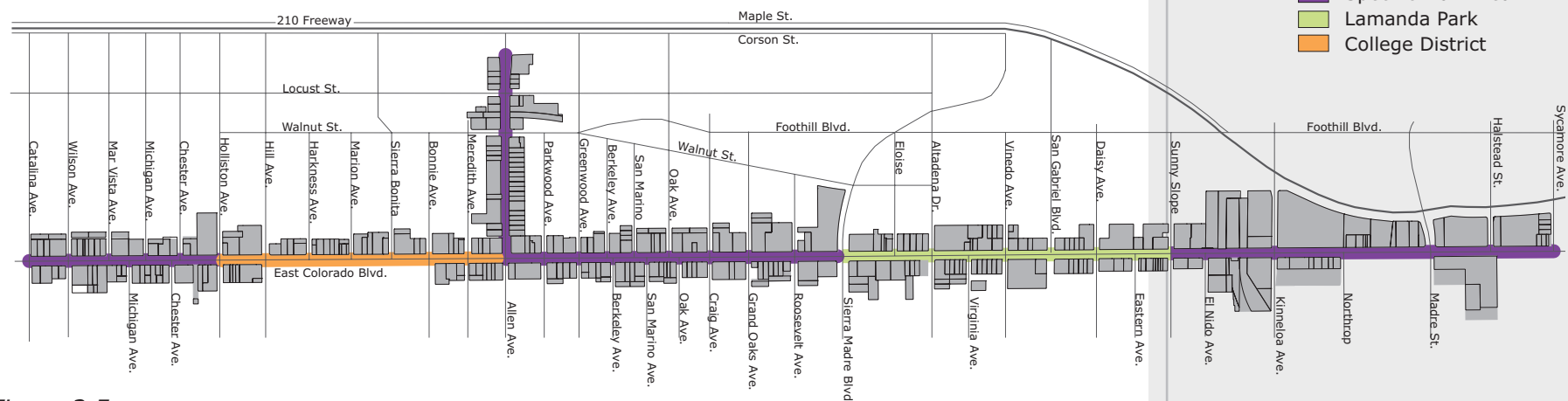


Figure 3.5

### **Benches and Trash Receptacles**



*Specific Plan Area Bench and Trash Can*

#### **Specific Plan Area**

A six-foot bench and trash receptacle should be placed approximately every 200 feet and should be clustered at transit stops and public plazas. As the existing benches and trash receptacles need replacing, they should be replaced with furnishings of the same iron style that is now being implemented in the Playhouse district and which are a part of the City's approved street furniture palette, or an appropriate alternate approved by the City of Pasadena Department of Public Works.



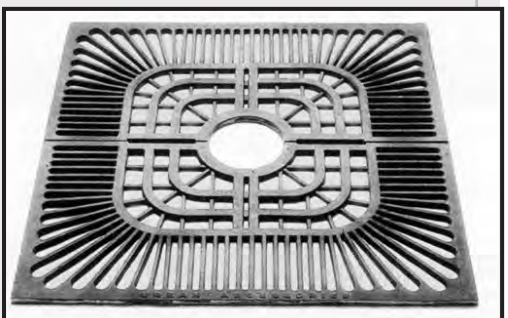
*Example of Trash Can and Bike Rack*

#### **Lamanda Park**

In an effort to create the unique and desirable character of Lamanda Park, street furnishings should be painted red within the area. Red six-foot benches and trash cans should be placed approximately every 200 feet and should be clustered at transit stops and in public plazas.

#### **Tree Grates**

The use of tree grates is strongly encouraged along heavily used pedestrian streets such as Colorado Boulevard and would be appropriate in any sub-area of the Specific Plan. Like benches and trash receptacles, grates in Lamanda Park and the College District should be painted to match the theme of that district (red in Lamanda Park, green in College District).



*Specific Plan Area Tree Grate*



## **Bike Racks**

Bike racks and lockers should be located near transit stops and employment centers and where required bicycle parking spaces shall be provided as required per city code. These amenities will encourage bicycle ridership and provide an attractive alternative to locking bicycles to trees and light poles. Bike racks are required for new development by the Pasadena zoning code.



*Specific Plan Area Bike Rack*

**Additional Site Furnishings**

Newspaper racks, drinking fountains, etc., should also be carefully located along East Colorado Boulevard and Allen Avenue in conjunction with key private developments. Drinking fountains should be located in public gathering areas. Waist-high safety bollards should be used to define public plazas and walkways developed through new construction projects or capital improvement projects. Properly placed, bollards can delineate between vehicle and pedestrian zones, creating a safe walking environment. Other street furniture (banners, telephone boxes, café tables and chairs, trash receptacles, container plants and colored pots, historical plaques, tables, informational displays, etc.) should be incorporated into streetscape improvements at appropriate locations. Locations shall be determined through public improvement design plans authorized through the capital improvement plan.

Some of the envisioned public improvements will require private property owner participation and/or cooperation at the time of redevelopment. Others can be simply implemented by the City as funding is secured and programmed as a part of the capital improvement program.



*Bollard examples*



*Bus shelter along Colorado Boulevard*



*Outdoor dining gives life to this street*



### Public Art

Public art is another way of adding to the vitality of the street scene. New public art should be developed in coordination with the City's "1% for the Arts" program and the Arts Commission.

Art is the evolving permanent record of what we hold important. Pasadena's Public Art Program is intended to reflect and communicate our values and enhance life in our community, create a more human city and act as a mechanism to enhance the commercial vitality and economic stability of the City. The private development public art mandate may be satisfied by developing public artwork or by financing cultural and artistic facilities or programs at or in the immediate vicinity of the site, or by depositing funding into the Cultural Trust Fund at the discretion of the Arts Commission. The City also maintains a commitment to incorporating public art and art in public places relating to City construction projects. Both programs promote the commissioning artists of the highest artistic merit, who are sensitive to the City's cultural diversity and can contribute to Pasadena's values. Other goals and objectives include:

- The encouragement of local artistic endeavors and support of local artists;
- The encouragement of public dialogue and interaction with art in public places, through appropriate education forums and public meetings and programs;
- The inclusion of broad range of works of art, reflective of the overall diversity of current works in the field of visual and performing arts;
- The commissioning of works of art varying in genre, style, scale, medium, form and intent, and reflective of trends and disciplines in art on a local, regional, national and international arts level;
- The broad distribution of commissions among artists;
- The broad geographic distribution of works of art in the City of Pasadena:
- The encouragement of design teams to include artists, architects, engineers, landscape architects and other public space and design professionals.

*East Colorado Blvd.*  
Specific Plan



*Public Art in a plaza*



*Public Art on a sidewalk*



Private developers must integrate an artist and art consultant during the project design phase to maximize opportunities for seamless integration of public art at the project site. The City's Arts Commission reviews each submission in a 2-phase format, both preliminary and final concepts are required for approval. Design Commission and Arts Commission reviews are closely linked in sequence to further promote artist involvement early on in the development of a project.

Pasadena's process for the development of City construction project generated public art works also requires a 2-step process of concept and final art plan approval. The community is well-integrated into the artist selection and project development process by the use of a peer-panel review system and on-going relationships that foster involvement and commitment both intellectual and financial. The Cultural Trust fund may be utilized to supplement these City construction public art works, offer funding for temporary or ephemeral art works or support special neighborhood art initiatives.

### **E. GATEWAYS AND SIGNAGE**

Gateways and signage help create an identity for the Specific Plan Area and to announce it as a special place within the City. Subtle yet classy entry monuments that reflect the character of the area should be constructed. Simple, low-level signage should reflect a Route 66 logo and provide a memorable entry to the area. The City should consider developing a common directional sign and specific plan area logo that could be accompanied by directional arrows and labeling to denote key shopping points and uses. Signs should be lighted, landscaped, and placed permanently at the back of the sidewalk or within raised medians.

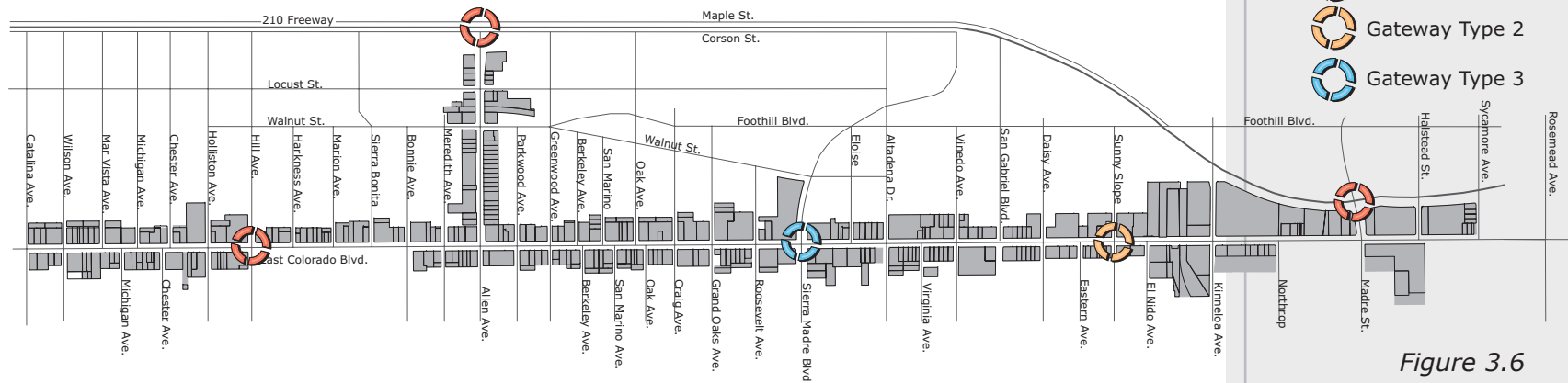


*Example of a gateway feature*

### **East Colorado Boulevard and Pasadena Gateways (Type 1)**

There are four locations for gateways into the Specific Plan Area. The primary entries into the area are located at the two Gold Line Stations at Allen Avenue and Madre Street/Sierra Madre Villa and at either end of the plan area along Colorado Boulevard.

Gateway locations should have a unique and easily identifiable scene with the city logo that includes specific landscaping, lighting and/or special signage. These entrances should give visitors and residents a feeling of what to expect within the specific plan area and be welcoming without being overstated.



## Lamanda Park Neighborhood Gateways (Type 2)

Neighborhood entry statements should be considered at Sunny Slope and Sierra Madre Boulevard as the street subtly transitions from the vehicle-oriented boulevard to the pedestrian oriented feel of Lamanda Park. Lamanda Park is a special place that could become the “hub” of the Specific Plan Area. It should have unique gateway signage to help to identify this individual character. An example of an entrance “arch” is provided above. Other entrance designs should be considered as a part of the streetscape improvement process. The City should cooperate with the Lamanda Park Merchants and Neighborhood Association on the gateway designs.

## Rose Parade Gateway (Type 3)

A second, special gateway opportunity exists at the western edge of Lamanda Park. At this point, westbound motorists enter route of the Rose Parade that has made Pasadena famous around the world. Thus, the gateway could announce entry to Lamanda Park on the west side of the gateway and the Rose Parade route on its east side.



Example of Lamanda Park Gateway



*A Route 66 logo should be incorporated into street furnishings and signage*

**Route 66 Signage**

Known as the "Main Street of America," Route 66 linked Chicago to Santa Monica through the posting of signs along existing roadways. The development of East Colorado Boulevard was greatly affected after 1940 when Route 66 was changed to enter Pasadena on the east at Colorado Boulevard, proceeded west on Colorado to Arroyo Parkway and then south on Arroyo Seco Parkway. During several of the public workshops, the significance of the Route 66 was clearly identified as a unifying and important element of the area. A number of opportunities exist to capture this unique feature of the project including the development of a sign or logo that is repeated along the boulevard, a Route 66 sign that is painted directly on the street or sidewalk every 200 feet, the placement of additional federal Route 66 signage, or unique street sign that incorporates a Route 66 logo.



*Pavement stencils such as this help promote the Specific Plan theme*



*Banners add color and vibrancy to the street*



*Banners help to accentuate this streetscape*

**Banners**

Banners are an immediate and inexpensive way to promote the individuality of a sub-area like Lamanda Park or the College District, and they accentuate the historic Route 66 theme. They enhance the aesthetic environment, unify the appearance of the streetscape, introduce color and a sense of excitement to an area, provide an opportunity to communicate and promote cultural and civic events, and provide an alternative to typical seasonal displays. Banners attached to existing street lamps should be considered along East Colorado Boulevard.



### F. KEY INTERSECTIONS

Key intersections, because of their high visibility and substantial vehicular and pedestrian interaction, play a vital role in corridor beautification. Due to their function as traffic controlling devices and pedestrian circulation nodes, they potentially have the highest visual impact on passing or stopped motorists. Intersections also provide the greatest opportunity to visually enhance the roadway corridors with crosswalk improvements, landscape plantings and pedestrian-friendly circulation components.

There are several intersections within the Specific Plan area that stand out as opportunities to beautify and claim as unique places. These intersections are large with multiple lane thoroughfares requiring motorists and pedestrians alike to wait. Pedestrians have to cross over several lanes of traffic in order to get across the Boulevard. The following techniques should be implemented to beautify the intersections and create a more pedestrian-friendly environment.

- Accent paving at crosswalks and at corners
- Additional landscaping and street trees at the corners (With awareness to sight distances)
- Opportunity to place directional and Route 66 signage
- Reduce visual clutter of excessive signage
- Implement City policy of undergrounding utility wires

#### **Key intersections Located At East Colorado Boulevard and :**

- Hill Avenue
- Allen Avenue
- Sierra Madre Boulevard
- Sunny Slope
- Madre Street



Figure 3.3

### G. ACTIVITIES, EVENTS AND PROMOTIONS

In an effort to construct the public right-of-way improvements to achieve a cohesive appearance and maintain the Specific Plan Area, joint participation between private property owners and the City will be required. Some of the beautification efforts can be simply implemented by the City as funding is secured. Cooperation and participation by individual property owners, merchants, special interest groups, and others will be required with the future development of properties.



*Interactive water fountains help to create attractive venues*

- The East Colorado Boulevard Area should seek to establish its own identity through the creation of a logo theme such as a Route 66 logo and development of a program of frequent activities tied to that theme. The implementation of Merchants and/or Business Improvement Associations and/or Business Improvement Districts should be pursued. A group already exists in the Lamanda Park area, and others may be interested in forming. The City will take an active role in the support and promotion of such groups throughout the Plan area. Refer to the implementation section for more recommendations.
- The City, Chamber of Commerce, and a Merchants Association should sponsor and encourage street fairs, car shows, parades, festivals, events, and other activities in the Specific Plan Area. Development of urban park space and a community center in the Lamanda Park sub area will assist by creating an attractive venue.
- Continued citywide and regional promotions of the Specific Plan Area as a historic and cultural center should be encouraged.
- The City should consider working with Caltrans to pursue historic Route 66 signage on Foothill Freeway to increase regional attraction and tourism.



### H. PARKS, PLAZAS, AND PUBLIC SPACES

#### Parks

A small urban park should be located in the Lamanda Park sub-area in proximity to public and semi-public uses such as a community center, post office public parking lot etc.

The park should have a combination of features such as: green space, trees, benches, gathering areas for small outdoor events, pedestrian scale lights, trash receptacles, public art, fountain, bird bath, and other urban furnishings consistent with Lamanda Park.

#### Plazas

Throughout the specific plan, small patios and plazas should be located in street set-back areas adjacent to building entrances and key corner locations. These public gathering areas will serve to establish a sense of place and identity and provide space for private outdoor dining and street side entertainment. Features should include public art, fountains, special paving, seating, decorative lights, landscaping etc.

Private plazas should be encouraged in new development proposals. The specific design should create a balanced transfer from the public street realm to the private development. Appropriate planning and design review should ensure consistency with the Specific Plan directives.

#### East Colorado Blvd. Specific Plan



*Public plaza with water fountain*



*A creative combination of a ramp and plaza space*



*Water fountain and outdoor dining*

## **CHAPTER FOUR**

### **MOBILITY**

This section of the Specific Plan discusses the role of mobility to support the vision and goals for the planning area. First, a description of planning area opportunities as they relate to transit and circulation opportunities is presented in the background. Issues such as focused or “nodal” development, streetscape beautification, mixes of land uses in dividing residential in transit and key sub areas, and the pedestrian orientation of the urban environment are discussed. This chapter also presents potential traffic impacts as they relate to plan proposals, bicycle and public transit recommendations, pedestrian oriented improvements and recommendations for parking improvements.

The Specific Plan recognizes that automobiles are a central aspect of most peoples lives, and that the car is still the first mobility choice of the vast majority of visitors to the Specific Plan area. Nevertheless, the Mobility element is also intended to ensure that the Specific Plan area becomes a portion of the city with an active, engaged, human-oriented streetscape, where the car is not viewed as the only mode of travel for the people who live, work, shop, and play here.

#### **A. BACKGROUND**

##### **The Transitioning Boulevard**

The provision of mobility has historically been the core function of East Colorado Boulevard. Colorado Boulevard, part of the former national highway (US Highway 66) is now superseded in regional significance by the Foothill Freeway (I-210) to the north. Along with Lake Avenue, Colorado Boulevard continues to represent a main commercial corridor within the City of Pasadena.

*East Colorado Blvd.*  
*Specific Plan*



Colorado Boulevard serves as an arterial, a connector of residential and commercial neighborhoods, a source of on-street parking for businesses, an annual parade route (west of Sierra Madre Boulevard), and occasionally serves as a local alternate to the I-210 freeway.

The continued liberal use of the automobile as a mode of travel has created extended peak congestion periods, regional congestion, and both perceived and real parking supply shortages. Since the Intermodal Surface Transportation Efficiency Act (ISTEA) of 1992, transportation legislation and public infrastructure funding now concentrate on a diverse mix of transportation options that include pedestrians, bicyclists, transit users, the disabled, and students. Mobility enhancements and improvements that treat the East Colorado Boulevard corridor as a linear highway would do an injustice to this movement, which seeks to humanize the scale of travel modes and urban spaces.

The development of the Gold Line light rail near the Specific Plan area will be a backbone for continued change toward multi-modal travel in both Pasadena and the local region. The line will connect East Pasadena, the Lake Avenue corridor, Old Pasadena, and communities to the south. The southern terminus of the line will be the Los Angeles Union Passenger Terminal, with a pending extension from that point to East Los Angeles. An eastward extension from the Pasadena terminus to Claremont is currently being studied as the Gold Line Phase II.

### **Humanizing the Boulevard**

Providing for the mobility functions of the Boulevard, while acknowledging that pedestrian and bicyclist needs must take higher precedence than in the past, creates a set of challenges. Overcoming these challenges will ideally result in a higher level of synergy along the East Colorado Boulevard corridor. This Mobility Element recognizes the City of Pasadena's General Plan Mobility Element, its Bicycle Master Plan, and one of its seven guiding principles: "Pasadena shall be a place where people can circulate without cars." This adopted principle supports the City's evolving Area Rapid Transit Service (ARTS), as a viable alternative to the automobile for many neighborhoods within Pasadena. The



principle also supports the active encouragement, promotion, and investment in various non-auto transportation options.

### **B. CREATING MOBILITY IMPROVEMENTS THROUGH "NODAL" DEVELOPMENT PATTERNS**

The approach to mobility solutions taken in this document includes the concentration of activity and development at selected "human-scale" nodes along the Boulevard, and the creation of modal links between the nodes. Links between both neighborhood nodes and the planned Gold Line stations are important to the success of the mobility ideals of this chapter. Through this approach, the synergy between pedestrians, bicycle and transit users, and businesses can be achieved.

#### **Neighborhood Nodes**

This Mobility chapter defines the following transit nodes and pedestrian areas within the East Colorado Boulevard corridor:

- Hill Avenue / East Colorado Boulevard: Adjacent to Pasadena City College, this intersection can become a more prominent pedestrian node.
- Allen Avenue / East Colorado Boulevard: Allen Avenue will provide direct access between the Gold Line on the I-210 freeway and Colorado Boulevard. This intersection can become both a transit hub and a pedestrian node.
- Lamanda Park Neighborhood: This neighborhood stands out as a location that is already greatly oriented to pedestrians. The predominance of storefronts and human-scale development reinforces this neighborhood aspect.

*East Colorado Blvd.*  
*Specific Plan*



- Avenue / East Colorado Boulevard: This gateway into the core of East Colorado Boulevard is also a transition point from the auto-oriented uses to the east, and the pedestrian oriented Lamanda park neighborhood to the west.
- Allen Avenue / I-210 Gold Line Station: The pedestrian orientation of this station will need to be promoted, as no major park-and-ride lots are planned for the immediate area. A pedestrian stairway and elevator will have access to Allen Avenue on the west side of the underpass.
- Sierra Madre Villa / I-210 Gold Line Station: This eastern terminus of the Gold Line Phase I will have a significant park-and-ride facility (1000+ spaces) and an overhead pedestrian link via a bridge from the north side of the freeway. The City of Pasadena has funded, and is currently planning, an additional pedestrian link from the area south of the station site. This plan strongly encourages this link.

The streetscape design elements recommended within this Specific Plan document assist in bringing the ideals of this Mobility chapter to fruition. Not only can the streetscape improvements have a significant aesthetic benefit, they can also provide traffic calming functions, improved pedestrian safety, and a sense of place for the surrounding community. It is the goal of implementation of these design elements to create people-centered places, rather than auto-centered ones.

The sections that follow provide recommendations for improvements in the areas of off-street parking, on-street bicycle lanes, pedestrian areas/ nodes, and rail/ transit links.

### C. FUTURE TRAFFIC GROWTH

The intensification of uses proposed under the Specific Plan are not anticipated to significantly affect the Level of Service (LOS) of intersections within the Specific Plan area. A traffic study conducted for the Specific Plan area examined average vehicle delay at intersections within the Plan area. The study has concluded that adequate intersection capacity remains for traffic generated by the planned intensification of land use within the Plan area.

This section provides an operational analysis of the study area intersections that are operating at LOS 'C' under (Year 2001) conditions. Other study area intersections are operating at LOS 'A' to LOS 'B' under existing conditions. Under the traffic analysis conducted for existing conditions at the ten study area intersections, no intersections were determined to be operating at an LOS worse than 'C'.

Proposed Specific Plan guidelines assume a certain level of growth based upon higher Floor Area Ratios (FARs) within the Specific Plan area. These increases in FAR are based upon General Plan building caps and a Market Demand Analysis produced as part of the Specific Plan project. The change in FAR for most individual neighborhoods within the Specific Plan area ranged from 25% to 66%, for future conditions versus existing land uses. These increases were assumed to create a roughly proportional increase in traffic levels, distributed on the major roadways from each neighborhood.

Trip generation rates were applied to the floor area numbers, and distributed to the study area intersections. After traffic distribution assumptions were applied, the traffic increases assumed to compute future average delay at each study area intersection ranged in value from 6.0% to 12.3%. Resulting changes in LOS at each study intersection was then estimated, based upon the percentage increase in total intersection traffic. Refer to the Level of Service Graphics in Chapter 2, Figures 2.8 and 2.9.

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**Table 1** provides information on those study area intersections currently operating at LOS 'C', and their potential to operate at unacceptable LOS with the intensification of land uses proposed in the Specific Plan. Also provided in the table is the increase in delay that each intersection could experience before the resulting LOS would be unacceptable, according to City of Pasadena traffic guidelines. Unacceptable intersection LOS has been defined by the City of Pasadena as 'E' or 'F.' Based on estimated average delay, no intersection within the Specific Plan area would operate at unacceptable LOS after implementation of the Specific Plan guidelines and all of the intersections, with the exception of Hill Ave. and Colorado during AM peak period, will operate at the same LOS with a maximum increase in delay of 2.3 seconds. The Hill Ave. and Colorado intersection will increase to a LOS 'B' with a 1-2 second increase in delay.

Table 1: Estimated Traffic Impacts of Land Use Intensification						
Intersections at LOS 'C' under Existing (year 2001) Conditions	AM Peak Period			PM Peak Period		
	Existing Delay / LOS	Maximum Acceptable Delay Increase*	Estimated Future Delay / LOS **	Existing Delay / LOS	Maximum Acceptable Delay Increase*	Estimated Future Delay / LOS **
Colorado Blvd. / Hill Avenue	9.7 / A	45.4 sec.	10.9 / B	21.7 / C	33.4 sec.	24.0 / C
Colorado Blvd. / Sierra Madre Villa Avenue/ Madre St.	20.9 / C	34.2 sec.	22.5 / C	24.0 / C	31.1 sec.	25.6 / C
Allen Avenue / Walnut Street	14.3 / B	40.8 sec.	15.2 / B	21.7 / C	33.4 sec.	23.0 / C

*LOS = Level of Service, within an A-F scale. 'A' is best (free-flow conditions), 'F' is worst (extreme delay).*

*Delay is provided in seconds.*

*\* Represents the number of additional seconds of average vehicle delay that would cause an unacceptable LOS of 'E'.*

*\*\* Represents estimated conditions, based upon estimated development demand in Market Demand Analysis, and caps established in General Plan.*

*Delay estimated from higher Floor Area Ratio (FAR) assumed from the Market Demand Analysis and resulting future land use scenarios.*

*Source: Kimley-Horn and Associates, Inc.*

### D. COMMUNITY TRANSIT ROUTES

#### Current Transit Services in Area

The East Colorado Boulevard corridor is currently served by regional bus lines such as Foothill Transit and the Los Angeles County Metropolitan Transportation Authority (MTA). Foothill Transit's Line 187 serves the entire corridor at 15-minute intervals during peak periods. Unfortunately, fares are based on regional trips for these bus lines (one-way fares of \$0.90 to \$1.35). Off-peak and evening services are commonly reduced to 30-minute or 60-minute frequency. A new community shuttle, perhaps as part of the ARTS, for the Specific Plan area could remove many of these service gaps, and provide a more reasonable fare for purely local trips within the East Colorado Boulevard corridor.

The addition of a community shuttle route to the corridor could create additional competition for curb space at existing bus stops and could create the need for more on-street spots to accommodate the additional transit vehicles. Ideally, some existing fixed-route service would be re-routed to remove duplication of service.

The City of Pasadena implemented new Area Rapid Transit System (ARTS) routes in March of 2002. These new routes provide improved connections between the Central Business District, neighborhoods to the north of the I-210, and the campuses and nearby neighborhoods of Pasadena City College and Caltech. The following are the new routes:

- Route 31/32: A crosstown route on Washington Boulevard, north of the I-210, connects the northern neighborhoods of Pasadena, and the Hastings Ranch commercial centers near Rosemead Boulevard and the I-210 freeway.
- Route 40: A second northern route connects the Central Business District to Hastings Ranch via Villa Avenue and Orange Grove Avenue.
- Route 20: A two-way loop route travels along Fair Oaks Avenue, Marengo Avenue, California Boulevard, Lake Avenue, and various connecting streets.

*East Colorado Blvd.*  
Specific Plan



- Route 10: A corridor route travels along Colorado Boulevard and Green Street, between Hill Avenue and Orange Grove Boulevard.

Within the Specific Plan area, these improvements provide a direct local route between the Central District and Pasadena City College. These route improvements, however, do not provide access to the East Colorado Boulevard corridor, east of Hill Avenue. An extension of the ARTS route that serves the City College further into the Specific Plan area should be studied in greater detail. Such an extension could be provided via new alternate trips from the existing line.

The next section discusses potential transit improvements along East Colorado Boulevard that would provide direct connections between the Central District, East Colorado Boulevard, and the pending Gold Line stations.

### **Gold Line Interfaces**

The two Gold Line stations within the East Colorado Boulevard corridor are currently under construction. Descriptions of each station location follow:

Allen Avenue / I-210 Gold Line Station: This rail interface will be very pedestrian-oriented, as no major park-and-ride lots are planned for the area. Transit links from Colorado Boulevard should be afforded space to drop off and pick up passengers at a safe point underneath the I-210 underpass, to reach the station stairway on the west side of Allen Avenue.

Sierra Madre Villa / I-210 Gold Line Station: This eastern terminus of the Gold Line Phase I will have a significant park-and-ride facility (1000+ spaces) and an overhead pedestrian link via a bridge from the north side of the freeway. A new commercial/ office development will be built with the park-and-ride facility, and both projects are being built to the north of this station.



The City of Pasadena has committed funding for an additional access point to the Sierra Madre Villa station, which would connect the south side of the freeway to the station area. This improvement provides improved access to the station from the East Colorado Boulevard corridor, and provides an opportunity to create more transit-supportive development in the immediate area.

Proper design of the Gold Line station and related street amenities will assist in the mobility goals of the Specific Plan area. All new developments within a ¼-mile walking distance of station entrance points should be encouraged by the City to be as transit-friendly as possible. On-site pedestrian connections should provide direct links between the sidewalk and major building access points. Bicycle racks and lockers should also be provided, along with transit information.

### **Potential Future ARTS Improvements**

Future improvements to the ARTS system should provide connections to major points along East Colorado Boulevard, east of Hill Avenue. These connections should continue eastward to the commercial areas near Rosemead Boulevard and Colorado Boulevard. Connections should be considered to Hastings Ranch, north of the I-210 near Rosemead Boulevard. Some improvement could be realized by providing alternate trips (every other trip, as an example) from the current ARTS service at Pasadena City College.

The Gold Line stations at Allen Avenue / I-210 and Sierra Madre Villa Ave. / I-210 should be included as high-priority connections within the ARTS network. These connections would provide crucial links between the regional rail system and businesses and nearby communities along East Colorado Boulevard. This provision of access would increase mobility options within the corridor, and possibly ease demand for on-street and off-street parking.

Although very useful in the sense of connectivity, the addition of transit connections to the Gold Line stations at Allen Avenue and Sierra Madre Villa Avenue would compromise the travel times of new services along East Colorado Boulevard. This could remove some of the appeal of the service as an alternative to the automobile. However, if adequate



turnaround locations were found near the two stations, these connections could serve as valuable connections to and from East Colorado Boulevard. Parking requirements at the two stations could also be reduced, requiring less encroachment of station parking facilities into adjacent neighborhoods.

**Figure 4.1** illustrates a possible route for a new community-based transit route that would serve the major neighborhoods of the Specific Plan area. Connections between Colorado Boulevard and the Gold Line stations could either be provided as part of regular trips, or could be included via selected trips or a peak-period service.

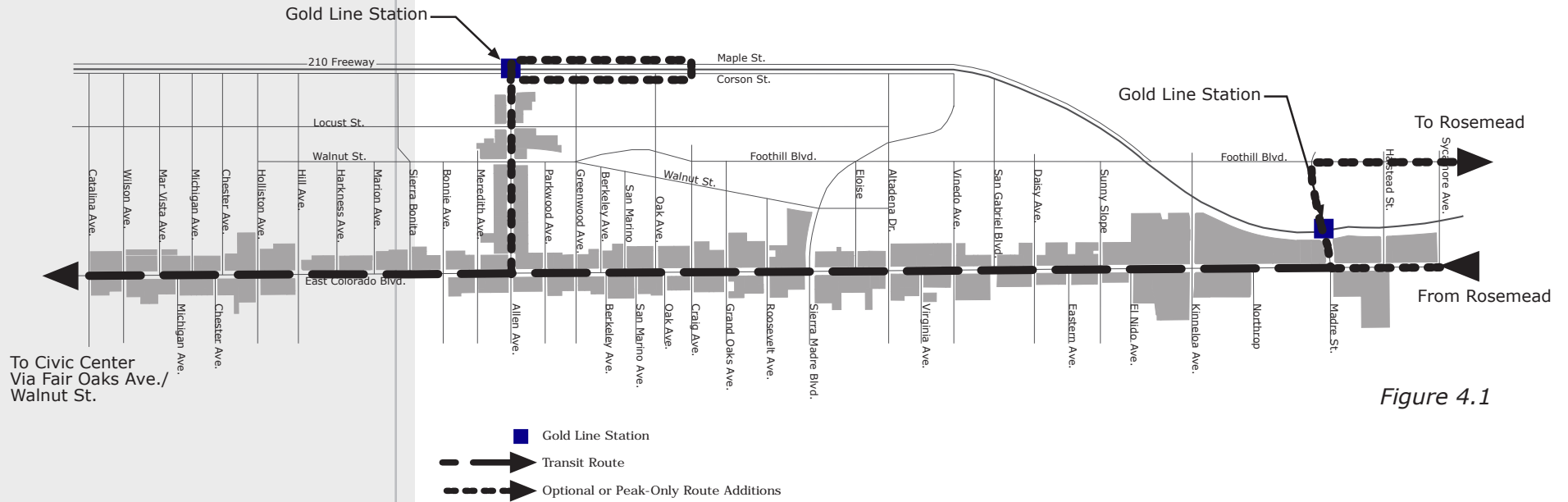


Figure 4.1

# EAST COLORADO BLVD.

## E. BICYCLE LANE FACILITIES

Ideally, bicycle circulation within the Specific Plan area would include Class II (striped) bike lanes on one or more major east-west streets, with connections to Pasadena City College, Caltech, and the Gold Line stations. Establishing such a system is important to achieving a lowered auto-dependency for trips made within the Specific Plan area. However; it must be noted that the provision of bicycle lanes will have implications on the use of the right-of-way within the Plan area, and these implications are described in this section. This section also provides an overview of the bike facilities recommended within the Specific Plan area.

### Infrastructure Recommendations

The City of Pasadena's Bicycle Master Plan, adopted in November of 2000, designates five north-south streets as "first priority" for implementation of bicycle lanes. Colorado Boulevard is the only east-west roadway with the same designation. The Plan's purpose is to provide heightened safety, both real and perceived, for bicyclists who wish to access local businesses and traverse the City via bicycle.

Specific infrastructure mandated in the Bicycle Master Plan should be implemented at all major intersections in the Specific Plan area. This includes bicycle-oriented crossing buttons and signal detectors/ actuators that are bicycle-specific.

Bicycle parking and handling facilities should be implemented as part of streetscape improvements, and as part of new projects in the Specific Plan area. The Provision of Bike Parking can help to avoid the parking of bicycles in sidewalk areas and at parking meters, street light poles, or road signs.

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Specific Plan



## Bicycle Lane Recommendations

During design and implementation of these recommendations, the need for a multi-modal mix of trips within the Specific Plan area should be acknowledged. Formalized (striped) bicycle lanes are referred to as Class II facilities by Caltrans. Such facilities require five feet of roadway width for each bicycle lane, and therefore 10 feet of dedicated right-of-way for a two-way street. Pedestrian activity and adequate on and off-street parking supplies are both crucial to the success of Specific Plan implementation. Many of the small businesses along East Colorado Boulevard are in older commercial buildings that were not originally built with much off-street parking. As a result, on-street parking is important to these businesses. Therefore, adequate sidewalk width, on-street parking, and on-street bicycle facilities should all be provided where feasible, within the current allotted right-of-way.

Another option is bicycle routes, which are streets posted with signs signifying an official route. These are referred to as Class III facilities.

**Figure 2.6** in Chapter II illustrates existing cross-sectional widths of roadways within and near the Specific Plan area.

**Figure 4.2** in Chapter IV illustrates potential bicycle routes for implementation within and near the Specific Plan area, as well as some potential alternative routes.

The following locations are recommended for bicycle route or lane implementation if determined to be feasible by the City. Development of complementary bicycle corridors within or near the Specific Plan area are also included, to link adjacent neighborhoods and provide alternate routes to Colorado Boulevard.

Colorado Blvd. Main Segments: This roadway has two distinct segments within the Specific Plan area:

- West of Sierra Madre Boulevard, Colorado Boulevard is a four-lane facility with a striped center median. The median is utilized as a continuous left-turn lane in some segments, and in others is striped as a median with occasional left turn cut-outs. On-street parking is provided.



In this area, the right-of-way varies between 68' to 72' in width. In all areas within this segment lane width reductions, median width reductions, modifications to parking and/ or sidewalk width may need to be made to accommodate a Class II bike lane. A Class III bike route may be more easily created due to the existing street widths.

- East of Sierra Madre Boulevard, Colorado Boulevard is a four-lane facility with raised medians. East of Lamanda Park, the median is not raised but is striped as a continuous left turn lane with occasional striped left turn pockets. On-street parking is provided.

In this segment, the right-of-way varies between 72' to 75' in width. Modifications to the existing medians, travel lanes, and sidewalk widths may be needed to accommodate Class II bike lanes. A Class III bike route may be more easily created due to the existing street widths.

Allen Avenue, Colorado Blvd. to Walnut Street: This segment of Allen Avenue lies to the north of Colorado Boulevard.

- This segment would provide connections between Colorado Blvd. and the future Gold Line station at the Allen Avenue underpass at the I-210 freeway. Typical roadway configuration of Allen Avenue within this segment include off-peak, on-street parking and a striped center line (no median).

In this segment, the limited right-of-way of 40' in width and traffic demand for four lanes may make it difficult to accommodate bike facilities on the street.

### Alternate Corridors

The following paragraphs describe roadways that have been considered for accommodation of new bicycle lanes, although they are not recommended bicycle lane corridors. They are not recommended due to short lengths and other connectivity issues, narrow widths, and long distances from Colorado Blvd. Nevertheless, this analysis has been included within the Plan to provide a range of options. It is assumed that traffic lanes are 10 to 12 feet in width, and that parking lanes are 8 feet in width. The Caltrans standard minimum width of five feet for Class II (striped) bicycle lanes has been utilized for estimating purposes.

Walnut Street, west of Greenwood Avenue: The typical cross-section of this roadway, west of its junction with Foothill Boulevard at Greenwood Avenue, provides for four travel lanes, and parking on one or both sides of the street. Walnut Street (near Holliston Avenue) is approximately 56 feet in width. The provision of four travel lanes and the parking area does not leave additional roadway width for bicycle lanes. A reconstruction of the street with 10-foot lanes and no on-street parking could accommodate two four-foot bicycle lanes. Although parking would be lost, bicycle lanes could be accommodated within this roadway width.

- Gold Line Station
- - - Preferred Routes
- - - Alternate East-West Route Examined
- - - North-South Connections Examined

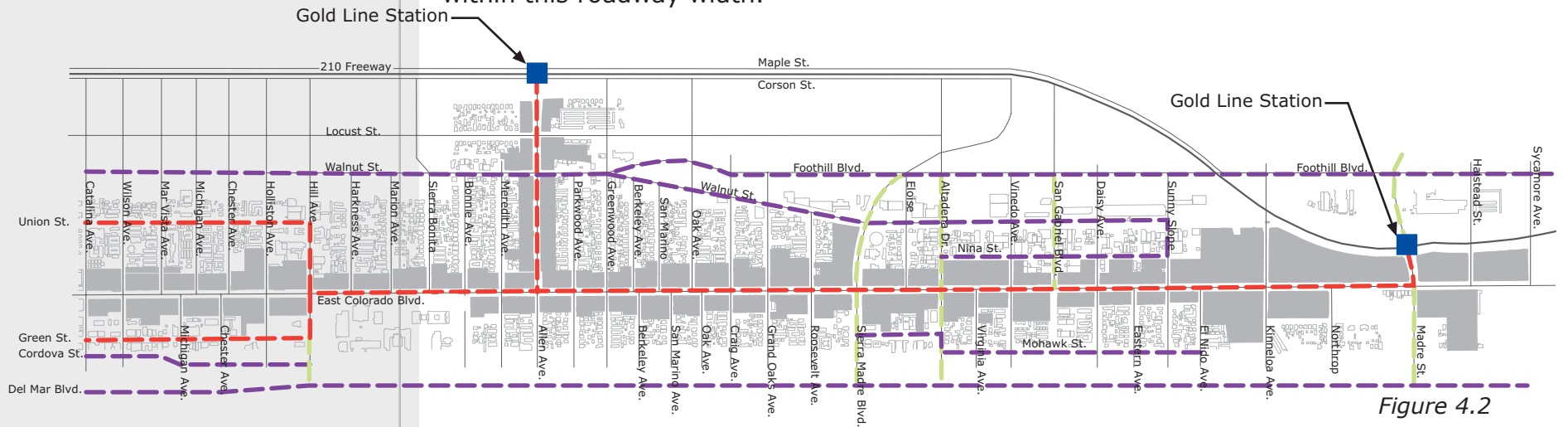


Figure 4.2

EAST COLORADO BLVD.



Walnut Street, east of Greenwood Avenue: The typical cross-section of this roadway, east of its junction with Foothill Boulevard at Greenwood Avenue, provides for two travel lanes, and parking on one side of the street. Walnut Street (near San Gabriel Avenue) is approximately 30 feet in width. The provision of two travel lanes and the parking area does not leave additional roadway width for bicycle lanes. Therefore, bicycle lanes on this roadway are classified as “infeasible.”

Foothill Boulevard: The typical cross-section of this roadway provides for four travel lanes, and parking (restricted in some locations) on both sides of the street. Foothill Boulevard (near San Gabriel Boulevard) is approximately 64 feet in width. The provision of four travel lanes and parking areas does not leave additional roadway width for bicycle lanes. A reconstruction of the street with parking on one side of the street could accommodate two four-foot bicycle lanes. Bicycle lanes could be accommodated within this roadway width, but parking would be lost.

Nina Street: The typical cross-section of this roadway provides for two travel lanes, and parking on both sides of the street. Nina Street (near San Gabriel Boulevard) is approximately 40 feet in width. The provision of two travel lanes and parking areas leaves adequate width for two bicycle lanes. Bicycle lanes could be accommodated on this street, but with a loss of parking on one side. It is assumed that such a reconstruction would be inappropriate for this street, due to its relatively short length (½-mile).

Mohawk Street: The typical cross-section of this roadway provides for two travel lanes, and parking on both sides of the street. Mohawk Street (near Altadena Drive) is approximately 48 feet in width. The provision of two travel lanes and parking areas does not leave additional roadway width for bicycle lanes. Bicycle lanes could be accommodated on this street, but the roadway is less than ¼-mile in length.

Morningside Street: The typical cross-section of this roadway provides for two travel lanes and parking on both sides of the street. Morningside Street (near San Gabriel Boulevard) is approximately 30 feet in width. The current two travel lanes and parking on both sides of the street within this width is provided at substandard lane widths. Bicycle lanes could not be accommodated on this street due to its minimal width.

Del Mar Boulevard: The typical cross-section of this roadway provides for two travel lanes, and peak parking restrictions on one or both sides of the street. Del Mar Boulevard is approximately 60 feet in width. This width is the same at two separate ends of Del Mar Boulevard -near Holliston Avenue and also near Virginia Avenue. The current provision of four travel lanes with off-peak parking leaves little additional roadway width for bicycle lanes. Bicycle lanes could be accommodated on this street, but only with removal of parking, on one side of the street. Del Mar Boulevard provides access throughout the area, making the roadway a good candidate for further study of bicycle lane provisions. The distance from Colorado Boulevard is somewhat prohibitive for effective connectivity. As a nearby roadway, Cordova Street was also considered for alternate access to the East Colorado Boulevard area, but the roadway does not continue east of Hill Avenue.



### **F. CORRIDOR PEDESTRIAN NODES**

In order to encourage trips into and out of the Specific Plan area via the Gold Line, ARTS buses, and other local transit options, development and streetscapes within the area should have a predominant pedestrian-oriented design.

In areas where potential pedestrian activity exists, or can exist in the future, investments in human-scale elements will help to promote synergy between pedestrians and nearby retail and service uses. Potential improvements to create a pedestrian area include the following:

- Providing curb bulb-outs for pedestrians at street crossings, where allowed by roadway lane configurations. Such improvements improve sight distance for pedestrians, improve the visibility of pedestrians by drivers, and provide for shorter crossing distances. However, bulb-outs must be designed with the safety of both pedestrian and motorist in mind and must include proper placing to facilitate adequate drainage.
- Provide clusters of street furniture (seating/ benches, shade structures, drinking fountains, community information kiosks, etc.) at nodes and at mid-points between nodes, as rest points for pedestrians. The street furniture can be designed to discourage use by transients.
- Security call boxes could be provided at regular intervals, to provide a heightened perception of safety by those not accustomed to the area.
- Easy-to-use crosswalk push buttons, well-marked crosswalks (with “piano” or “zebra” striping) should be utilized to make pedestrians feel more at ease when crossing the street.

*East Colorado Blvd.*  
Specific Plan



The following are key nodes in the Specific Plan area where such pedestrian-orientation should be emphasized, both in streetscapes and adjacent developments:

Hill Avenue / East Colorado Boulevard: Adjacent to Pasadena City College, this intersection can become a more prominent pedestrian node. Bus stop areas should be prominently integrated with sidewalk areas via curb cut-outs, human-scale and inviting shelters and seating, and transit information kiosks. Crosswalk areas should be flanked by bulb-outs where feasible, and crosswalk areas should receive special paving treatments or prominent striping (such as “zebra” or “piano” patterns).

Allen Avenue / East Colorado Boulevard: Allen Avenue will provide direct access between the Gold Line on the I-210 freeway and Colorado Boulevard. This intersection can become both a transit hub and a pedestrian node. It is likely that regional transit riders could desire an additional connection (via a future ARTS line or a similar neighborhood-oriented route) from this location to reach the Gold Line station, although the station lies within walking distance of the intersection.

Madre Street / East Colorado Boulevard: Madre Street provides a second access point to the Gold Line. The addition of future transit lines that provide access between this intersection and the Gold Line will create a transit hub here. Many passengers on regional transit lines would walk between the Sierra Madre Villa Gold Line Station and this point. Prominent treatments should be given to street furniture at transit stops, and crosswalks areas should contain special paving treatments or striping.

Sunnyslope Avenue / East Colorado Boulevard: This gateway into the core of East Colorado Boulevard is also a transition point from the auto-oriented uses to the east, and the pedestrian oriented Lamanda park neighborhood to the west. Proper pedestrian and street configuration treatments (such as slightly wider sidewalks around the base of the entrance structure) at this location will slow traffic slightly, and help to define the area to the west as a pedestrian-oriented area.



## G. PARKING

Perhaps the greatest challenge to redevelopment and/or the intensification of properties within the Specific Plan Area is the ability to provide adequate parking for new uses. Due to the built-out nature of the Specific Plan Area, additional development capacity is restricted physically by the ability to provide and acquire on-site parking.

The intensification of use in many of the East Colorado Boulevard neighborhoods will most likely create increased demand for off-street parking, and potentially create an overflow of parking demand into adjacent residential areas. To avoid this scenario, it is envisioned that centralized off-street parking lots would need to be developed in selected locations within the Specific Plan area.

The Specific Plan area's mode split appears to be highly oriented to trips by single-occupant vehicle. This aspect, typical of street-oriented and auto-oriented development, obviously creates a high demand for both on-street and off-street parking spaces. It is envisioned that the implementation of design guidelines from this Specific Plan, which promote pedestrian-friendly and transit-friendly streetscapes and development, will cause a gradual transition to a "park-once/ walk-many" environment. This would

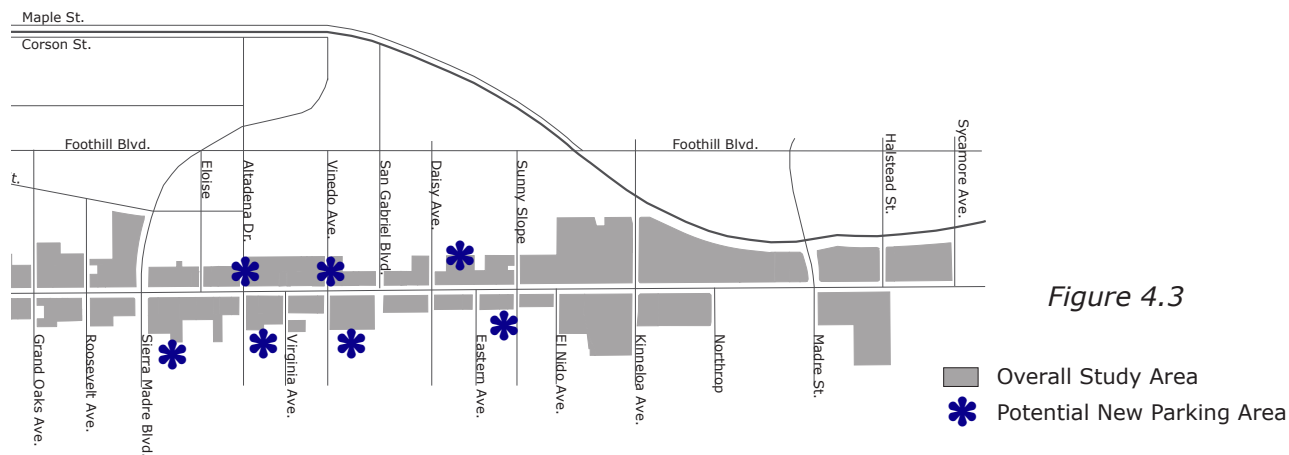


Figure 4.3

be in stark contrast to the current pattern, where many customers park at one business then take a short car trip to the next business. Proper design and promotion of the local ARTS buses could promote the arrival of customers by bus, and bicycle/ pedestrian travel to each business.

In concert with pedestrian-centered improvements, the provision of parking areas must continue in order to provide for all modal types of trips. The types of commercial development along East Colorado Boulevard have varying demands on parking supplies (depending upon off-street parking provision, on-street availability, etc.). Therefore, different commercial neighborhoods need different types and magnitude of parking improvements. This section provides a discussion of potential parking improvements for specific sub-areas within the Specific Plan, which include the implementation of new off-street parking areas in a number of commercial locations. The following sub-sections provide recommendations that are specific to each neighborhood.

### **Block-Level Vehicle Circulation**

In areas where pedestrian streetscapes and site design will be promoted, it will be desirable to provide buffers between pedestrians and traffic as much as possible. Buffers can include low-profile elements such as bollards near the curb, or additional parkway/ tree well landscaping. A consistent layout of on-street parking also helps to create visual separation between roadway traffic and sidewalk areas. Properly-designed buffers provide a perceived feeling of safety by pedestrians, and help to define crosswalk and outside seating areas.

Access to new parking areas will have to be designed carefully, so that traffic destined for centralized parking lots does not conflict with pedestrian traffic on East Colorado. This could be the case if a single parking garage were to serve a large area, and a significant proportion of traffic to and from that garage were to cross a single crosswalk at East Colorado Boulevard. This traffic should also be routed onto East Colorado Boulevard and major north-south streets by a signage program, so that undue incursions into nearby residential neighborhoods do not occur.



Alleys, although not as predominant along East Colorado Boulevard as in Old Town Pasadena, should be dedicated and extended with proper site planning for new development. Alleys can provide additional access routes to both on-site and centralized public parking lots.

## **Parking Improvement Tools**

### **Parking Overlay Zones**

The underlying tool for the establishment of off-street parking facilities exists along East Colorado Boulevard. The current adopted zoning map for the area designates many of the parcels that lie directly behind the main Colorado Boulevard commercial parcels as parking overlay zones. A "PK" zone designation is allowed by Chapter 17.56 of the Pasadena Municipal Code. This parking overlay district allows development of parking facilities within residential areas that would serve adjacent and nearby commercial, industrial, or public and semi-public uses. The development of parking structures or surface lots within this zone is subject to regulations through conditional use permits which would minimize adverse impacts on adjoining residential areas.

It has been determined by the City of Pasadena that the parking overlay zone was not utilized to the extent that the City intended when the zone was established within the zoning code. This zoning designation provides a tool to be utilized in providing new off-street parking supply. Revitalization efforts within the Specific Plan area will include the development of new uses, and some intensification of existing land uses. These changes will create a need for additional parking spaces within the area.

The remaining sub-sections provide a discussion of tools to create additional parking supply within the Lamanda Park area.

### **Parking Assessment - "Fee in Lieu" Program**

In order to provide funding or reimbursement for new City-owned parking lots within Lamanda Park, a parking assessment could be established for new developments.

This assessment would assist new businesses in locating within Lamanda Park, as the expense of on-site parking provisions could be offset by this “in lieu” assessment. This assessment would also assist the City by providing reimbursement for property acquisition, capital funding, and operating funds for new parking lots. These parking lots would need to be constructed concurrently with new development, or be operational before new businesses begin construction or remodeling.

Unlike a parking assessment district, this assessment would not be a local tax that would be levied upon all business owners within a designated area. The concept of parking assessments would be applied to new commercial developments within a specified area, based upon the number of required parking spaces that could not be provided on-site by each development. A radius from a particular development would be utilized - between 1/4-mile and 1/8-mile walking distance - to determine the location of the nearest off-street parking lots that could feasibly serve that particular business.

The assessment would be applied to new or remodeled businesses, if floor area is increased over existing uses or types of uses are intensified. The assessment would enable the City to waive requirements for on-site parking, while providing reimbursement for City investment in public parking lots.

### **Parking Reductions**

One method to create incentives for redevelopment and restructuring of the urban form is to provide justification to minimize the number of required parking spaces at identified transit nodes. As noted in the previous sections on development intensity and location, this Specific Plan identifies two locations where findings can be made to reduce the existing parking requirements due to the transit and pedestrian-oriented qualities of these locations. Parking reductions will apply to non-residential redevelopment only within 1/4 mile of the Gold Line transit station. The radii covered by the Specific Plan only relates to properties south of the 210 freeway (see figure 4.4)

Required parking within these transit-oriented locations would be reduced by 25 percent for non-residential uses which is consistent with parking reductions utilized by the City in the Central District-1 area (Old Town Pasadena).

## Parking Structures

The use of structured parking can be particularly effective in allowing increased densities, as demonstrated in the Koll Building project (1055 East Colorado Boulevard). This Specific Plan encourages parking structures within the Mid-City sub-area to encourage intensification of mixed-use, commercial, office and residential projects where parking can be provided on site in a structured format. Land values and the proximity to the Central District in this area tend to support the higher economic investment necessary to construct parking structures.

## Parking Districts

Parking Districts can be very effective tools to help create more parking and efficient use of existing parking spaces. There are a number of options that will increase the amount of parking available to existing and new development to allow required parking for new projects to be achieved. Districts may include the following elements:

- Re-striping existing on or off-street parking spaces or reducing the number of driveway aprons to improve efficiency.
- Improve efficiency in existing parking lots in cooperation with area property owners and businesses, examine opportunities for joint-use or shared-use parking arrangements, and determine the feasibility of expanding or modifying the parking lots to obtain more parking and distribute parking more evenly between supply and demand. Encourage shared parking agreements through the conditional use permit process.
- Provide additional public parking lots. Evaluate options to lease or purchase public parking lots located near parking-deficient blocks distributed equally through the identified sub-area of the Lamanda Park sub-area.
- Consider converting small used car sales lots in certain areas into public parking lots.
- Consider establishing a parking in-lieu fee for new developments within the parking districts.

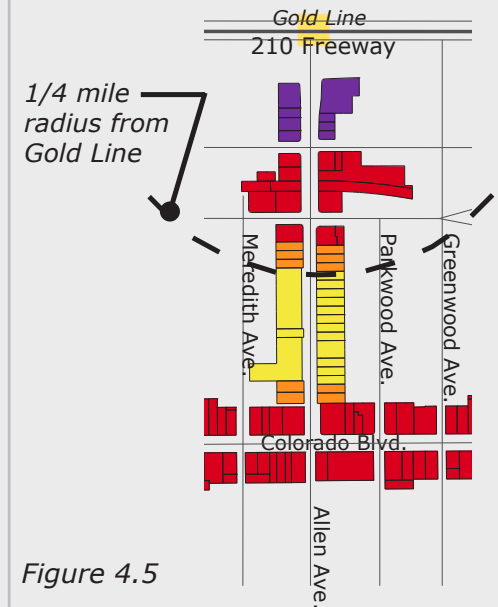


Figure 4.5

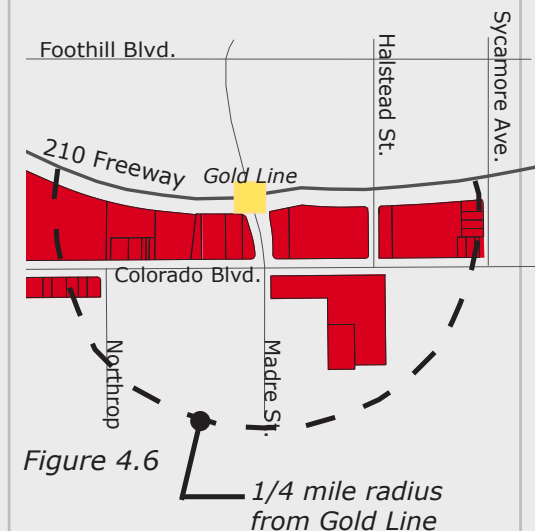


Figure 4.6



### **Parking District Establishment**

A high-priority should be given to the Lamanda Park area for parking district establishment, due to its prominent pedestrian character (minimal number of parking lots in front of businesses), and its human-scale development. This area also has potential for slight intensification of use, and on-site parking lots could change the pedestrian character of the neighborhood. The Specific Plan also recommends study of and establishment of parking districts in the college and Mid-City sub-areas as a method to attain the urban design and land use goals of the Plan. Many of the neighborhoods along East Colorado Boulevard will continue to have a mix of auto-oriented and pedestrian-oriented uses for many years to come.

The land use changes currently being pursued as part of the Specific Plan process include the introduction of residential uses within the Lamanda Park, College and Mid-City sub-areas. The potential for infill and the residential developments will create increased parking demand, and thus the need for additional parking.

The growth patterns defined within this Specific Plan include the intensification of current uses - through changes to more intense uses within the same building footprint or increases in lot coverage. The former option could require additional parking per the current City Municipal Code. The latter option would require the use of additional off-street parking areas for building expansions. Accommodating these additional parking demands, or allowing maximum lot coverage, could be achieved through the establishment of a parking district.

### ***H. ESTABLISHMENT OF NEW PARKING LOTS***

#### **Next Steps**

A detailed parking study is the next step towards providing new parking supplies. The study should analyze existing on-street and off-street parking demand, and survey



business owners and customers to determine the needs of both. The outcome of this study would be a quantitative needs assessment for new parking lots within Lamanda Park or the College District, and would be based upon existing and future demand. Where parking supply is not estimated to meet future demand for parking, plans for the development of new parking lots are recommended.

Other tasks within this study would include a review of on-street parking restrictions, and a review of options for on-street and off-street parking metering. In order to provide a plan for the development of new parking lots, the following actions should be undertaken:

- Define existing demand in number of spaces and location
- Define future demand in number of spaces and location
- Identify sites for acquisition of land for new parking lots
- Define cost of property acquisition, construction, and on-going operations
- Develop schedule for construction
- Define revenue stream to pay for incurred costs

Due to the predominantly low-density land uses in the area, multi-level parking facilities would not be economically feasible. The development of surface lots must be done with scale and accessibility in mind. The parking lots should be within short walking distance of the area served, be secure and be free or have cost-effective rates for the user. Balance between a centralized, large parking facility in one spot versus small, spread-out surface lots must be found while planning and implementing new parking lots. The utilization of large, imposing surface lots to provide additional parking supply could compromise the character of adjacent residential neighborhoods. Alternatively, visitors could have difficulty in locating available spaces in multiple, small parking lots, unless effective signage is utilized. These are the type of issues that must be analyzed through a future study.

## CHAPTER FIVE

### LAND USE AND DEVELOPMENT STANDARDS

#### A. LAND USE AND DEVELOPMENT POTENTIAL

The East Colorado Boulevard corridor offers a wide range of predominantly commercial land uses. Its current zoning designation of "CG" is one of the most broad zoning districts within the City. Virtually all land uses within this designation are either conditionally permitted or permitted with the exception of multi-family and single-family residential. This Specific Plan seeks to provide direction to better define the desired land uses and development standards for the area. It will guide development in concert with the overall goals and objectives established for the corridor, and more specifically, with the directions established for each sub-area listed in the *Description of Sub-Areas* section provided in Chapter II of the Specific Plan.

In addition to the East Colorado Boulevard corridor, Allen Avenue north to Corson Street has been studied. Although the majority of Allen Avenue is zoned residential, specific recommendations have been made about the area around the proposed Gold Line station. The relationship and connection of Allen Avenue to East Colorado Boulevard has also been an important part of the analysis.

Due to the lack of vacant properties and the built-out condition of the Specific Plan Study Area, opportunities to increase land use intensities will be limited primarily to redevelopment of existing under-utilized properties. Opportunities for revitalization and intensification of the area will be stimulated through the application of pedestrian and transit-oriented design principles including: mixing residential and /or office above street level retail commercial uses, designing around transit nodes where access is provided by public bus or transit, and designing pedestrian-oriented development where shared parking offers the ability for patrons to visit several destinations on one vehicle trip.

East Colorado Blvd.  
Specific Plan



By using such transit and pedestrian principles findings can be made to reduce existing parking requirements in certain “nodes,” thereby creating incentives for revitalization and development investment.

The Pasadena Comprehensive General Plan provides a general cap of new residential, commercial and institutional uses for the Specific Plan Area as follows:

**General Plan Development Allocations**

*New Housing Units = 750*

*Commercial Square Footage = 550,000*

*Institutional Square Footage = 100,000*

A recent study of construction and permitting activities that have taken place within the study area since the adoption of the General Plan indicate that of the total non-residential development allocation of 650,000 square feet, approximately 334,000 square feet have been built or permitted. This leaves approximately 316,000 square feet from the General Plan allocation for both the commercial and institutional categories. It is important to note that approximately 230,000 square feet of this area was developed by the Koll Corporate Center and a self-storage building. As part of the Specific Plan process, the Natelson Company, Inc. prepared a Market Demand Analysis to obtain an updated “unconstrained” demand for various commercial and residential development within the Specific Plan Area. Their findings are as follows:

**Specific Plan “Unconstrained” Development Potential**

*New Housing Units (multi-family) = 885*

*New Motel/ Hotel Units = 170*

*New Neighborhood/ Community Commercial = 730,000 SF*

*New Office Space = 150,000 SF - 450,000 SF*



As a result of additional economic development, the “Unconstrained” Development Potential was adjusted to take into consideration other factors that may serve to constrain the area’s development potential. These include:

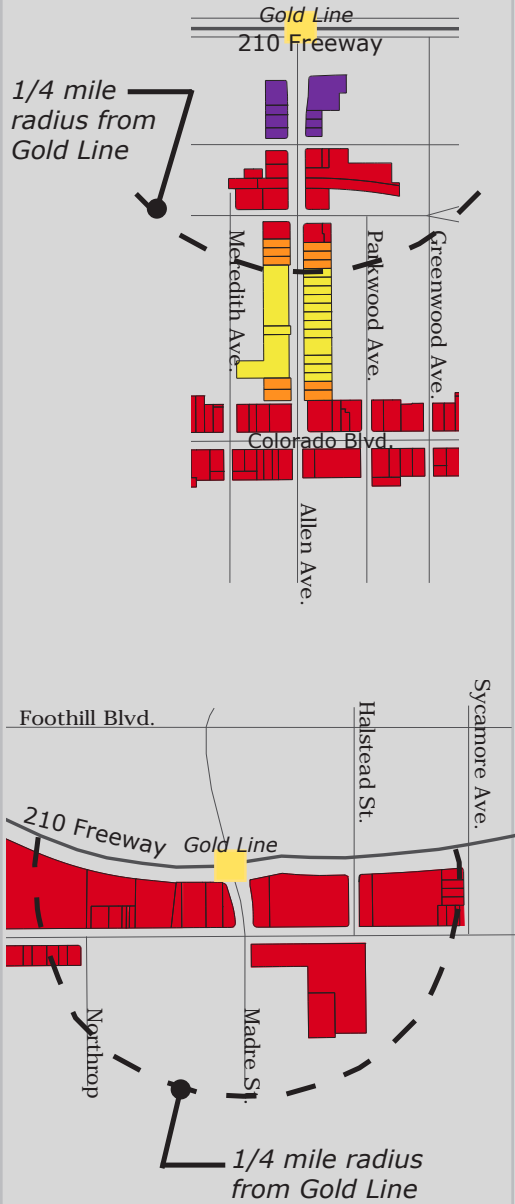
- The physical capacity of the Study Area to accommodate future development (i.e., site availability, parcel depths, traffic/ infrastructure capacity, etc.;
- The likely financial feasibility of different types of development based on the relationship between likely land acquisition/ site assembly costs and supportable land values associated with each land use; and
- An evaluation of the extent to which the financial viability of each land use type would be enhanced by increasing development densities within the Plan Area.

The table below reflects the “Adjusted” Development Potential which is described in Chapter VII.

<b>Specific Plan “Adjusted” Development Potential</b>	
<b>Land Use Forecast</b>	<b>“Adjusted” Demand</b>
<i>Housing (Multi-Family)</i>	525 units
<i>Hotel / Motel</i>	Up to 170 rooms
<i>Retail</i>	25,000 - 50,000 SF
<i>Office / R&amp;D Space / Institutional</i>	Up to 450,000 SF

The Natelson Company, Inc’s. Market Demand Analysis reflects current demand, and therefore, supports the general development allocations identified in the City’s General Plan. For purposes of analysis within the Environmental Impact Report (EIR), and to ensure that unforeseen demands are accounted for, we are not proposing to modify the original General Plan allocation figures. Accounting for the square footage that has been built since the General Plan was revised, the use of the General Plan allocations takes the high end of the adjusted demand forecast. This “high end” is applied to the entire Plan area, providing maximum flexibility. These figures (see text box on Page V-2) represent a maximum buildout within the Plan area and thus should be retained for ease of analysis.

The one modification presented by the Plan is that the 750 units could also be transferred to commercial square footage at a rate of 1000 square feet per unit. This provides flexibility in future development to build both residential units and new commercial square footage. To add more flexibility, we are not proposing limits on square footage in certain sub-areas. Further, given the scale of development possible under the height and density limitations, we have not incorporated Floor Area Ratios on any of the sub-areas. The table below represents the square footage calculations possible under the plan. Adding flexibility in the Plan will enforce Policy 3.1 of the General Plan which exempts affordable housing units from the allocation. This exemption applies to moderate, low, and very low income households, low/very low rental units, and senior housing.



<b>Square Foot Allocations</b>			
<b>Land Use</b>	<b>Remaining General Plan Allocations</b>	<b>"Adjusted" Demand through Natelson Company Review</b>	<b>Proposed Specific Plan Allocations</b>
Residential	750 units	525 units	750 units or 750,000 sq. ft. commercial or institutional (see below)
Commercial / Institutional	316,000 sq. ft.	Hotel+ 50,000 sq. ft. Retail+50,000 sq. ft. Office/R&D/Institutional 450,000 sq. ft. Total=550,000 sq. ft.	316,000 sq. ft. + flexible factor to substitute one unit for 1,000 s.f. of commercial

*\*The 750 residential units are the maximum permitted residential units under this plan, and the conversion factor set forth in the foregoing chart should apply only from residential units to commercial development and not vice versa.*





### Location of New Development

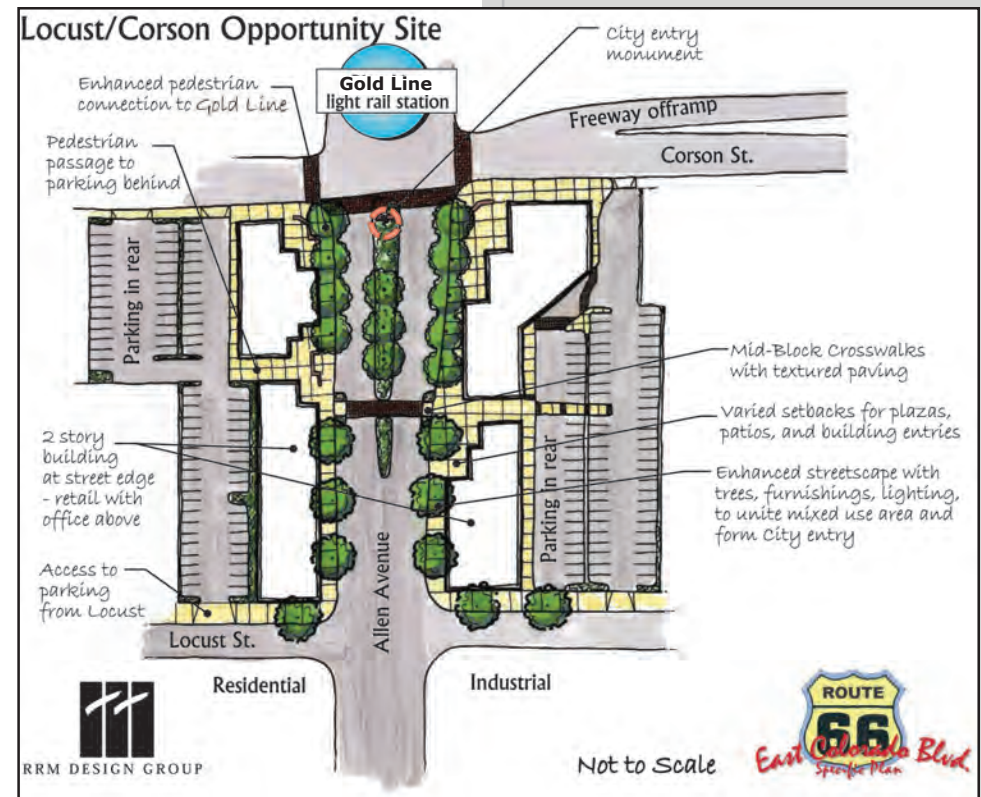
A summary of opportunities for new development or redevelopment of underutilized properties within each sub-area is as follows:

### Transit Nodes

There are two transit nodes that are located at the Gold Line stations within the Gold Line and Chihuahuita sub-areas. The unique character of a “kiss and ride” station allows for passengers to be dropped off, walk, or ride bicycles to the station while additional passengers arrive to the area via the train. Due to this unique association, a mix of uses is proposed in densities higher than allowed elsewhere in the Specific Plan. Because transit services are available, parking requirements may be reduced to encourage redevelopment and higher density projects. Consequently, the following specific development standards for areas within 1/4 mile of the station have been established:

- The allowable building height limit will be 60 feet
- A 25% parking reduction applied to non-residential uses only will be implemented within these areas
- The allowable residential density will be 60 units per acre

The following conceptual plan illustrates possible development of the Locust / Corson intersection within the Gold Line transit node. It should be noted that this Plan is conceptual only and does not portray a City project to create such a development. This location has many unique characteristics and opportunities due to its





link to transit systems. Billed and designed as a “kiss & ride” transit hub, this concept suggests the location of commercial and office uses that are transit oriented. Goods and services that provide convenient “on the way home” shopping and office space could combine to form a vibrant mix of uses. Combined with streetscape improvements and a gateway element, this location would serve to connect the Gold Line to East Colorado Boulevard and provide a pleasant welcome to HWY 210 commuters.

### **Mid-City**

Due to the allowable building height of 60’ and proximity of Mid-City to the Central District, this sub-area may accommodate larger size office and/or residential projects over street-fronting commercial / retail uses. Additionally, in the Mid-City sub-area, there are several underutilized auto dealer sites that may be intensified with a measure of ground floor commercial with office and residential above. Any intensification of office, residential, or street front commercial within the Mid-City area must be facilitated by adequate provision of on-site parking with the construction of parking structures and/or higher use of the adjacent PK overlay zones for surface and/or structured parking.

### **College District**

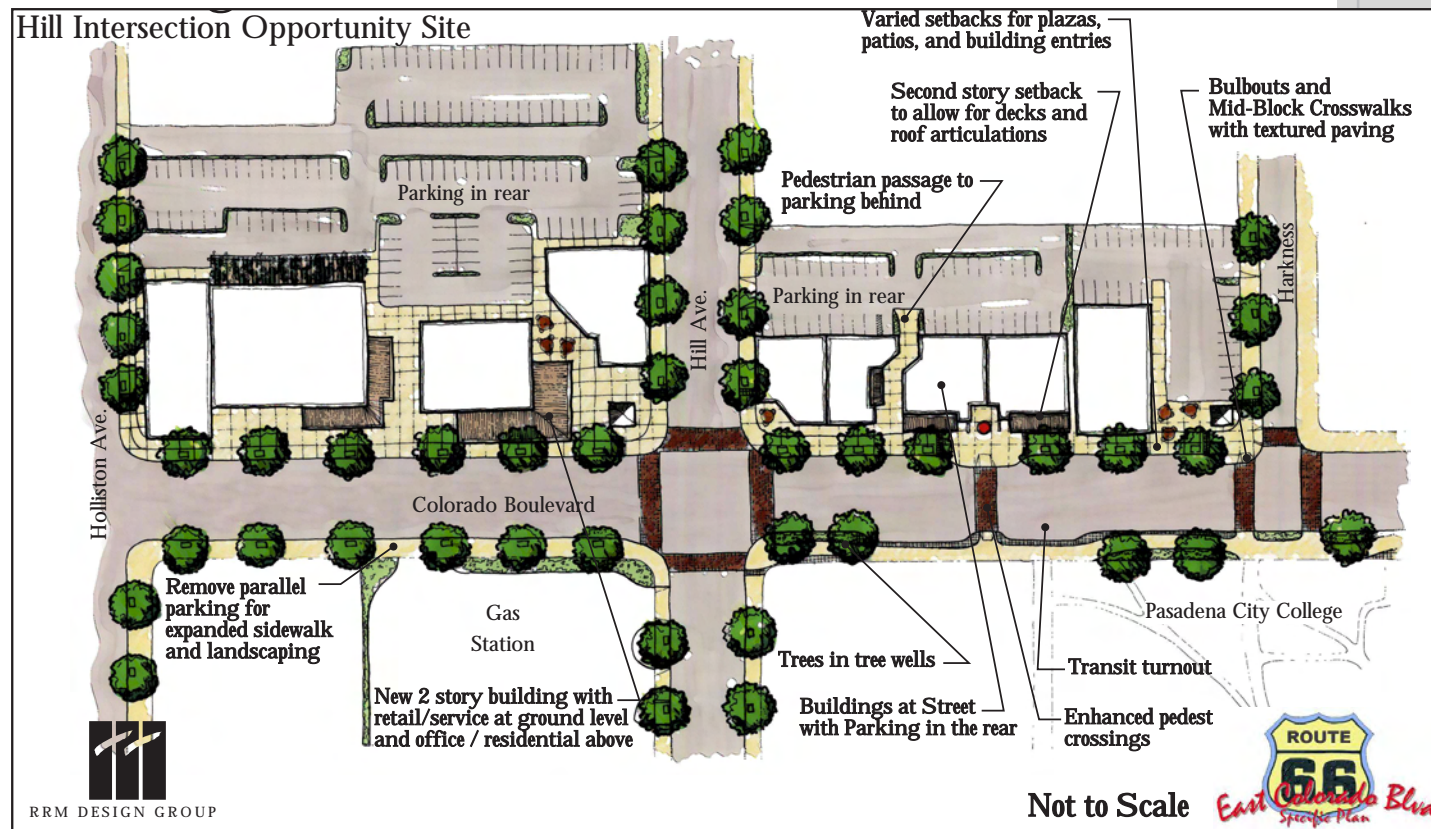
An increase in office and/or residential space over street-fronting commercial and a limited intensification of underutilized properties, specifically at the Hill and East Colorado intersection, predominately make up development opportunities in this area. The increase of new development in this sub-area will largely be a result of the implementation of a parking district. Additionally, development intensities may be made possible through the use of adjacent PK (parking) zones allowing on-site parking to be decreased.

The adjacent College District opportunity site illustrates the potential of creating an enhanced street scene and revitalized private development on the east and west side of Hill Ave. Street fronting retail, with parking located to the rear offers unique



potential to create a street oriented destination. Architectural enhancement, street furnishings and pedestrian improvements all contribute to this concept. The site should be developed in concert with Pasadena City College's plans along the south side of East Colorado Boulevard to create an expanded, landscaped pedestrian area and more visual interest.

- \* Refer to the plan view (below) for a description of the elements. The Hill intersection opportunity site is a conceptual plan and does not represent a City project.





*Planted medians such as this help to beautify streetscapes*



*Outdoor dining opportunities help bring life to the streets*

### **Route 66**

In this area, a nominal increase from the existing density may be possible largely due to intensification of under-utilized used car lots and industrial sites. Additional intensification through the use of the PK (parking) overlay zone behind commercial-fronting properties may also provide opportunities for some intensification within this area. However, the Route 66 sub-area is not anticipated to see substantial intensification over that which currently exists.

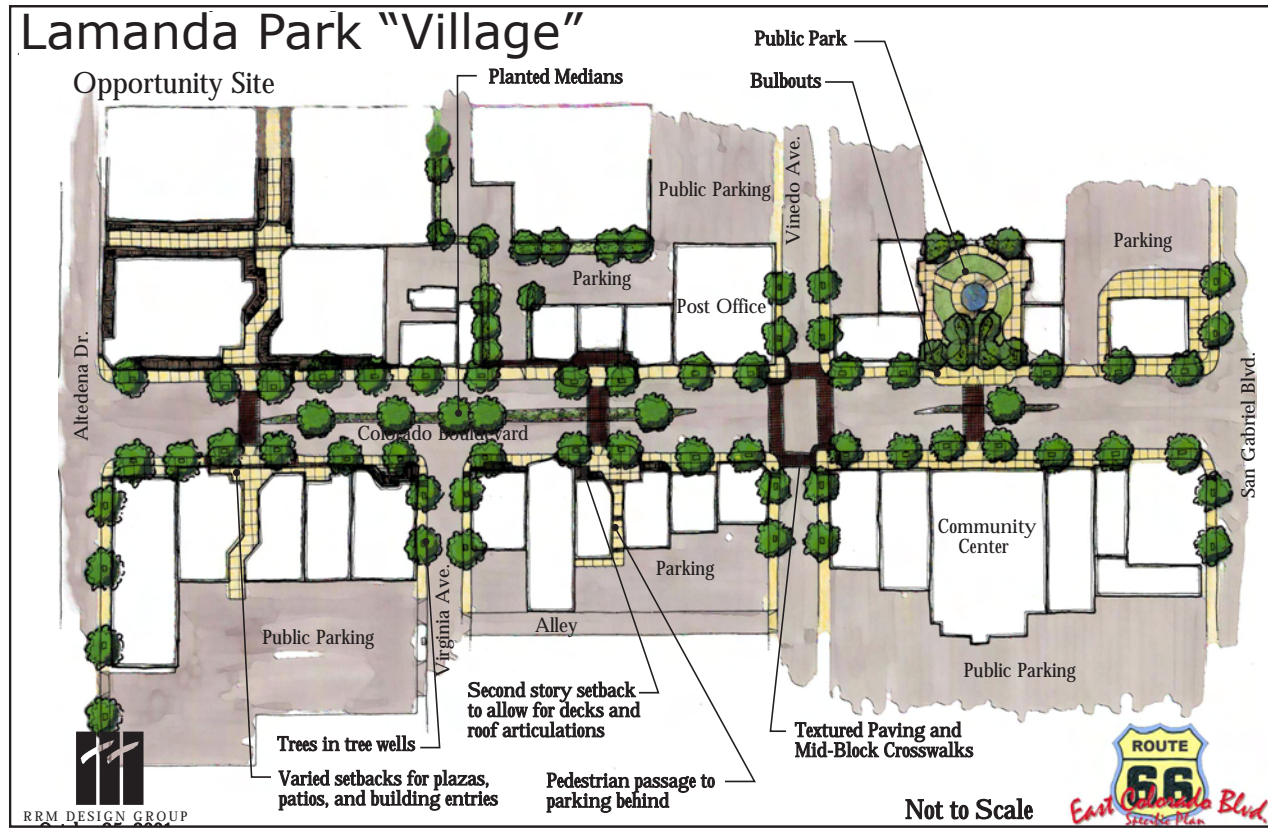
### **Gold Line**

The Gold Line sub-area is predominantly residential in nature with the exception of commercial properties around Walnut and at the north end of the study area adjacent to the 210 Freeway. Additional intensification may occur at this Transit Node close to the 210 Freeway due to the relationship to the “kiss-and-ride” Gold Line station.

### **Lamanda Park**

Some moderate intensification of land uses in the Lamanda Park area may be possible through redevelopment of existing commercial structures where greater Floor Area Ratios may be achieved due to the establishment of a parking district. The establishment of a parking district with new public parking lots or sharing of existing lots will be key to promoting the pedestrian atmosphere desired in Lamanda Park. In addition, parking supplies may be increased through the use of adjacent PK overlay zoned properties for additional surface parking.

\* The Lamanda Park Village Plan (at right) is a conceptual plan illustrating Specific Plan recommendations.



This concept for a portion of Lamanda Park illustrates some of the recommended urban design treatments for this sub area. Building upon the unique history and rich collection of handsome architecture, Lamanda Park has a bright future and will serve as an attractive and special destination for local residents.

**Chihuahuita**

There may be opportunities around the light rail station for new mixed-use type developments. This change would be accommodated specifically in the Gold Line sub-area where the existing lumberyard or other uses may transition into higher density housing. Other changes in development intensity for this sub-area will likely occur on a fairly minor scale on a property-by-property basis as underutilized or dilapidated properties are updated, renovated or redeveloped.



## **B. LAND USE REGULATIONS**

In general, a list of permitted uses allowed in the CG zoning category will be expanded in most planning sub-areas to include a broader range of residential uses, and restrict the list of allowable commercial service, industrial, and warehousing uses. The following table provides the uses proposed for each sub-area within the Specific Plan.

In the land use regulations table provided on the following pages, the letter "P" designates the permitted uses within the sub-area; the letter "C" designates use classifications permitted subject to approval of a conditional use permit; the letter "E" designates use classifications permitted subject to approval of an expressive use permit; the letters "MC" designate use classifications permitted subject to approval of a minor conditional use permit; the letters "TC" designate use classifications permitted subject to approval of a temporary conditional use permit. Where neither "P", "C", "E", "MC", or "TC" is shown for a use, or a use classification is not listed, that classification is not permitted.

It is important to note that all modifications to Land Use Regulations that occur subsequent to the approval of this plan shall supersede this plan. This includes changes to permitted or conditional uses made through amendments to the zoning code. No amendments to the Specific Plan will be needed for such changes. Changes to the City's CG zones shall impact the Mid-City, College, Route 66, Lamanda Park, and Chihuahuita Districts. Changes to the CL zones shall impact the Gold Line sub-area, and changes to the RM-32 shall impact the Gold Line, RM-32 sub-area.

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EAST COLORADO BOULEVARD								
LAND USE REGULATIONS								
Use Classifications	Mid-City	College District	Gold Line	Gold Line	Route 66	Lamanda Park	Chihuahuita	Additional Use Regulations
			CL	CG				Existing RM-32 zoning will not be modified, all properties within the Gold Line sub-area that are currently zoned RM-32 will remain under City of Gardens Zoning.
<b>Residential</b>								
Adult Day Care, Limited		P	P			C		
Boarding Houses			P					
Caretaker's Quarters	P	P	P	P	P	P	P	
Dormitories			P					
Family Day Care Homes			P					
Small			P					
Large			P					
Fraternities/Sororities			P					
Multi-Family Residential	P(1)	P(1)	P	P(1)(2)		P(1)	P(1)(2)	(1) Residential development allowed in mixed-use format only. (2) Residential development only allowed within 1/4 mile of light rail station.
Residential Care, Limited			P			C		
Single-Family Residential			P					
Transition Housing			P					
<b>Public and Semi-Public</b>								
Adult Day Care, General			C			C		
Charitable Institutions	C	C	C	C	C	C	C	
Child Day Care Center	P			P	P	P		
Clubs and Lodges	P	P	C	P	P	P		
Colleges and Universities		C		C	C			
Convalescent Facilities			C			C		
Cultural Institutions	P	P	P	P	P	P	P	
Detention Facilities								
Government Offices	P	P	P	P	P	P	P	
Heliports	C							
Hospitals	C	C		C	C	C	C	
Maintenance and Service Facilities							C	
Park and Recreation Facilities	C	C	C	C	C	P	C	
Public Safety Facilities	C	C	C	C	C	C	C	
Religious Assembly	C	C	C	C	C	C	C	
With Columbarium	C	C	C	C	C	C	C	
With Temporary Homeless Shelter	C	C	C	C	C	C	C	



EAST COLORADO BOULEVARD								
LAND USE REGULATIONS								
Use Classifications	Mid-City	College District	Gold Line	Gold Line	Route 66	Lamanda Park	Chihuahuita	Additional Use Regulations
			CL	CG				Existing RM-32 zoning will not be modified, all properties within the Gold Line sub-area that are currently zoned RM-32 will remain under City of Gardens Zoning.
Residential Care, General	C		C	C	C	C		
Schools, Public or Private	C	C	C	C	C	C	C	
Transportation Terminals			C				C	
Utilities, Major							C	
Utilities, Minor	P	P	P	P	P	P	P	
<b>Commercial</b>								
Adult Businesses	E	E	E	E	E	E	E	
Ambulance Services				P	P		P	
Animal Sales and Services:								
Animal Boarding								
Animal Grooming		P	P	P	P	P		
Animal Hospitals				P	P		P	
Animals, Retail Sales	P	P	P	P	P	P	P	
Auto Washing and Detailing Businesses				C	C		C	
Small -Scale			P	P	P		P	
Banks and Savings & Loans	P	P	P	P	P	P	P	
With Walk-Up Service	P	P	P	P	P	P	P	
Bars or Taverns	C	C	C	C	C	C	C	
With Live Entertainment	C	C	C	C	C	C	C	
Building Materials and Services			P				P	
Catering Services	P	P	P	P	P	P	P	
Commercial Entertainment	E	E	E	E	E	E	E	
Commercial Filming	C	C	C	C	C	C	C	
Commercial Printing	P	P	C	P	P	P	P	
Commercial Printing, Limited	P	P	P	P	P	P	P	
Commercial Recreation	C	C	C	C	C	C	C	
Communications Facilities	C	C		C	C	C	C	
Small-Scale	C	C		C	C	C	C	
Drive-Thru Businesses				C	C		C	
Emergency Shelters	MC	MC		MC	MC	MC	MC	
Food Sales	P	P	P	P	P	P	P	
With Beer and Wine Sales	C	C	C	C	C	C	C	
With Full Alcohol Sales	C	C	C	C	C	C	C	
Horticulture								
Limited								
Laboratories	P	P	P	P	P	P	P	

EAST COLORADO BOULEVARD								Additional Use Regulations
LAND USE REGULATIONS								
Use Classifications	Mid-City	College District	Gold Line	Gold Line	Route 66	Lamanda Park	Chihuahuita	
			CL	CG				Existing RM-32 zoning will not be modified, all properties within the Gold Line sub-area that are currently zoned RM-32 will remain under City of Gardens Zoning.
Maintenance and Repair Services	P	P	P	P	P	P	P	
Mini-Mall								
Mortuaries				P	P		P	
Nurseries			C	P	P	P	P	
Offices								
Business and Professional	P	P	P	P	P	P	P	
Medical	P	P	P	P	P	P	P	
Pawnshops	P	P		P	P	P	P	
Personal Improvement Services	P	P	P	P	P	P	P	
Personal Services	P	P	P	P	P	P	P	
Professional, Business and Trade								
Schools	P	P	P	P	P	P	P	
Recycling Centers								
Small Collection Facilities		MC	MC	MC	MC	MC	MC	
Large Collection Facilities								
Research & Development-Office	P	P	P	P	P	P	P	
Research & Development-Non Office		C	C	P	P	C	P	
Restaurants	P	P	P	P	P	P	P	
With Beer and Wine Service	C	C	C	C	C	C	C	
With Full Alcohol Service	C	C	C	C	C	C	C	
With Live Entertainment	P	P	P	P	P	P	P	
Restaurants, Take-Out	P	P	P	P	P	P	P	
With Beer and Wine Service	C	C	C	C	C	C	C	The existing 500 foot separation requirement between take-out restaurants shall not apply.
With Full Alcohol Service	C	C	C	C	C	C	C	
With Live Entertainment	P	P	P	P	P	P	P	
Retail Sales	P	P	P	P	P	P	P	
Secondhand Clothing and Appliance Sales	P	P		P	P	P	P	
Single-Room Occupancy						P		
Swap Meets		C				C	C	
Vehicle/Equipment Sales, Leasing and Services								
Automobile Rentals				P	P		P	
Commercial Off-Street Parking	C	C	C	C	C	C	C	
Service Stations				C	C		C	
Vehicle/Equipment Repair	C			C	C		C	
Vehicle/Equipment Sales, Leasing and Rentals	C	C		C	C		C	
Vehicle Storage							C	

# EAST COLORADO BLVD.

<b>EAST COLORADO BOULEVARD</b>								
<b>LAND USE REGULATIONS</b>								
Use Classifications	Mid-City	College District	Gold Line	Gold Line	Route 66	Lamanda Park	Chihuahuita	<b>Additional Use Regulations</b>
			CL	CG				Existing RM-32 zoning will not be modified, all properties within the Gold Line sub-area that are currently zoned RM-32 will remain under City of Gardens Zoning.
Visitor Accommodations								
Bed and Breakfast Inns			P			P		
Hotels and Motels	C	C		C	C	C		
Warehousing and Storage								
Small-Scale								
Wireless Telecommunications								
Antenna Facility								
Minor	MC	MC	MC	MC	MC	MC	MC	(1) Only allowed in RM-32 if placed in the public right of way, excludes building mounted and co-located facilities
Major	C	C	C	C	C	C	C	
Work/Live								Until completion of the zoning code revision, work/live uses shall be subject to approval of a Conditional Use Permit. The Zoning Administrator and Building Official shall apply appropriate conditions of approval until development standards are formulated for the use.
	P	P	P	P	P	P	P	
<b>Industrial</b>								
Industry, Restricted				C	C		C	
Small-Scale				C	C	C	C	
Industry, Standard								
Wholesaling, Distribution and Storage							C	
Small-Scale							C	

EAST COLORADO BOULEVARD								
LAND USE REGULATIONS								
Use Classifications	Mid-City	College District	Gold Line	Gold Line	Route 66	Lamanda Park	Chihuahuita	Additional Use Regulations
			CL	CG				Existing RM-32 zoning will not be modified, all properties within the Gold Line sub-area that are currently zoned RM-32 will remain under City of Gardens Zoning.
<b>Accessory</b>								
Accessory Uses	P/C	P/C	P/C	P/C	P/C	P/C	P/C	
Accessory Antenna Array	P	P	P	P	P	P	P	
Home Occupations	P	P	P	P	P	P	P	
<b>Temporary</b>								
Animal Shows	TC	TC	TC	TC	TC	TC	TC	
Circuses and Carnivals	TC	TC	TC	TC	TC	TC	TC	
Filming, Long Term	C	C	C	C	C	C	C	
Filming, Short Term	P	P	P	P	P	P	P	
Farmer's Market	TC	TC	TC	TC	TC	TC	TC	
Live Entertainment	TC	TC	TC	TC	TC	TC	TC	
Personal Property Sales								
Religious Assembly	TC	TC	TC	TC	TC	TC	TC	
Retail Sales, Outdoor	TC	TC	TC	TC	TC	TC	TC	
Seasonal Merchandise Sales	P	P	P	P	P	P	P	
Street Fairs	P	P	P	P	P	P	P	
Swap Meets, Nonrecurring	TC	TC	TC	TC	TC	TC	TC	
Tents	TC	TC	TC	TC	TC	TC	TC	
Use is not allowed P Use is permitted C Use is conditionally permitted MC Use is conditionally permitted (Minor CUP) TC Use is permitted as Temporary Conditional Use Permit E Use is permitted with an Expressive Use Permit P/C Accessory use subject to land use regulations of principal use *All non conforming uses, structures, and signage are subject to the requirements of the Zoning Code, Chapter 17.76								

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### C. HOUSING IN THE SPECIFIC PLAN AREA

The Specific Plan area affords some unique opportunities within the City of Pasadena to provide a mix of residential housing types. The addition of a residential component into an otherwise strictly commercial service and retail corridor may have positive social, transit and housing affordability implications. One of the General Plan goals for the East Colorado Specific Plan area is to explore the potential of a more broad mix of uses where living, working and shopping opportunities are created in key “nodes” or destinations along the Boulevard. In concert with this direction, this specific plan calls for the introduction of residential development in a mixed-use format in selected sub-areas at a variety of housing densities and configurations based on economic conditions and urban design objectives. The addition of housing in the planning area is an important tool in achieving a pedestrian-oriented, mixed use, urban environment that helps to create a sense of place and 24-hour life to the street. With a “constrained” projection of 525 new residential units for the specific plan area (and a planned maximum of 750 units), this represents a significant opportunity in the City to accommodate much-needed housing.

In addition, the City has set forth goals and policies to develop affordable housing in the City by requiring developments of 10 residential units or more to provide 15% of the units as affordable to various income levels. This section will discuss affordable housing as it relates to the existing development patterns and economics of the study area and incentives to create affordable housing.

Due to the existing development patterns, age of building stock, existing mix of land uses and varying property values, there are higher density mixed-use housing (apartments above shops and/or offices), and housing project development opportunities. In general, for-sale residential products will be limited with the overwhelming emphasis placed on for-rent apartments. Residential development is likely to occur in two different formats due to the built-out nature of the planning area: Medium density mixed use and high density mixed-use residential.

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The following housing descriptions provide direction in terms of location, configuration and densities of housing in the specific plan area:

**Medium Density Residential**

Medium density residential infill projects (up to 48 dwelling units per acre) are likely to be viable in portions of the Specific Plan area depending upon property specific, location and economic attributes. Housing will be allowed in a mixed-use format only.

The majority of new residential development with the exception of the transit nodes at Allen and Sierra Madre is likely to occur in the form of small-scale residential infill in a mixed-use configuration where apartments are located in second floor locations above street level shops and/or offices. These are likely to occur and are permitted in the Mid-City, Lamanda Park, College and Gold Line sub-areas. As building stock continues to age and opportunities are provided through the Specific Plan in terms of zoning, parking solutions and beautification of the street environment, redevelopment of properties will become economically viable. The density for mixed-use residential projects will be 48 du/ac in these areas. Please refer to the land use regulations for residential densities for individual sub areas.



### High Density Residential

Higher density residential development is feasible in portions of the specific plan area where land values will support the construction of structured parking to achieve higher densities. This type of housing is most desirable and feasible at designated transit nodes where existing development patterns allow building intensities and building heights (up to 60 feet) similar to those allowed in the Central District. Residential projects in this configuration are directed to contain a mix of retail, commercial and/or office on the street level with residential units in upper floors. Structured parking (or parking reductions at transit nodes) is directed to subterranean and ground floor locations behind street fronting retail, commercial and office uses. Residential units on the ground floor may be permissible if the residential units are located in non-street fronting locations. The density for residential projects at transit nodes will be 60 du/ac. Please refer to the Land Use Regulations Table for residential densities for individual sub-areas.

### Affordable Housing

Provision of affordable housing is a challenge for most cities and one that the City of Pasadena recognizes as a critical ingredient to building successful and sustainable urban environments. To insure all opportunities are examined to create affordable housing Pasadena enacted an Inclusionary Housing Ordinance which in summary requires developments of 10 or more residential units to make a minimum of 15% of the units affordable to low and moderate income households. (Please refer to the City's inclusionary housing ordinance for details.) This policy is in effect for the East Colorado Boulevard Specific Plan area as well. Due to existing development and the built-out nature of the Specific Plan area, a good portion of new residential development will likely be composed of smaller infill projects potentially in less than 10 unit increments.

There are however a number of opportunities for infill residential projects with densities up to 48 du/ac in the Lamanda Park and Mid-City sub-area and high-density residential projects with densities up to 60 du/ac at transit nodes where a substantial number of units would be subject to the Inclusionary Housing Ordinance.

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The Inclusionary Housing Ordinance recognizes the need to create and outline incentives to developing affordable housing. This specific plan amplifies the need for these incentives and recommends pursuit of an aggressive campaign to achieve the 15% affordable threshold within the Specific Plan area. Additional incentives should be considered by the City for housing projects of less than 10 units.

## D. DEVELOPMENT STANDARDS

In concert with streetscape beautification and other public improvements recommended for the Specific Plan Area, development standards for private property are intended to reinforce the desired urban image in the study area. They are also intended to improve overall aesthetic appearance and to serve as an incentive to reinvest and redevelop private property. Future development shall conform to the General Commercial (CG) land use or other applicable zoning regulations and development standards unless otherwise noted in the following sections. The existing 500 foot separation requirement between take-out restaurant uses shall not apply.

The Plan recommends maintaining the 5 foot street fronting setback in all sub-areas. However, the treatment of these setback areas varies depending on the sub-area. Within the Mid-City, College, Locust to Corson Street in the Gold Line, and Lamanda Park sub-areas the setback should be incorporated into the sidewalk area and treated with street furnishings, trees and be used for plaza and expanded sidewalk-areas. Within the Route 66 and Chihuahuita, the setback should be landscaped to help screen parking and soften the street edge.

It is important to note that all modifications to development standards that occur subsequent to the approval of this plan shall supersede this plan. This includes changes to the Zoning Code. No amendments to the Specific Plan will be needed for such modifications.

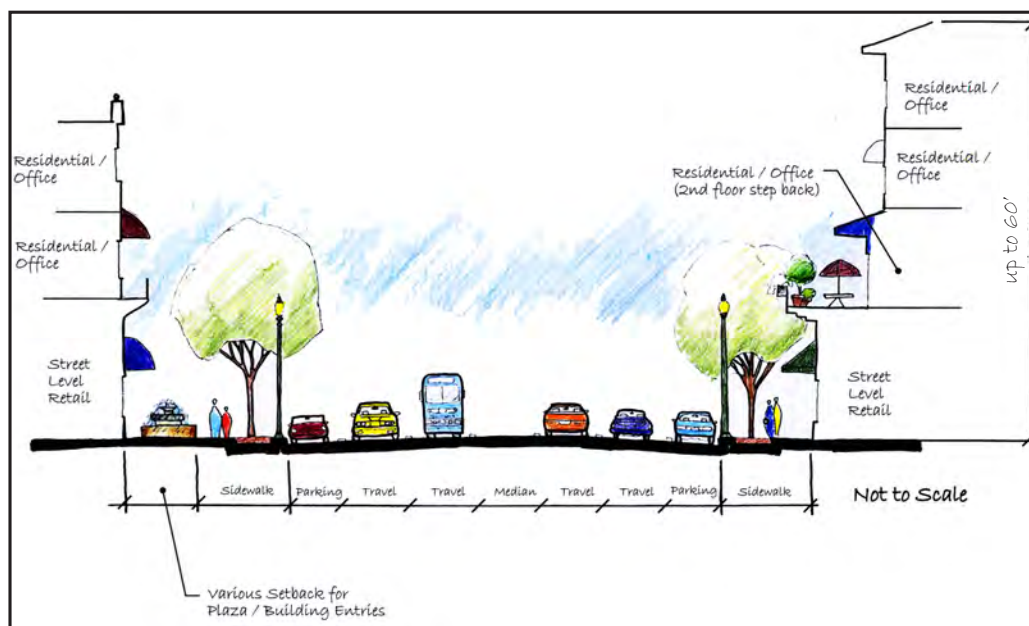
The following supplemental development standards will apply to each sub-area:

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### Mid-City

In general, the Mid-City sub-area is a transition zone from the higher intensity of the Central District to the suburban qualities found in the eastern portion of the study area. In this area a mix of uses including high density residential above street level retail and office with structured parking is allowed. Development standards from the CG zone will apply in this area. New development should generally be set back five feet from the front property line with the setback area made available for wider sidewalks, mini-plazas, building entries and other hardscape elements. Parking should ideally be located to the rear or side of buildings and screened from public view with access provided from alleys or adjacent side streets wherever possible. Building heights will be allowed up to 60 feet. Adaptive reuse of historic structures will be granted flexibility when applying standards for parking, landscaping, loading and other site development standards. The following table outlines additional development standards for the Mid-City sub-area:

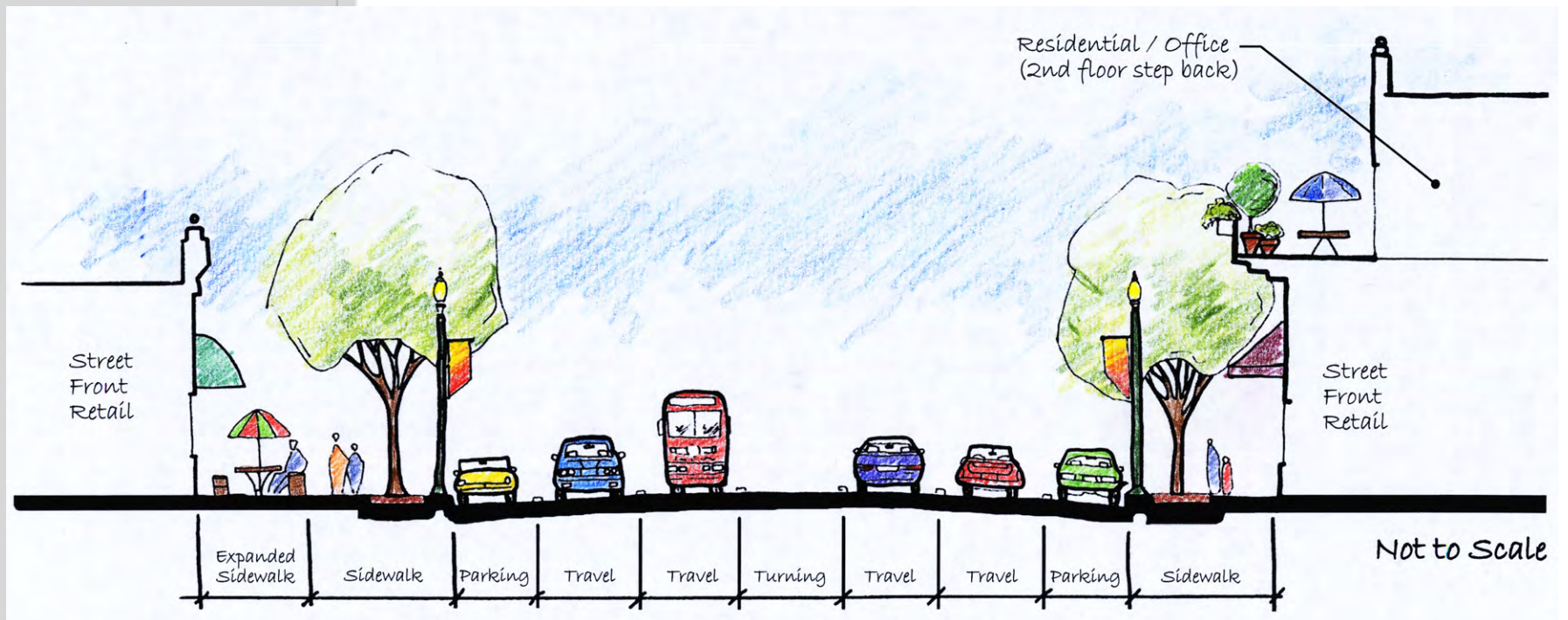


Example of street section in Mid-City

Supplemental Development Standards	Mid-City
Minimum Yards Front and Corner (feet)	5' setback for expanded sidewalks and tree/tree grate treatment. Additional front yard setbacks are allowed to create space for streetside plazas, patios & building entrances.
Residential Density	48 units per acre. Mixed use residential format. Utilize development standards for mixed use housing.
Maximum Height of Main Structures	60'
Parking	Per code
Driveway Access	<p>To lessen the number of "curb cuts" and sloped depressions in the sidewalk:</p> <ol style="list-style-type: none"> <li>1. Wherever possible, driveways shall be shared with adjacent parcels.</li> <li>2. For parcels less than 200 feet in width (street frontage). Only one driveway shall be permitted.</li> </ol>
Adaptive Use of Historic Structures	<ol style="list-style-type: none"> <li>1. Consistent with the recommendations set forth in the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, all rehabilitations and additions to historic buildings shall respect the historic integrity of the existing building.</li> <li>2. Development adjacent to the historic structures identified as candidates for landmark status should be compatible with scale, massing, color and material.</li> </ol>
Building Entries	A building entry is required to be oriented to Colorado Boulevard. This requirement may be waived by the Zoning Administrator if found to be infeasible
Walls & Fences	Chain link fencing (with or without slat inserts), barbed wire, and razor wire shall be prohibited along any street frontage.

### College District

The College District sub-area is intended to accommodate two and three-story buildings up to a maximum height of 45 feet. This less intense zone east of Mid-City should provide for street frontage commercial uses (preferably "active" uses) with office and/or residential on second floors. New development should generally be set back five feet from the front property line with the setback area made available for wider sidewalks, mini-plazas, building entries and other hardscape elements. Parking is to be located to the rear of buildings with access from parallel alleyways and adjoining side streets. Parking lots visible from the street should be screened with landscaping and planted with canopy trees.

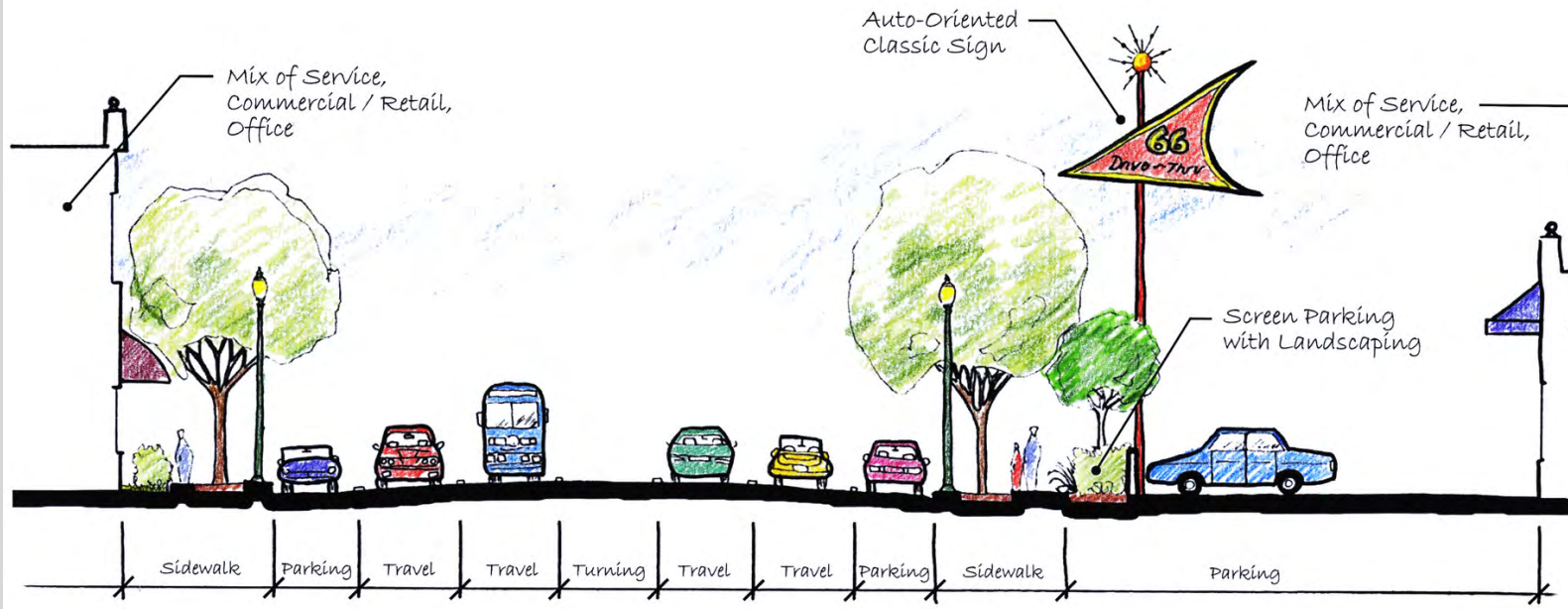




Supplemental Development Standards	College District
Minimum Yards Front and Corner (feet)	5' setback for expanded sidewalks and tree/tree grate treatment. Additional front yard setbacks are allowed to create space for streetside plazas, patios & building entrances.
Residential Density	48 units per acre. Mixed use residential format. Utilize development standards for mixed use housing.
Parking	Per code
Driveway Access	<p>To lessen the number of "curb cuts" and sloped depressions in the sidewalk:</p> <ol style="list-style-type: none"> <li>1. Wherever possible, driveways shall be shared with adjacent parcels.</li> <li>2. For parcels less than 200 feet in width (street frontage), only one driveway shall be permitted.</li> </ol>
Adaptive Use of Historic Structures	<ol style="list-style-type: none"> <li>1. Consistent with the recommendations set forth in the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, all rehabilitations and additions to historic buildings shall respect the historic integrity of the existing building.</li> <li>2. Development adjacent to the historic structures identified as candidates for landmark status should be compatible with scale, massing, color and material.</li> </ol>
Building Entries	A building entry is required to be oriented to Colorado Boulevard. This requirement may be waived by the Zoning Administrator if found to be infeasible
Walls & Fences	Chain link fencing (with or without slat inserts), barbed wire, and razor wire shall be prohibited along any street frontage.

### Route 66

The Route 66 sub-area will provide allowances for uses that demand access and parking located in front and to the sides of buildings, provided they are adequately screened with landscaping and trees. The front setback will be five feet from the right-of-way line in this sub-area. The setback area should be heavily landscaped to provide a green buffer between the sidewalk and adjacent site improvements. Building heights will be a maximum of 45 feet and predominantly one and two-story configurations. Parking requirements will be per Section 17.68 of the Zoning Code. Equipment, and vehicle repair functions should be located within enclosed buildings with outdoor storage areas located to the rear with access from adjacent side streets or rear alleys, and all such structures should be heavily screened with landscaping.



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Supplemental Development Standards	Route 66
Minimum Yards Front (feet) and Corner	5' with the introduction of landscaping adjacent to building edge within the setback.
Parking	Per code
Driveway Access	<p>To lessen the number of "curb cuts" and sloped depressions in the sidewalk:</p> <ol style="list-style-type: none"> <li>1. Wherever possible, driveways shall be shared with adjacent parcels.</li> <li>2. For parcels less than 200 feet in width (street frontage). Only one driveway shall be permitted.</li> </ol>
Equipment / Vehicle Repair Uses	Equipment and vehicle repair functions should be located within enclosed buildings with outdoor storage areas located to the rear with access from adjacent side streets or rear alleys and all such structures should be heavily screened with landscaping.
Adaptive Use of Historic Structures	<ol style="list-style-type: none"> <li>1. Consistent with the recommendations set forth in the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, all rehabilitations and additions to historic buildings shall respect the historic integrity of the existing building.</li> <li>2. Development adjacent to the historic structures identified as candidates for landmark status should be compatible with scale, massing, color and material.</li> </ol>
Building Entries	A building entry is required to be oriented to Colorado Boulevard. This requirement may be waived by the Zoning Administrator if found to be infeasible
Walls & Fences	Chain link fencing (with or without slat inserts), barbed wire, and razor wire shall be prohibited along any street frontage.

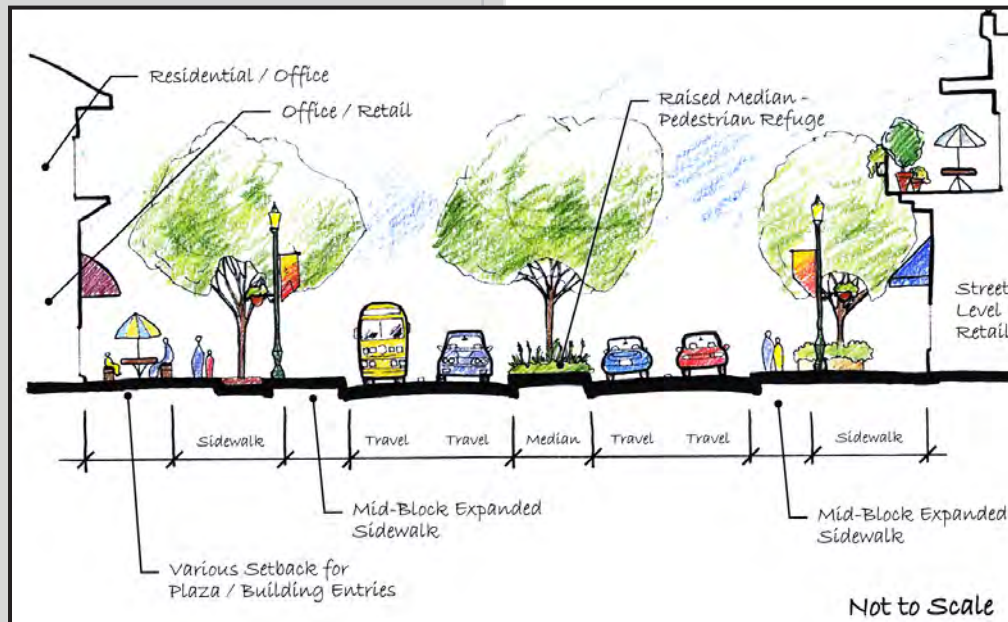
## **Gold Line**

In the Gold Line sub-area between Colorado Boulevard and Walnut Street residential development standards following the existing RM-32 Regulations will apply. Between Walnut Street and Corson Street a transit node is designated allowing a mix of commercial, retail, and office and residential uses are allowed in upper floors. The maximum building height in this transit node will be 60 feet. Parking shall be provided per code with the exception of the transit node between Locust and Corson Street where parking requirements are reduced 25 percent. Parking lots should be located to the rear and/or side of buildings screened with landscaping and accessed from adjoining side street or limited driveway accesses. Between Locust and Corson Street, commercial development of two to three-stories is allowed with step-backs in the building configuration to allow second-story decks and street side patios within the front yard setback.

Supplemental Development Standards	Gold Line
Minimum Yards Front (feet)	RM32 - per code  CG / CL - 5' setback for expanded sidewalks and tree/tree grate treatment. Additional front yard setbacks are allowed to create space for streetside plazas, patios & building entrances.
Residential Density	Within transit node - 60 units/acre of mixed use residential in mixed-use housing format. Utilize development standards for mixed use housing.
Parking	Per code, except within transit node where 25% reduction applies.
Driveway Access	To lessen the number of "curb cuts" and sloped depressions in the sidewalk:  1. Wherever possible, driveways shall be shared with adjacent parcels.  2. For parcels less than 200 feet in width (street frontage), only one driveway shall be permitted.
Adaptive Use of Historic Structures	1. Consistent with the recommendations set fourth in the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, all rehabilitations and additions to historic buildings shall respect the historic integrity of the existing building.  2. Development adjacent to the historic structures identified as candidates for landmark status should be compatible with scale, massing, color and material.
Walls & Fences	Chain link fencing (with or without slat inserts), barbed wire, and razor wire shall be prohibited along any street frontage.

## Lamanda Park

Special attention should be paid to the creation of this highly pedestrian-oriented "neighborhood." This will be accomplished through the application of public improvements and development standards. Within this special area, a broad mix of uses is allowed and will follow the CG District development standards. Expanded sidewalks at key intersections and mid-block crossings in conjunction with front yard setbacks treated in compatible hardscape materials, create space for broad sidewalks, mini-plazas, patios and building entries.



Maximum building height will be 45 feet with a street level of retail and the potential of one to three stories of residential and/or office space located above. Upper floors should be stepped back from the street to allow light and air to penetrate and afford mountain views. All parking lots shall be located behind buildings and any public lots created in the parking district shall be screened from public view, liberally landscaped and lighted, and adequately planted with parking lot trees. Adaptive reuse of historic structures will be granted flexibility when applying standards for parking, landscaping, loading and other site development standards.

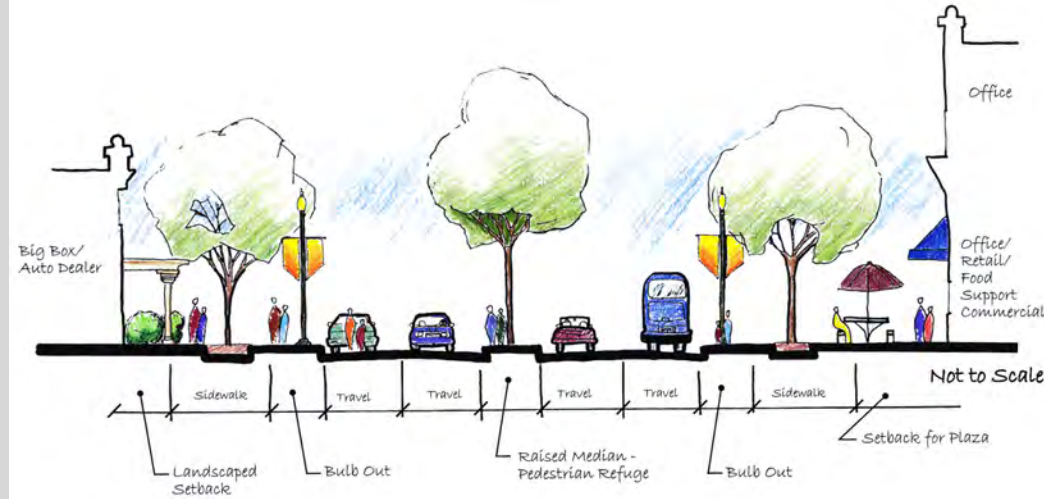
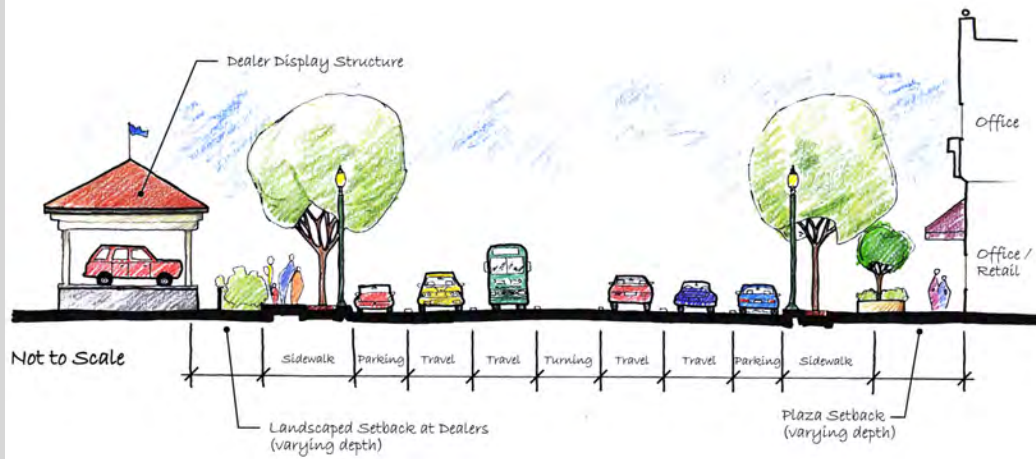




Supplemental Development Standards	Lamanda Park
Minimum Yards Front and Corner (feet)	5' setback for expanded sidewalks and tree/tree grate treatment. Additional front yard setbacks are allowed to create space for streetside plazas, patios & building entrances.
Residential Density	48 units per acre. Mixed use residential format. Utilize development standards for mixed use housing.
Parking	Per code
Driveway Access	<p>To lessen the number of "curb cuts" and sloped depressions in the sidewalk:</p> <ol style="list-style-type: none"> <li>1. Wherever possible, driveways shall be shared with adjacent parcels.</li> <li>2. For parcels less than 200 feet in width (street frontage), only one driveway shall be permitted.</li> </ol>
Adaptive Use of Historic Structures	<ol style="list-style-type: none"> <li>1. Consistent with the recommendations set forth in the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, all rehabilitations and additions to historic buildings shall respect the historic integrity of the existing building.</li> <li>2. Development adjacent to the historic structures identified as candidates for landmark status should be compatible with scale, massing, color and material.</li> </ol>
Building Entries	A building entry is required to be oriented to Colorado Boulevard. This requirement may be waived by the Zoning Administrator if found to be infeasible
Walls & Fences	Chain link fencing (with or without slat inserts), barbed wire, and razor wire shall be prohibited along any street frontage.

## Chihuahuita

Special attention will be paid to the creation of streetscape improvements within the sub-area to beautify and soften the large-scale discount retail uses and auto dealerships. Five-foot street setbacks will be required in this area for a continuous strip of landscape between the sidewalk and adjoining parking and/or structures. The maximum building height will be 45 feet in the sub-area with parking located in the front, side or rear locations. A height of up to 60' shall be allowed in the transit node. All parking areas shall be screened with landscaping and adequately planted with parking lot trees. Equipment and vehicle repair uses should be contained entirely within enclosed buildings and storage areas completely screened from public view with adequate landscaping and/or compatible fencing.



Supplemental Development Standards	City Edge
Minimum Yards Front (feet)	5' with the introduction of landscaping adjacent to building edge.
Residential Density	At transit node - 60 units/acre of mixed use residential format. Utilize development standards for mixed use housing.
Maximum Height of Main Structures	60' within Transit Node 45' outside Transit Node
Driveway Access	<p>To lessen the number "curb cuts" and sloped depressions in the sidewalk:</p> <ol style="list-style-type: none"> <li>1. Wherever possible, driveways shall be shared with adjacent parcels.</li> <li>2. For parcels less than 200 feet in width (street frontage). Only one driveway shall be permitted.</li> </ol>
Equipment / Vehicle Repair Uses	Equipment and vehicle repair functions should be located within enclosed buildings with outdoor storage areas located to the rear with access from adjacent side streets or rear alleys and all such structures should be heavily screened with landscaping.
Adaptive Use of Historic Structures	<ol style="list-style-type: none"> <li>1. Consistent with the recommendations set forth in the Secretary of the interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, all rehabilitations and additions to historic buildings shall respect the historic integrity of the existing building.</li> <li>2. Development adjacent to the historic structures identified as candidates for landmarks status should be compatible with the scale, massing, color and material.</li> </ol>
Building Entries	A building entry is required to be oriented to Colorado Boulevard. This requirement may be waived by the Zoning Administrator if found to be infeasible
Walls & Fences	Chain link fencing (with or without slats inserts), barbed wire, and razor wire shall be prohibited along any street frontage.

## **E. RENOVATIONS AND MAINTENANCE**

### **Intent**

Within the project area, there are many buildings which have only a business name to distinguish them from other buildings. Facade upgrades and character renovations can make a dramatic difference in the attractiveness and desirability of a retail piece of property. The following design examples are suggested as an illustration of the potential in renovating building facades within the project area.

The sketches illustrate the guidelines for building character, massing, windows, doors, walls, and roofs. The illustrations are intended to present a range of options available to property owners. However, these drawings are not to be interpreted as the sole means or only design solution of renovating a particular building.

Buildings that are not currently in compliance with these design guidelines are encouraged to implement them by first utilizing simple cosmetic changes such as painting, incorporating appropriate signage and lighting, and installing awnings.

### **Recommendations**

- 1.1 Maintenance and repair of buildings, public sidewalks, and spaces is critical in promoting a safe and clean appearance that will project a strong sense of pride for the specific plan area.*
- 1.2 Painted and stained surfaces should be cleaned regularly and maintained.*
- 1.3 Business owner and tenant or merchant should sweep up trash and debris regularly around their buildings.*
- 1.4 Owners of vacant lots should cut weeds and eliminate trash on a regular basis.*
- 1.5 Storefront repairs such as old, cracked windows, cracks with stucco, chipped paint, broken windows, damaged signs, etc., should be repaired or replaced.*

- 1.6 *Metal windows and doors are to be treated for rust protection or finished in a permanent color.*
- 1.7 *Awnings should be regularly maintained and kept free from tears, fading, and stains. Maintenance should be in accordance with the awning manufacturer's care instructions.*
- 1.8 *When metal security bars are used, they should be installed on the interior side of the building façade.*

*East Colorado Blvd.*  
*Specific Plan*





BEFORE

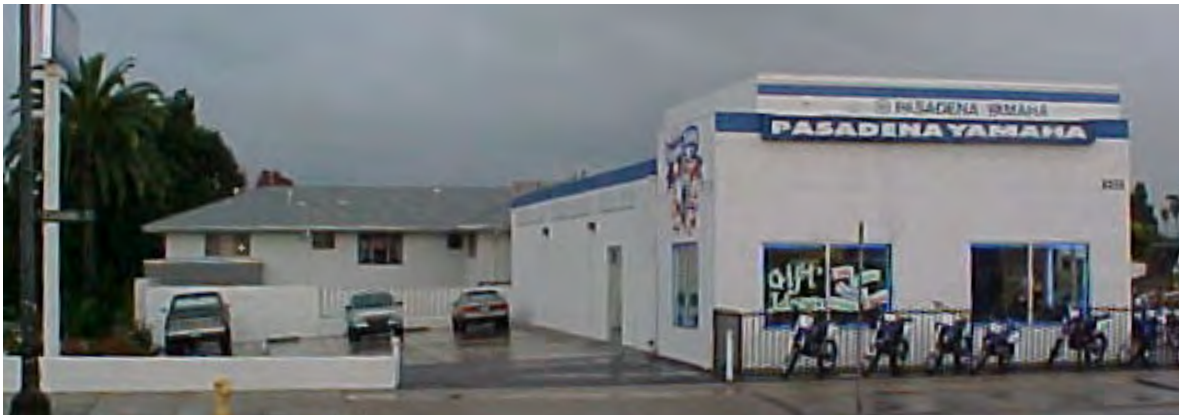
- Reinforce rhythm of the building by emphasizing columns and extending them beyond the parapet.
- Add shadow dimension by building out columns and providing parapet caps.
- Provide screening for blank walls with landscaping and planter boxes.
- Use color to emphasize building form and function, and to soften overall identity.



AFTER

EAST COLORADO BLVD.

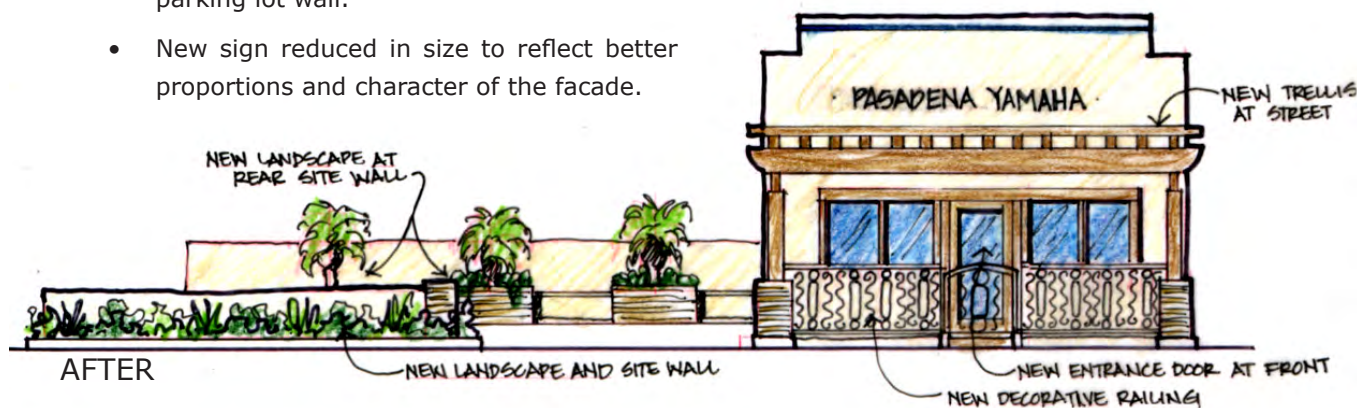




BEFORE

### Potential Improvement (Yamaha store)

- New trellis provides needed shading and incorporates exterior display space with the interior.
- Provide entrance at street elevation to strengthen building identity and create an open invitation to passers-by.
- Add human scale to building with parapet cap, stone column bases, and planter walls.
- Provide landscaping and site walls around parking area. Provide trees in planters at rear parking lot wall.
- New sign reduced in size to reflect better proportions and character of the facade.



## CHAPTER SIX

### DESIGN GUIDELINES

*East Colorado Blvd.*  
Specific Plan



#### **PASADENA GENERAL PLAN DESIGN PRINCIPLES**

In 1992, the City Council adopted the General Plan Design Objectives and Principles to guide development and make buildings and open spaces that are place-specific while establishing conditions that give consistency to the image of the City. Their fundamental purpose is to achieve a cohesive City that provides interest and amenity for its citizens.

The design principles adopted by the City are summarized as follows:

#### **Guiding Principles**

- 1. Enhanced Environment:** Projects should be shaped to improve the environment for the public, and buildings, open spaces and streets (including historic buildings) should be carefully designed to support the distinctiveness of localities and regions. Historic buildings should be rehabilitated.
- 2. Human Values:** Buildings and places should serve as indicators of human values, reflecting concerns of the builders and concerns for well being of citizens, as well as cultural values. Buildings should be accommodating, inspiring, comfortable, enduring, inviting, and should sustain attention.
- 3. Imagination and Creativity:** Guidelines should be structured to encourage creative response at many scales and on the part of the various people and cultures involved in designing and making places and their constituent parts.

## *Design Guidelines*

These Citywide Design Principles and Criteria are presented as a guide to development throughout the community, and are intended to achieve the following:

- Buildings and landscapes particular to Pasadena—designs that complement their settings and enhance the community’s unique character and special qualities.
- Development projects that contribute to an identifiable and coherent city form—a place that is both visually appealing and comfortable to use.
- Creative architectural solutions that acknowledge the surrounding context without direct mimicry of historical styles.

The principles and criteria are written to promote desirable qualities. They are applicable to all development projects subject to design review and may be supplemented by more detailed design guidelines for a particular project type or a specified area within the City. Finally, they should establish a dialogue between designers, developers, and the local community.

### A. COMMUNITY CHARACTER

#### Guideline 1 Promote Compact Development Patterns

##### Intent

Creating attractive and vibrant urban environments is facilitated by concentrating people, buildings, and activity in close proximity. Compact development supports diverse economic vitality, provides easy walkable connections between destinations, promotes street activity, and provides spatial definition to an area. In other words, compact development patterns help to create livable public realms. It follows that it is desirable to plan for East Colorado Boulevard as a compact and densely developed series of businesses and neighborhoods in the City.

##### Recommendations

- 1.1 Reinforce the spatial definition and social vitality of streets and important public space through compact development patterns.
- 1.2 Provide sufficient building height and mass to spatially define public streets and spaces.

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### Guideline 2 Route 66 Architectural Style

#### Intent

Promote creative designs for new construction, additions, and substantial exterior alterations that reinterpret some of the traditions of the Route 66 era (generally, from the 1930's through the early 1960's).

#### Recommendations

- 1.1 *Design features that could be included in such reinterpretations include Streamline Modern or Art Deco, take-out windows near the sidewalk, curved canopies and walls, thin horizontal canopies over sidewalks, elements with oblique angles, pylon signs designed as part of the architecture, large arrows as design features, neon signs, and icon signs. Such design features are especially encouraged in the Route 66 Sub-Area.*
- 1.2 *"Off the shelf" or "chain" corporate architecture and generic designs are not recommended for new development along East Colorado Boulevard. Each project should strive to achieve the unique theme of the corridor.*





### B. STREET ENVIRONMENT

#### Guideline 1 Integrate Public & Private Space At Street Edge

##### Intent

As primarily a public realm, the street should provide a safe, attractive, and pleasant environment for all users. Coordinating the design and appearance of both the travelway and sidewalks can unify the streetscape appearance as well as communicate its distinctive pedestrian and vehicular spaces. See chapter 3, Streetscape Beautification and Public Improvements for recommendations for the street environment.

##### Recommendations

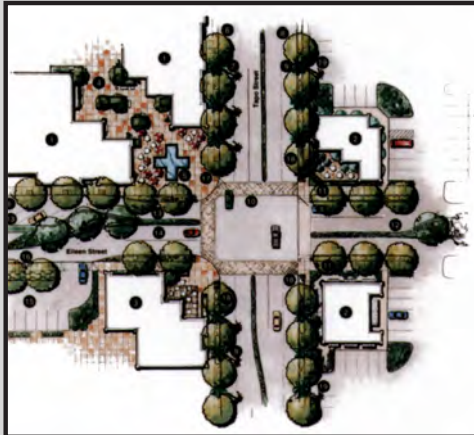
- 1.1 *Parking lots are encouraged off East Colorado Boulevard. When parking is proposed at the street edge, a landscaped buffer should be carefully designed in order to minimize visual impact from the street and sidewalk.*
- 1.2 *Buildings oriented close to the sidewalk should have inviting and detailed elevations to strengthen the retail image of the project area.*



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## **C. SITE PLANNING AND DESIGN**

### **Guideline 1 Encourage Integrated Site Planning**

#### **Intent**

New development along East Colorado Boulevard should consider the interrelationships among adjacent land uses, the travel way, and pedestrian needs. Site planning refers to the arrangement of buildings, parking, walkways, landscape, and other uses on a site. The scale of buildings and the size of outdoor spaces between buildings and parking, etc., should be designed to encourage pedestrian use and provide a comfortable pedestrian environment.

#### **Recommendations**

- 1.1 *Avoid large blank walls adjacent to street frontages.*
- 1.2 *On larger sites, focal points should be developed to create a definite sense of identification. Plazas, landscape, fountains, artwork, textured pavement, changes in pavement levels, and building vertical features may be combined to create focal points of identity.*
- 1.3 *Locate and orient buildings to positively define public streets and civic spaces such as public plazas; maintain a continuous building street wall and in general limit spatial gaps to those necessary to accommodate vehicular and pedestrian access.*
- 1.4 *Encourage recessed main building or shop entrances consistent with a traditional "main street" design that is inviting and does not interrupt street and/or retail continuity.*



- 1.5 *Due to the high visibility of corner properties, extra care should be given to building location and articulation. Corner buildings should have prominent architectural features to anchor their location whenever possible while still allowing sight lines at corners.*
- 1.6 *Establish clear pedestrian connections on-site that are well-marked and gracious; direct pedestrians from surface or structured parking to buildings, streets, and public spaces.*
- 1.7 *Pedestrian linkages to nearby neighborhoods and other commercial properties in close proximity should be provided whenever appropriate and feasible.*
- 1.8 *Buffer adjacent sensitive land uses from undesirable impacts that may originate from a site; buffers may be landscape and/or architectural in character.*

## **Guideline 2 Site Plazas and Courtyards to Create Comfortable Outdoor Spaces**

### **Intent**

The social life of the Boulevard can be enhanced by the presence of plazas and courtyards. These outdoor spaces promote social gathering and provide welcoming places to rest in the urban environment in comfortable settings. Intimate-style courtyards are traditional in Pasadena. The location, size, and design of a plaza, courtyard, or garden must be carefully considered in relation to its surroundings.



### **Recommendations**

- 1.1 *Additional setbacks may be provided for portions of the building in order to provide small plazas, entry nooks, and outdoor cafe seating facing the street. Such setbacks should be provided in order to preserve the canopy and roots of mature street trees.*
- 1.2 *Encourage the presence of well-defined outdoor space, such as on-site plazas, interior courtyards, patios, terraces and gardens; these are especially encouraged in association with major developments.*
- 1.3 *Make plazas and courtyards comfortable for human activity and social interaction -- standing, sitting, talking, eating.*
- 1.4 *Create a pleasant microclimate, including shade from summer sun and access to winter sunlight; locate seating with consideration to noontime sun and shade.*
- 1.5 *Make use of water as a defining element in the landscape; for instance, a fountain may provide the focal point of a courtyard or plaza.*



### Guideline 3 Control Access, Circulation and Parking

#### Intent

Parking is a critical design component for the East Colorado Boulevard Specific Plan. Parking must be convenient to the businesses being served and provide safe and efficient access from adjoining streets. The portion of a building site devoted to parking should be kept to a minimum as long as adequate storage of vehicles is provided. Site planning should not be driven by the need for parking but rather should be integrated into an overall concept that provides adequate attractive landscaping, and maintains pedestrian and bicycle access as well. It is important that overwhelming visual presence of parked cars be minimal and that parking entrances not interrupt pedestrian and retail continuity. Parking areas should be located at the rear of buildings whenever possible.

#### Recommendations

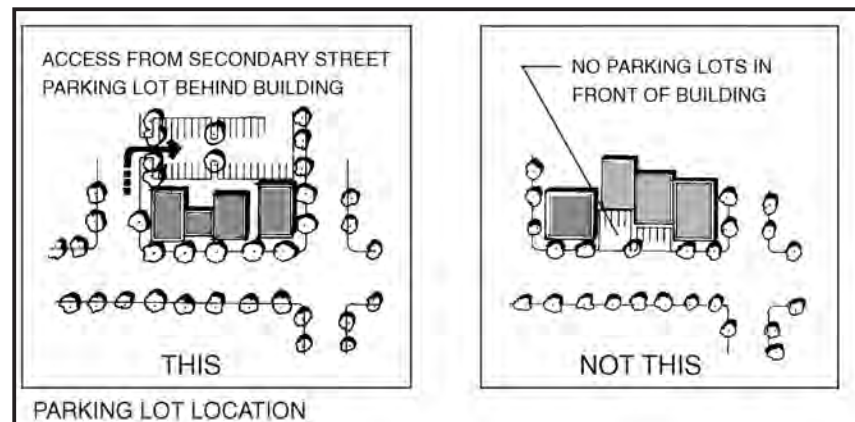
- 1.1 *Parcels that include parking and buildings should provide cohesive interaction between automobile and pedestrian circulation within the site and between adjacent properties and activities.*
- 1.2 *Site surface parking lots behind buildings or interior to a block, not to the front and preferably not to the side of a building in relation to the street; most importantly, surface parking is not to be located at a street corner.*
- 1.3 *When parking must occur at the street edge, screen views of automobiles from public view and adjacent sensitive land uses, including adequate screening for parking garages; dense planting and low-profile walls are often an effective screen for surface parking.*
- 1.4 *Properties, parking areas, and pedestrian zones should not be segregated along property lines. Shared parking lots and plazas are encouraged.*

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## Design Guidelines

- 1.5 *Minimize the number of curb cuts and access points to parking from the street; curb cuts should be consolidated and placed at mid-block, or provide alley access to service and parking, where feasible.*
- 1.6 *Where possible, private parking should be accessed from alleyways that run along the rear of buildings.*
- 1.7 *Parking lots should be well landscaped per City standards. This will help reduce heat buildup and soften the perceived negative impact of large paved areas.*
- 1.8 *Parking lot trees are intended to provide a broad shade canopy for the majority of the parking spaces. Utilize shade trees which have a canopy of 25 feet to 35 feet at maturity.*
- 1.9 *Parking lots should be well lit to provide safety, convenience, and promote evening use. Use pedestrian scale lighting to avoid excessively tall stadium style lighting.*







### Guideline 4 Make Facilities Unobtrusive

#### Intent

The siting of necessary building elements such as service access and mechanical equipment should be given careful consideration in early stages of development and should not detract from public views of the streetscape. Service, utility, loading, and trash areas should be carefully designed and located and integrated into the site plan at the rear of buildings.

#### Recommendations

- 1.1 *Consider service facilities as an integral part of the site plan; avoid siting service areas and mechanical equipment as an afterthought.*
- 1.2 *Avoid siting of noise and odor-generating functions in locations that may create a nuisance for the adjacent properties. Buffer adjacent sensitive land uses from the undesirable impacts of service facilities; use landscape or cohesive architectural treatment to screen service access and facilities.*
- 1.3 *Locate service, loading, and storage areas away from public streets and public spaces, as far as feasible.*
- 1.4 *Restrict service, loading, and storage areas from directly facing public streets, residential neighborhoods, or other important civic spaces; where possible, take service access along an alley.*
- 1.5 *Combining or grouping trash dumpsters at central locations behind buildings is encouraged. These locations should be screened with landscaping, fences or walls. This will help reduce the clutter along alleys.*
- 1.6 *Landscaping, garden walls and fences should be used to screen non-public areas, trash bins, bin loading areas, utilities, mechanical equipment, and other support facilities.*



## **D. BUILDING DESIGN**

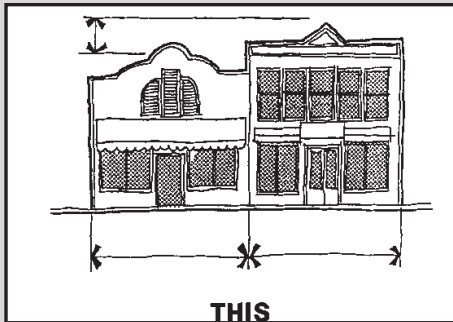
### **Guideline 1 Respect Surrounding Character**

#### **Intent**

In order to create an overall positive streetscape image, new infill development and renovation to existing structures must be considerate of their surroundings. Architectural styles should be visually compatible but also distinguishable from historical neighbors, allowing for difference among the characters of buildings along the Boulevard. Pasadena emphasizes the notion of historical continuity -- the relationship of built structures over time, but nostalgic mimicry of past architectural styles is discouraged. New development should strive to minimize visual conflicts due to widely divergent degrees of scale, massing, and articulation among neighboring buildings. Rather, building components should create visual linkages within blocks, while allowing individual identity of each building.

#### **Recommendations**

- 1.1 *Design visually attractive buildings that add richness and variety to the Downtown environment, including creative contemporary architectural solutions.*
- 1.2 *Complement the architectural character of an adjacent historic building or area; however, imitation of historical styles is discouraged. New buildings should not appear to have been constructed during a past era, and references to period architecture should be interpreted in a contemporary manner.*
- 1.3 *Respond to the regulating lines and rhythms of adjacent buildings that also support a street-oriented environment; regulating lines and rhythms include vertical and horizontal patterns as expressed by cornice lines, belt lines, doors, and windows.*
- 1.4 *Use regulating lines to promote contextual harmony, solidify the relationship between new and old buildings, and lead the eye down the street.*



**THIS**

### Guideline 2 Mitigate Massing and Bulk

#### Intent

Monolithic buildings detract from the qualities particular to East Colorado Boulevard except in parts of the Chihuahuita sub-area. At their worst, massive buildings make East Colorado Boulevard a less humane and less pleasant public environment. Properly considering the scale, massing, and detail of individual buildings not only encourages conscientious architectural design, but also promotes an enduring and coherent streetscape.

#### Recommendations

- 1.1 *Design building volumes to maintain a compatible scale with their surroundings. Large buildings should have variations in the vertical and horizontal planes in order to break up a "big box" appearance.*
- 1.2 *Detailing and texture of walls at the ground level should complement the adjacent pedestrian and landscape area, providing pleasant transition from the ground plane to the building. This is especially important in alleys.*
- 1.3 *Buildings should be designed to be viewed from all public areas/ easements, including sidewalks, alleys, and streets.*
- 1.4 *Arcades and trellises can be incorporated into building facades to diminish the impact of the building mass while providing an inviting and functional area for pedestrians.*
- 1.5 *When buildings must be set back from the street, smaller, freestanding structures can be used to provide a street-front presence, provide a buffer to the parking, and/or reduce the impact of large buildings.*

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## *Design Guidelines*

- 1.6 *Employ simple, yet varied masses, and emphasize deep openings that create shadow lines and provide visual relief; discourage monolithic vertical extrusions of a maximum building footprint.*
- 1.7 *Use articulated sub-volumes as a transition in size to adjacent historic or residential structures that are smaller in scale.*
- 1.8 *Vary three-dimensional character as a building rises skyward; in general, differentiate between the base, middle, and top levels of a building.*

### Guideline 3 Emphasize Human-scale Design

#### Intent

Scale refers to how the size of the building relates to the size of a person. Individuals interact with the street level of buildings. How this part of buildings “faces” the pedestrian is likely to influence their perception of that entire part of the block. The scale of buildings, therefore, should be designed to reinforce the ambiance of the pedestrian environment. Rich visual details at the street level add interest and character to the façade, setting the stage for an active street environment and reinforcing pedestrian comfort. If emphasis is placed on the human level, buildings will communicate East Colorado Boulevard as an inviting and pleasant living environment.

#### Recommendations

- 1.1 *Distinguish the ground level of a building from the upper levels of a building, especially where a building orients to the street and/or defines public space.*
- 1.2 *Use design elements such as separate storefronts, display windows, shop entrances, exterior light fixtures, awnings and overhangs to add interest and give a human dimension to street-level building facades.*
- 1.3 *Provide articulated storefronts rather than blank walls that face onto pedestrian spaces, sidewalks, and corridors. This can be accomplished with storefront windows, stucco relief forms, murals, landscaping and tile.*
- 1.4 *Architectural detail should be used to enhance the building and the adjacent pedestrian spaces by adding color, shadows, and appropriate variation in form.*

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## *Design Guidelines*

- 1.5 *Pedestrian-level exterior walls should have elements of building depth and character. Emphasize windows, trellises, roof overhangs, recessed or projected stories, columns, balconies, wainscots, and awnings.*
- 1.6 *Give greater attention to detail at the street level of a building to satisfy the pedestrian; emphasize details that modulate the light and provide evidence of artistry and draft.*
- 1.7 *Provide overhead cover along the sidewalk for pedestrian comfort, especially where there are few mature street trees; canopies and awnings are encouraged.*

### Guideline 4 Unify and Articulate Building Facades

#### Intent

The design, form, and use of materials for buildings play an important role in defining the character and architectural style of East Colorado Boulevard. Carefully selected materials, texture, and detail of walls and facades along public streets and pedestrian areas create favorable impressions and a sense of place. This results in community spaces that are pleasant to be in, embraced, and respected. Creative use of building elements (roofs, facades, and wall openings), in conjunction with appropriate site planning and the proper combination of form and massing, can result in a well-balanced building design that contributes to the overall sense of place and community for East Colorado Boulevard.

#### Recommendations

- 1.1 *Each building should have a definable base such as wainscot or bulkhead, a roof line, parapet or cap detail, and identifiable entry.*
- 1.2 *Variation in patterns, changes in material, building pop-outs, columns, and recessed areas should be used to create patterns of shadow and depth on the wall surfaces.*
- 1.3 *Architectural detail should be used to enhance the building and the adjacent pedestrian spaces by adding color, shadows, and appropriate variation in form. Ornamental tile, built up stucco relief, and prefabricated molding forms (including cast materials) are a few suggested uses of material that should be considered.*
- 1.4 *Avoid the use of applied foam ornamentation and EIFS (Exterior Insulation & Finish System) on exposed, ground-level locations; in addition, through-the-wall vents should not be placed on primary elevations.*

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*Specific Plan*





## *Design Guidelines*

- 1.5 *Encourage the use of recessed windows that create shadow lines and suggest solidity.*
- 1.6 *Material and color should work in conjunction with the desired architectural building character and style. Appropriate materials for walls and facade include, but are not limited to, stucco, stone, tile, split-faced block, brick and wood lap siding.*
- 1.7 *Discouraged materials include highly reflective materials, plywood siding, and speed or precision block or non-textured block. In general, these materials do not complement the desired architectural character for East Colorado Boulevard.*

### Guideline 5 Windows, Doors, and Storefronts

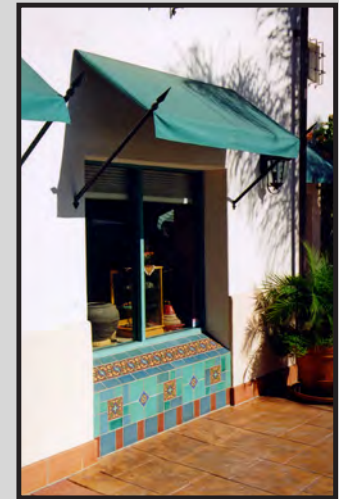
#### Intent

Well-designed storefronts that incorporate the use of windows, doors, wall articulation, colors, and material are very important in contributing toward the desired success of the individual businesses as well as the designed image for East Colorado Boulevard. Creating inviting street level facades also offers the greatest opportunity to support pedestrian activity and therefore an active street life.

#### Recommendations

- 1.1 *Promote active, pedestrian-oriented uses with a high degree of transparency along the street; uses should be readily discernible to the passer-by.*
- 1.2 *All storefronts should be appropriately detailed using elements that are of texture, shade and shadow, and with a clear sense of entry, identification, and pedestrian scale.*
- 1.3 *Window type, material, shape, and proportion should complement the architectural style of the building entry. Balance and the effect on the overall facade design should be carefully considered.*
- 1.4 *Restrict the use of reflective, opaque, and highly tinted glass, especially at street level; storefront doors also tend to be more inviting when they are transparent glass.*
- 1.5 *Where appropriate, windows and doors should be designed as accent elements with details such as shutters, moldings, and divided lights.*
- 1.6 *Transom windows located above the storefront windows can provide horizontal consistency in the new development areas of the project.*

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## Design Guidelines



- 1.7 Retail storefronts with display windows are encouraged within the creatively designed facade. Horizontal transom-like panes at the top of storefront windows are encouraged.
- 1.8 Doors, windows, and openings should be used to add character and interest to the wall plane.
- 1.9 Clear windows on street levels should be provided to create interesting views into businesses for pedestrians. For retail buildings, at least 60% of the Colorado Boulevard facade should have clear views into the interior. A minimum of 50% of this display area should have visual transparency into the building interior, as opposed to display windows.
- 1.10 Awnings, as well as signage, should be used to clearly demarcate building entries to help orient pedestrians. This is particularly important on rear building entrances. Refer to the City's "Design Guidelines for Signs and Awnings" for further details.
- 1.11 Awnings should not be wrapped around buildings in continuous bands. Awnings should be mounted within individual door and window openings.
- 1.12 Awnings, if lighted, should be lit with direct, architecturally interesting and appropriate fixtures such as goosenecks.



EAST COLORADO BLVD.

## Guideline 5 Design Roof Silhouettes

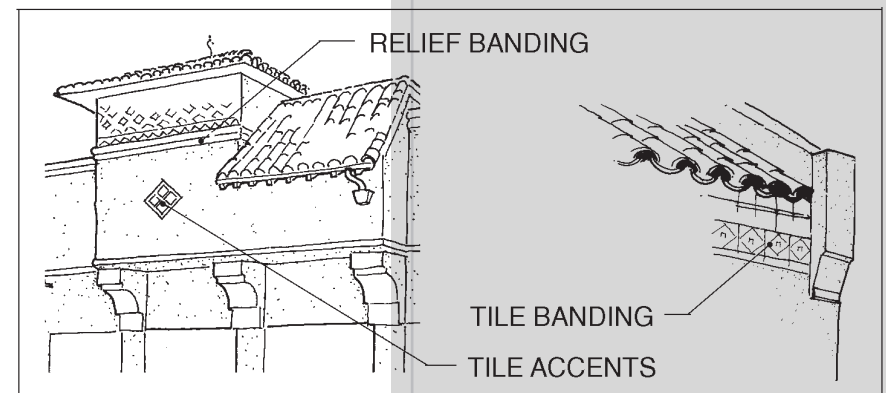
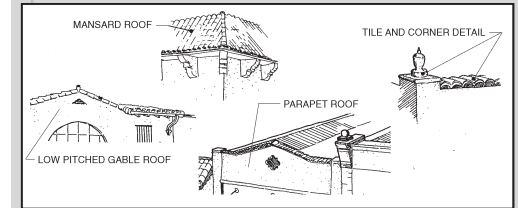
### Intent

A building's silhouette can provide a memorable image. Thus, ensuring a visually pleasing rooftop form is an important objective. Roof lines should convey the quality materials and construction of the building and should be architecturally complementary to the rest of the building. Individual rooftops should correspond to neighboring buildings to favorably add to the presence of the Boulevard. Rooftop frontages used to screen mechanical equipment should be well-designed and integrated into the design of the entire building, rather than appearing "tacked on" resulting in a negative visual impact on the building.

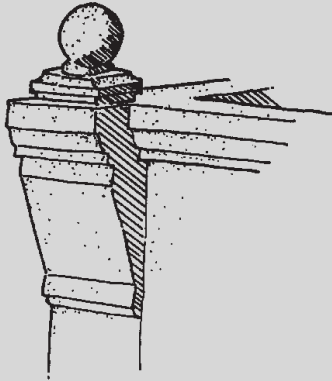
### Recommendations

- 1.1 Express roofs in a visually interesting manner that complements the composition of the building and the surrounding area; sculpted roof forms are encouraged.
- 1.2 Multiform roofs, such as gabled and shed roof combinations or shed and parapet combinations, are encouraged when they are authentically representative of a particular style.
- 1.3 Roof materials and colors are important aspects of the overall building design. Materials and colors should be consistent with the desired architectural building character.
- 1.4 Appropriate materials for pitched roofs include, but are not limited to clay or integrally colored tile, metal, or concrete tile.

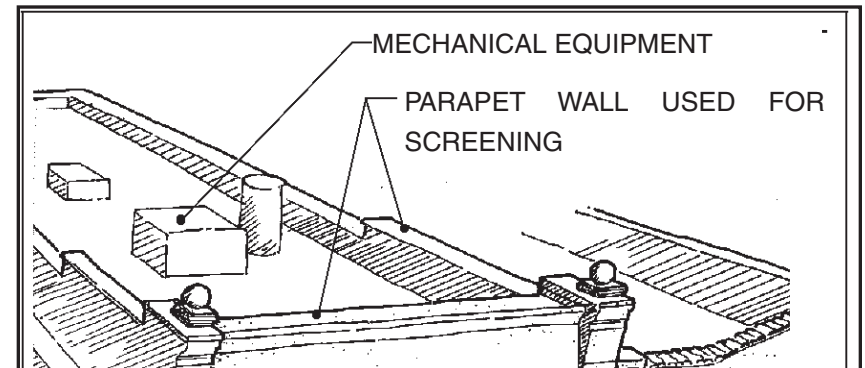
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## Design Guidelines



- 1.5 Discouraged materials include brightly colored roof tiles, or unfinished paneled roofing and highly reflective roofing.
- 1.6 Elements such as parapet caps, projecting cornices, and corner details should be used to define the edge of a flat roof. Parapets should have sufficient articulation of detail treatments such as relief banding, texture, and patterns.
- 1.8 Parapets and roof screens (wall or fence-like element that screens roof mechanical equipment from views) should be an integral part of the building design. Material and color of the roof screen shall not negatively impact the building's architecture or roof line.
- 1.9 Parapets can be extensions of the building facade, or three dimensional and substantial in size.
- 1.10 When a parapet is used in a long structure with multiple tenants, the building should be designed with vertical elements to delineate separate businesses.
- 1.11 Avoid long inarticulate flat roofs by incorporating vertical projections and corner details.
- 1.12 Parapets should not appear "tacked on" and should convey a sense of permanence. If the interior side of a parapet is visible from the pedestrian area of the project, it should receive appropriate detail, and proper application of materials should be utilized.



### Guideline 6 Site and Building Lighting

#### Intent

Effective lighting will provide safety and direction for vehicles and pedestrians, advertisement and security for businesses, while enhancing architectural building and landscape details.

#### Recommendations

- 1.1 *Lighting should be designed to provide ambiance, safety, and security without unnecessary spillover or glare onto adjacent properties.*
- 1.2 *Light fixtures should be designed or selected to be architecturally compatible with the main structure and the theme of the area.*
- 1.3 *Uplighting of building elements and trees are effective and attractive lighting techniques that are strongly encouraged.*
- 1.4 *Height of a light pole should be appropriate in scale for the building or complex and the surrounding area. Height of the light pole should not exceed the main building height.*
- 1.5 *Pedestrian light poles along pathways and sidewalks should be 10 feet to 16 feet high.*

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### Guideline 7 Signs

#### Intent

Signs play an important role in the success of any business by providing identification and needed advertising. When signs are integrated into the architectural design of buildings they provide a personal quality that contributes to the ambiance of a commercial district. Creative and unique signage expression is encouraged along East Colorado Boulevard. The City has developed a special permitting procedure within the City's Design Regulations to make this feasible. Refer to the Master Sign Plan and Creative Sign Permit section of the City Sign Regulations. The Specific Plan is consistent with City-wide policies on signage and design of signs and awnings. Please refer to the sign code for more information.



#### Recommendations

- 1.1 Signs in a 1950's theme are encouraged, especially within the Route 66 Sub-Area. Consider the use of neon, pylons, signs with angular geometric configurations, and signs with animated displays. Signs with 1950's themes in the Route 66 Sub-Area may receive a size bonus or similar location advantage. Roof signs and pole-mounted signs were common in the 1950's and may also be approved. The Creative Sign Permit regulations shall be used to encourage these signs, subject to Design Review.*

## CHAPTER SEVEN

### **INFRASTRUCTURE AND PUBLIC FACILITIES**

This chapter addresses issues concerning water, wastewater, solid waste, stormwater, energy infrastructure, and other public services within the Specific Plan area. This analysis assumes new development in the East Colorado Specific Plan area will be the maximum allocated in the City's General Plan: 750 residential dwelling units and approximately 650,000 square feet of non-residential development. Although the projected buildout of the Specific Plan area falls below the General Plan numbers, we have used the General Plan figures because they represent the maximum potential impact to City services.

Generally, East Colorado Boulevard and Allen Avenue are built-out streets with no significant right-of-way improvements necessary. The recommendations of the Specific Plan will not require significant service upgrades for any utility or service. New developments will be responsible to make the necessary improvements to the existing system in order to facilitate their own operations.

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## **A. WATER SUPPLY**

The Specific Plan area falls within the City's Sunset Pressure Zone, which is the City's largest. Water sources are local municipal water wells and the City's connection to the Metropolitan Water District's upper feeder, which brings in Colorado River water. There are two main reservoirs connected to this zone with a combined capacity of over 65 million gallons.

There are two continuous water mains running the length of the plan area and ranging in size from six inches to 24 inches. The mains are also connected to the rest of the water system at various locations along the entire length. The water demand generated by future residential and commercial development within the Plan area is not expected to create significant additional demand on the system. Development of additional impervious surfaces in the City could incrementally reduce groundwater recharge. However, the increase in impervious surfaces, as discussed in the Stormwater section below, would not be significant. Capacity exists within the current system to accommodate the amount of demand created by the current usage and the new development proposed by the Specific Plan. The Department does not anticipate any shortages or problems caused by supply shortages in this area.

The Specific Plan is considering some land use changes and modifications to allowable uses. For example, Research and Development laboratory uses and other light industrial uses could locate in some of the sub-areas of the Specific Plan and these uses could potentially be heavy water-users. Despite this, the majority of the uses anticipated in the Specific Plan are general commercial and residential in nature and will not have an above-average usage rate. As mentioned in the General Plan EIR (1994), the additional water demand projected city-wide is regionally significant, but is mitigated in the City of Pasadena by an adequate water conservation program. Future development generated by the implementation of this Specific Plan will need to comply with the Water Shortage Procedures Ordinance (P.M.C. 13.10.020), which mandates that any future project shall only consume 80 percent of expected consumption in times of shortage.

**B. SEWER/ WASTEWATER**

Colorado Boulevard has historically been Pasadena’s main commercial street. As such, most utilities were installed to serve fairly intense commercial development. The zoning along Colorado Boulevard has always been commercial with even some allowances for light industrial uses. As such, the sizing of the system is appropriate to facilitate the development intensity proposed through the Specific Plan.

Because Pasadena’s population growth estimates comply with the Southern California Association of Governments (SCAG) projections, the City’s future wastewater needs have been factored in to the Los Angeles County Sanitation District’s estimates of future capacity needs. The Sanitation District may charge developers for connecting to the sewer system or for any needed upgrade resulting from new development. The City of Pasadena requires that localized system deficiencies that would be impacted by new development be corrected at the expense of the developer. Future development would be required to adhere to the provisions of all City ordinances regarding sewer capacity allotment in the City, and any new sewer line extensions would be designed in accordance with applicable provisions of the Municipal Code and to the satisfaction of the City Engineer. Large developments are required to submit monitored flow measurements to provide information to determine and project future flow quantities. If applicable, any system improvements necessitated by new growth can be addressed through the Capital Improvements Plan. As developments occur, the City reviews existing feed lines to determine if there is a need for upgrading. Depending on the size, type of development and anticipated wastewater flow, the City may impose a condition that the developer pays for all or a portion of the cost of improving the link between the development site and the trunk line.

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### **C. SOLID WASTE**

By the year 2010, growth anticipated in the City's General Plan Environmental Impact Report will result in an increase of approximately 37,008 tons of solid waste annually for the entire City. Buildout of the Specific Plan would incrementally increase the amount of solid waste generated within the City but will be within the overall City estimate. Solid waste in Pasadena is disposed of at the Scholl Canyon Landfill located in Glendale, which is estimated to operate until between the years 2013 and 2017. The City of Pasadena has taken appropriate steps to reduce solid waste by keeping its growth projections consistent with those of SCAG and by preparing a comprehensive Source Reduction and Recycling Element (SRRE) in accordance with the California Integrated Waste Management Act. The SRRE identifies waste reduction, reuse, and recycling programs such as curbside recycling, backyard composting, and newspaper drop-off. As the proposed project has been envisioned in the City General Plan and the General Plan has taken into account both the growth forecasts of SCAG and the policies of the SRRE, the proposed project's impacts on solid waste disposal facilities are not considered significant.

### **D. STORMWATER/DRAINAGE**

Storm drainage demand in a region is affected by numerous factors, including rainfall volume and landscape permeability. Hard surfaces such as asphalt and concrete typical of an urban environment decrease permeability and increase storm drainage. The majority of the Specific Plan area is already built out, and new development in the area is likely to occur as redevelopment on already-developed sites. According to the General Plan EIR (1994), buildout of the entire City would result in an estimated 2% increase in impervious surfaces. This increase would not significantly increase runoff (General Plan EIR, 1994). Some recommendations of the Specific Plan, such as increasing landscape requirements for parking lots, would actually decrease the total developed area.

As a result, the recommendations of the Specific Plan are anticipated to have an insignificant impact on the storm drainage flow. Changes in land uses allowed or restricted through Specific plan adoption will also have no significant impact on drainage.

In 1999, the National Pollutant Discharge Elimination System (NPDES) mandated local jurisdictions to institute their respective stormwater management programs in order to comply with the broad policies of the Clean Water Act. Cities are required to implement certain measures under a permit issued by the State Water Quality Control Board, Los Angeles Region. The County is the principal permittee, and the City of Pasadena is a co-permittee. Under sections of the Permit entitled Development Planning Program, the City is required to implement certain measures to regulate the quality of storm water flowing from private developments to the network of storm drain channels that eventually drain into the ocean.

Development associated with the Specific Plan would comply with all state and federal requirements pertaining to preservation of water quality and would not be expected to increase pollutant concentrations in runoff. Individual development projects associated with the proposed Plan may require a Standard Urban Stormwater Mitigation Plan (SUSMP). The City adopted the Standard Urban Storm Water Mitigation Plan (SUSMP) Ordinance, which requires new development projects to contain or treat the first .75

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inches of rainfall in a 24 hour period. This is a measure to allow water to separate any pollutants prior to releasing to storm drain channels, catch basins and eventually to larger natural bodies of water. Depending on the type of activity that occurs in a development project, separating the pollutants from the rainwater could consist of passing the storm water through clarifiers or other appropriate equipment, or merely allowing the water to settle into an unpaved area before it flows into the street gutters. The SUSMP requires that all eligible development projects comply with the following measures to reduce impacts from stormwater runoff:

- Control post-development peak stormwater runoff discharge rates
- Conserve natural areas
- Minimize stormwater pollutants of concern
- Protect slopes and channels
- Provide storm drain system stenciling and signage
- Properly design outdoor material storage areas
- Properly design trash storage areas
- Provide proof of on-going BMP maintenance
- Implement structural or treatment BMP's that meet design standards.

With compliance with federal and state requirements and the SUSMP requirements, the Specific Plan is not expected to violate any water quality standards or waste discharge requirements. The City's SUSMP Ordinance controls storm water quality in two phases; during development planning and during construction. All development projects must comply with the Los Angeles County Municipal Storm Water Permit issued by the California Regional Water Quality Control Board and with all City ordinances.

### **E. ENERGY**

The Specific Plan area is currently being served by the Southern California Gas Company and by Pasadena Water and Power (PWP). PWP's generating station is capable of supplying 60 percent of the City's electricity needs, however, air quality regulations limit the plant's capability to generate up to its full capacity. PWP currently purchases approximately 50 percent of its energy needs from other power generators under long-term contracts for lower rates than current open market prices. PWP also purchases 15 to 25 percent of the total power supply from the electricity spot market.

Because Pasadena is linked to the state power grid, the City had its share of power interruptions during the peak energy crisis in 2001. Under an agreement with the California Independent System Operator (ISO), PWP must reduce its load if instructed to do so by the ISO during a Stage III power emergency. Such an emergency occurred most recently in March 2001, requiring PWP to temporarily interrupt electric service to some of its customers. However, being a community owned utility (and not an investor-owned utility) has its advantages. PWP prepared for deregulation with the assumption that it would work as intended, and that PWP would compete for its own customers. Preparations included cutting costs, streamlining operations, retraining its employees, establishing new customer service programs, creating budget reserves and monitoring legislative measures in Sacramento and in Washington DC. These preparations have enabled the PWP to provide adequate electricity to its home-town customers during this period. Buildout of the Specific Plan area will not have a significant impact on availability of energy resources in the City.

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**F. PUBLIC SAFETY**

The growth anticipated by the Specific Plan will increase the need for public safety services from the City of Pasadena Police Department. The Central Police Station located at 207 North Garfield Avenue is approximately  $\frac{3}{4}$  of a mile from the western edge of the Plan area and 3.5 miles from the eastern edge. The police department had indicated that the station is of adequate size to serve as police headquarters for a projected citywide 2010 population of 152,798. Additional police services are not anticipated to be required in the Specific Plan area as a result of new development because buildout under the proposed Specific Plan falls within the 2010 City projection. The increased need for staff has been envisioned within the General Plan and current Safety Element policies are adequate to mitigate the additional demand for police services. New development under the Specific Plan would also incorporate safe building/site design, such as proper lighting and visible walkways and hallways.

**G. SCHOOLS**

When building permits are issued for development projects, a school development impact fee is collected by the City for the Pasadena Unified School District (PUSD) on each residential unit constructed. In the Specific Plan area, 750 residential dwelling units are anticipated for development with an estimate of 300 school age children based on the PUSD's generation factor of .4 children per dwelling unit. These numbers have been anticipated by the General Plan EIR. The estimate of .4 is taken as an average indicator city-wide. Certain areas (such as the Fair Oaks/Orange Grove area) have estimates as high as .8 children per dwelling unit (Fair Oaks/Orange Grove Specific Plan, 2002). The potential to off-set increased costs to the PUSD is through a Development Impact Fee charged by the City. Development Impact Fees are a common method of charging development for service provision. At present, the Development Impact Fee is \$0.30 per square foot assessed on all new commercial developments or additions to existing commercial developments. The Development Impact Fee is \$1.84/square foot for new residential development, and additions to existing residential development greater than 500 square feet. This fee will minimize the cost of adding new students to the schools, and reduce potential significant adverse impacts to acceptable levels.

According to the General Plan EIR, the school system is currently operating within its capacity, and there are vacant school sites within the City that could be utilized in the future to accommodate additional student growth. Therefore, the proposed project would not significantly affect schools.

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## **H. FIRE PROTECTION**

The Pasadena Fire Department provides fire protection to the project area. The City is served by eight (8) fire stations with a typical response time of approximately four to five minutes. Buildout under the Specific Plan would create the need for additional fire protection personnel and services. However, the increase has been envisioned within the General Plan and would be adequately mitigated by existing Safety Element policies. No new facilities would be necessary. In addition, individual developments proposed under the Specific Plan would be reviewed by the Fire Department to ensure compliance with fire prevention standards. The Specific Plan area is located in a low fire hazard area of the City. Thus, no expansion of services is anticipated.

## **I. PARKS**

When building permits are issued for development projects, a Parks Department impact fee is collected by the Pasadena Parks & Natural Resources Department. This fee is collected for new parks as well as maintenance. The Specific Plan is in a built-out area with very few open space opportunities. Open space will primarily be added through plazas and parkways as part of new development. The plan advocates for a pocket park to serve the residential area near the Lamanda Park sub-area, and advocates exploring other opportunities in other sub-areas for pocket parks. Pocket parks could potentially be financed by park fees obtained through the building permit process.

**J. CONCLUSION**

The current utility and infrastructure providers will continue to provide services to the Specific Plan area. Anticipated growth in the Specific Plan can be accommodated by the current service providers without significant changes in service delivery.

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## CHAPTER EIGHT

### PLAN IMPLEMENTATION

#### **A. INTRODUCTION**

This section outlines the implementation program for the East Colorado Boulevard Specific Plan. The implementation section includes the following components:

1. An overview of the ways that a Specific Plan can bring about economic investment and desired physical improvements;
2. A review of the existing economic conditions influencing current and future development potentials in the Plan area;
3. A summary of the types of new development that are likely to be economically viable in the Plan area;
4. A description of various economic development “tools” or implementation approaches available to the City of Pasadena to achieve the Plan objectives;
5. A discussion of potential private sector involvement in carrying out selected Plan activities;
6. A review of potential funding mechanisms for implementation of key Plan initiatives; and
7. A summary matrix that identifies the specific tools and strategies applicable to the six sub-areas (and key opportunity sites) defined in the Plan.
8. Policy and regulatory actions such as changes in land uses, zoning, development standards (by city), creation of parking districts, facade improvement programs, etc.

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9. A specific plan "Action Plan" summarizing all of the Plan recommendations and improvements including; recommended public improvements and programs, timing of projects and programs, responsible agency and estimated order of magnitude costs.
10. A funding mechanisms resource guide summarizing potential funding sources from local, state, and federal levels. This guide will likely need updating from time to time as municipal financial opportunities change with frequency. The funding resource guide will be published separately from the plan.

### ***B. HOW A SPECIFIC PLAN CAN BRING ABOUT PRIVATE ECONOMIC INVESTMENT***

An effective Specific Plan typically involves both the public and private sectors. Whereas development of the land uses envisioned for a plan area is often "kick started" by various public sector initiatives, the ultimate goal of this type of planning effort is to attract desired private investment. Broadly speaking, there are two major ways that a municipality can facilitate private development:

- a) By **creating a "conducive development environment"** that is consistent with prevailing market demand for various land uses. This may include the following types of actions or policies:
  - Zoning that is responsive to market needs;
  - In key sub areas, allowing increased density through limited parking reductions to encourage underutilized and dilapidated properties to redevelop;
  - Streamlined permitting and entitlement processes;
  - Area-wide infrastructure investments, including parking facilities and street improvements;
  - Area-wide "amenity" investments, including landscape and streetscape improvements, urban furnishings;

- Marketing programs to enhance the area’s identity and recognition among consumers; and
  - Technical assistance programs for small businesses;
  - In concert with the above activities, enhance code enforcement to improve the visual appeal and function of the urban environment.
- b) By **providing direct or indirect financial assistance** to area businesses, property owners, and key development projects. This can involve the following types of initiatives:
- Waiving or reducing various local fees and taxes;
  - Assembling development sites;
  - Underwriting land cost “write-downs”;
  - Providing loans and/or grants for various business and property improvement purposes such as building facade improvements;
  - Investing in site- or project-specific infrastructure.

Each of these potential implementation items is described in greater detail below (under Section E).

### **C. ECONOMIC CONDITIONS INFLUENCING DEVELOPMENT POTENTIALS IN PLAN AREA**

An effective Specific Plan needs to be based on a realistic understanding of the market and demographic conditions affecting the Plan area. Simply changing zoning on a map will not attract development unless there is an underlying market demand for a particular land use. On the other hand, if there is immediate demand for a desirable land use that is not permitted under existing zoning, a change in zoning can bring about very significant results. Moreover, appropriate zoning changes can be made more effective if coupled with policies that address other existing barriers to development (e.g., insufficient infrastructure).

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#### **Note on Development**

*It should be emphasized that orientation of these types of policies and initiatives should by no means be limited to attracting new development. Indeed, in the case of East Colorado Boulevard, a significant focus of the Plan implementation will be on revitalization of existing development.*

In terms of demographics, the population within the Plan area has a higher percentage of residents with college and graduate degrees than the rest of the City and County. In addition, demographic information shows that the study area population has a higher percentage of white collar workers and tends to be an older population than the rest of the region. In terms of industry, employment, and commute patterns, the study area population mirrors the County population. Demographic information is found in the Analysis of Economic and Demographic Trends, East Colorado Boulevard Study Area, Natelson Company, 2001.

The following is a summary of key existing conditions that will influence the realistic range of future development opportunities in the Plan area:

- The Plan area is largely “built out”, with few vacant or underutilized parcels.
- Prevailing property values in the Plan area reflect the fact that most parcels are already developed with existing viable uses. This situation will tend to limit the financial feasibility of redeveloping these parcels with lower-density land uses. That is, in most cases, new development would need to be relatively high density in order for the ultimate value of the development to justify the costs associated with buying and clearing land that is currently occupied with other uses. While there may be some (currently underutilized) sites that are exceptions to this finding, it applies as a good rule thumb for defining the types of opportunities that are likely to exist for most parcels.
- There is an expressed desire among private stakeholders (businesses, residents and commercial property owners) to retain the area’s character as the “last bastion” of small businesses in Pasadena.
- The relatively limited availability of parking, public or private, currently serves as a constraint to development in the Plan area.

The previous conditions suggest the following major conclusions about the types of opportunities that are likely to existing for future development in the Plan area:

- Major new development will likely need to be relatively high density given prevailing land values.
- A significant focus of the Plan implementation should be on revitalization of existing development. As discussed further below, this focus will be especially important as it relates to retail uses in the Plan area.
- A major direction of the Plan should also focus on streetscape urban furnishings and beautification of the public realm.
- A significant effort to include housing at key locations within the planning area should be a focus of the Specific Plan Implementation. Housing in mixed-use formats in upper floor locations with apartment style units in a range of densities from smaller “renovation” projects to larger, new urban infill projects should be provided.



**D. TYPES OF NEW DEVELOPMENT LIKELY TO BE ECONOMICALLY VIABLE**

As part of the background research for this Specific Plan, The Natelson Company, Inc. (TNCI) prepared a market study to identify long-range demand for various types of development in the Plan area. Key findings from TNCI’s market analysis are summarized below.

**Summary of Potential Land Use Demand**

The adjacent matrix provides a summary of potential demand for new development in the Plan area over the next 20 years. These projections are expressed as unconstrained “potentials”; that is, they do not reflect the realistic physical capacity of the project area to accommodate the indicated demand such as available parking, nor do they reflect the financial feasibility of developing these uses given prevailing land values. Thus, adjustments to the projections are provided below to indicate the “real” or “adjusted” potential for new development in the area.

<b>Projected “Unconstrained” Demand For Future New Development In East Colorado Boulevard Specific Plan Area 2002-2020</b>	
<b>Land Use</b>	<b>Incremental Demand</b>
<i>Housing (Multi-Family)</i>	885 units
<i>Hotel / Motel</i>	170 rooms
<i>Community / Neighborhood Retail</i>	730,000 SF
<i>Office / R&amp;D Space</i>	Up to 450, 000 SF

**Land Value Analysis**

Whereas the above projections represent the unconstrained or “theoretical” amounts of future demand for each land use, the actual amount of new development that can occur in the Plan area is likely to be significantly less given the existing “built out” character of the Plan area and the relatively high land values associated with already-developed land.

As an initial means of estimating potential property acquisition costs (i.e., the price a developer would need to pay to acquire a site with existing development), TNCI completed a review of recent (1998 through mid-2001) sales transactions in the project area. The table below summarizes the land value data by sub-area.

Based on discussions with commercial developers and real estate brokers familiar with the market area, TNCI has also made general estimates of supportable land values (i.e., the maximum price a developer could pay for a site and still have a financially viable project) for various land use categories. These are summarized as follows:

<b>Sale Price (Per Square Foot of Land) 1998-2001</b>			
<b>East Colorado Study Area Sub-Areas</b>			
<b>Sub-Area</b>	<b>Simple Average</b>	<b>Weighted Average<sup>1</sup></b>	<b>Number of Transactions</b>
<i>Mid-City</i>	\$118.62	\$97.38	11
<i>College/Gold Line</i>	\$55.74	\$39.59	12
<i>Lamanda Park</i>	\$64.00	\$44.99	9
<i>Chihuahuita</i>	\$37.34	\$39.37	2
<b>Total</b>	<b>\$77.19</b>	<b>\$57.10</b>	<b>34</b>

<sup>1</sup> The weighted average has been weighted based on the total acreage of each transaction.

Comparing the theoretically supportable land values (Table 1) to actual land prices (Table 1) provides a reasonable gauge of the types of land uses that are likely to be feasible in different segments of the Plan area. For example, “big box” retail typically requires the lowest land cost of all land uses considered. The supportable land value range of \$25-\$30 per square foot suggests that “big box” uses are virtually “priced out” of the East Colorado Boulevard corridor. Clearly, there may be exceptions to this finding (e.g., a Target store is currently being

developed in the Plan area), but on the whole it would appear that additional “big box” retail uses are not likely to be attracted to the Plan area due to relatively high property costs.





<b>General Ranges of Supportable Land Values East Pasadena Market Area</b>	
<b>Land Use Category</b>	<b>Estimate Supportable Land Value (per square foot of land)</b>
Multi-family residential (32 dua)	\$25 - \$35
Multi-family residential (60 dua)	\$40 - \$55
Multi-family residential (87 dua)	\$60 - \$80
Office (2.0 F.A.R.)	\$40 - \$60
R & D space	Highly variable depending on type
Hotel/motel	Highly variable depending on type
Neighborhood retail	\$35 - \$50
"Big box" retail	\$25 - \$30

Neighborhood retail development can support a slightly a higher land value (\$35-\$50 per square foot), but is still likely to be "priced out" of much of the Plan area.

The financial feasibility of residential uses in the Plan area will depend largely on the density of development. Based on the above data, it appears that residential development will be feasible in the Plan area at higher densities (60 units per acre). Again, there may be exceptions to this finding at some locations in the Plan area, but on the whole it is not likely that development at a lower density (e.g., 32 units per acre) will be feasible. Based on discussions with area residential developers, demand for high-density housing in the Plan area is likely to be for rental apartments rather than condominiums.

Future opportunities for hotel/ motel development in the Plan area are likely to be highly project-specific given the significant range of facility types in this land use category. In general, it would appear that lower density "motel" uses would be feasible only in the east portions of the Plan area, whereas high-density "hotel" uses would be feasible in the "Mid-City" sub-area where adjacency to the central district and higher land values would dictate hotel density and market type.

Office uses would be more feasible in the Plan area if developed at a floor-area-ratio (FAR) of at least 2.0. A portion of the indicated 450,000 square feet of office/ R&D demand could be occupied by R&D uses. Given that R&D space is typically developed at an FAR of less than 2.0, it is likely that this type of use would only be feasible in the less-expensive eastern segments of the Plan area. From a strategy standpoint, the City's zoning should be flexible enough to accommodate R&D uses in office zones, although from a land-value/ financial perspective it is not clear that there will be significant demand for R&D space in the Plan area.

### **Mixed-Use Development Options**

Given the relatively high densities that will be required for financially viable development, mixed-use development is likely to be a very appropriate option for the Plan area. Thus, the development potentials for each land use will not necessarily be stand-alone opportunities, but may be components of multiple-use projects.

## E. AVAILABLE IMPLEMENTATION APPROACHES OR "TOOLS"

As noted previously, there are two basic categories of actions the City can take to implement the Specific Plan:

- a) Actions that relate to **creating a "conducive development environment"** that is consistent with prevailing market demand for various land uses.
- b) Actions that relate to **providing direct or indirect financial assistance** to area businesses, property owners, and key development projects.

The potential applicability of each of these program types to the Plan area is discussed below.

### "Development Environment" Improvements

**Zoning.** From an economic perspective, two key issues need to be addressed as it relates to zoning within the Plan area:

1. Allowable densities need to be high enough to facilitate market-driven redevelopment of selected parcels given the relatively high land values in the Plan area. As noted previously this will be particularly important as it relates to housing development, with high densities (48-60 du/acre) likely being necessary to attract private investment.
2. Zoning should allow the flexibility to develop desirable land uses for which the future market is uncertain. The prime example is R&D space. The development density (and related ability to support high land costs) for R&D uses varies widely. Thus, it is not a "given" that R&D uses will be attracted to the Plan area given the relatively high property values. Nevertheless, R&D is clearly a land use that would be desirable within some segments of the Plan area. From a strategy standpoint, the most appropriate way to handle this uncertainty would be to allow R&D uses to be built within selected sub areas. That way, the Plan would allow these uses

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should the market materialize for them, but will not preclude other desirable uses (e.g., office space) for which demand may prove to be more immediate.

3. **Parking Reductions and Parking Districts:** Perhaps the most effective tool available to the City in terms of encouraging revitalization of key properties is to allow limited reductions in parking requirements at transit nodes and establish parking districts in other key sub areas. Chapter V discusses these recommendations in greater detail. Due to the 'built-out' nature of the area and existing land values, new development must derive an incentive to redevelop. The greatest limitation on development density is the amount of land dedicated to parking. By limited and strategic reductions in parking requirements, and creation of parking districts supportable by the proximity to transit pedestrian orientation , mix of uses and trip reductions and critical incentives can be provided for new development.

**Streamlined permitting and entitlement.** A key advantage to adopting a Specific Plan is that it provides a vehicle for expedited approval of development proposals that are consistent with the community vision established by the Plan. Developers consistently cite this type of provision as a key factor in selecting the communities where they will pursue projects. In this regard, it is essential that the adopted plan remove to the maximum degree possible the need for discretionary approvals for projects that fall within the development "envelope" established by the Plan.

**Area-wide infrastructure investments.** The specific infrastructure improvements proposed as part of this Plan are identified in Chapter VI.

Area-wide "amenity" investments in the form of streetscape improvements such as street trees, street furnishings, lighting and banners, sidewalk crosswalk improvements will serve to "set the table" creating an upgraded urban environment to encourage new private investment. The specific streetscape upgrades proposed in this Plan are identified in Chapter III.

**Marketing program.** Marketing initiatives can improve the Plan area's prospects with respect to attracting both investors (i.e., new development) and consumers (i.e., revitalization of existing uses). A key thrust of the overall Plan implementation should be to elevate the image and market "identity" of the Plan area as a whole and of key sub-areas. The following types of marketing activities are appropriate for the Plan area:

- Establish a marketing committee representing a broad spectrum of interested stakeholders (property owners, business owners, developers, city staff, area residents, etc.).
- Identify the key "messages" and "audiences" for the marketing campaign.
- Prepare a marketing Action Plan incorporating the types of programs outlined below and reflecting the specific input and priorities of the marketing committee.
- Develop graphic materials and color palettes to support the identified marketing messages.
- Provide oversight and guidance during preparation of streetscape, signage and other physical improvements that reinforce the "flavor" and desired name recognition of the Plan area and key sub-areas. As a potential supplement to permanent improvements, a pole banner (or similar) program could be implemented on a seasonal basis to expand consumer recognition of the Plan area as a "place" and to support specific special events, etc. This type of activity will be especially important in sub-areas where the City would like to promote pedestrian-oriented uses (e.g. Lamanda Park).
- Establish an annual calendar of special events aimed at attracting additional "foot traffic" to sub-areas where a pedestrian orientation is desired.
- Implement a print media advertising campaign to: a) expand general consumer awareness of the Plan area and b) promote specific special events. Where appropriate, the print media campaign can be supplemented by radio advertising.
- Set-up an "East Colorado" page on the City's Web site.

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- Implement a direct mail campaign to existing businesses within the Plan area to encourage their participation in planned improvements and to make them aware of business assistance programs available through the City.
- Involve code enforcement to assist with beautification and marketing goals.

It should be emphasized that marketing programs of this nature are typically most effective when supported by both the public and private sectors. Whereas it is likely that the City would have a role in facilitating the initiation of an East Colorado marketing program, it is anticipated that the business community would be responsible for long-term management of the effort. Potential funding mechanisms for the indicated marketing program are described below.

**Technical assistance programs.** Consistent with the emphasis on revitalization of existing facilities and with the desire to retain the “mom and pop” character of the Plan area’s business base, technical assistance programs for small businesses should be an explicit part of the Plan implementation. This will be especially important as other parts of Pasadena focus more on new development that may tend to displace small, independent businesses with national chains. The City’s existing small business workshop program should be expanded within the Plan area, with events offered at Plan area locations.

The City should also implement an East Colorado small business outreach program (by direct mail) to increase the business community’s awareness of available assistance programs and to encourage contact with City business assistance specialists if they are facing any specific problems that may threaten the viability of their business.

**Code Enforcement:** Important steps can be achieved towards the goal of urban beautification through consistent and on-going code enforcement. Pasadena has a very thorough and sophisticated public policy aimed at maintaining a high quality of urban environment. Many of the goals and plan recommendations can be implemented by enforcing existing codes. This plan recommends establishing a code enforcement



component within the marketing program. Some of the specific code enforcement / compliance issues to be dealt with include:

- Graffiti abatement
- Window etching
- Vandalism
- Prostitution

### Financial Incentive/ Assistance Programs

**Reductions of local taxes/ fees.** Consistent with the desire to retain the Plan area as a “last bastion” of small business, the City should review its existing business tax structure to identify potential incentives that could be offered to small businesses in the Plan area. To the degree it is not fiscally feasible to offer a reduction in business license taxes to all small businesses in the area, the Plan should at a minimum offer specific, one-time reductions to businesses that participate in other facility improvement programs included in the Plan. For example, building façade improvements completed using the loan/ grant funds described below could be exempted from construction taxes. This would be consistent with incentives the City has offered in other parts of Pasadena.

**Land assembly.** Often development in a largely built-out Specific Plan area is facilitated by land assembly efforts of the public sector. That is, a public entity purchases small parcels of land and assembles them into market-ready development sites that can be resold to private developers. In most cases this function is carried out by a redevelopment agency using its powers of eminent domain. Given that the East Colorado Boulevard Specific Plan area does not include any City of Pasadena redevelopment project areas, opportunities for land assembly in the Plan area are likely

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to be very limited. However, one specific opportunity that does exist for land assembly is the in the area immediately surrounding the planned Gold Line station on Allen Avenue. In this instance, the land acquisition would be pursued by the Los Angeles County Metropolitan Transit Authority (MTA). Given the ability to assemble a viable development site and the enhanced land use demand associated with the station, this represents a key opportunity site for high density, mixed-use development.

**Land cost "write-downs"**. In some instances, land assembly efforts are enhanced by land cost "write-downs." In these cases, the public agency resells the acquired land to private developers at a price lower than the agency paid. Again, given the absence of a redevelopment project area on the East Colorado corridor, this strategy is not a viable option for this Plan. For the area immediately surrounding the planned Gold Line station (i.e., the one area in the Plan where land assembly is likely to be possible), land cost write-downs are theoretically possible but the actual need for such write-downs (and the ability of MTA to provide them) is unknown at this time. As a practical matter, future development on this site would likely be subject to a request for proposals process whereby candidate developers would identify their requests for land cost write-downs in conjunction with their development proposals. These would then be negotiated based on the identified needs of the selected project.

**Loan/ grant programs**. One of the most important programs the City could implement to facilitate desired physical improvements to existing structures in the Plan area would be a facade improvement loan and/or grant program to assist property owners in making external improvements to their buildings consistent with the design guidelines articulated in the Plan. The grant program should be modeled after the City's existing Storefront Improvement Program, which provides matching grants for the following types of improvements:

- Cleaning and repair
- Awnings
- Doors

- Lighting
- Painting
- Signs
- Tile
- Windows
- Permanent landscaping
- Rehabilitation of historically significant buildings (exterior and interior spaces)

Ideally, an additional pool of funds earmarked specifically for East Colorado should be established as part of the Plan implementation.

To complement the matching grant program, the City should also consider establishing a revolving loan fund to assist property owners making more costly (i.e., structural) improvements to their buildings.

**Project-specific infrastructure assistance.** In addition to area-wide infrastructure improvements, there may be specific development projects for which it is advantageous for the City to provide financial assistance for the development of on-site or project specific infrastructure. A common example of this arrangement is the development of a public/ private parking structure to serve a private retail shopping center. Given the limited amount of new retail space that is anticipated for the Plan area, this type of assistance may have limited applicability. At any rate, these arrangements are typically negotiated on a case-by-case basis (reflecting the specific public benefits that can justify the public investment) and subject to a development agreement.

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## **F. POTENTIAL PRIVATE SECTOR INVOLVEMENT IN CARRYING OUT PLAN INITIATIVES**

There are several key roles the private sector can play in the implementation of this Plan:

- **Development of key opportunity sites** in response to market demand and the various incentives offered by the City of Pasadena;
- **Improvement of existing buildings in the Plan area** consistent with the design guidelines included in the Plan and utilizing the financial assistance programs offered by the City;
- **Leadership in the planning and implementation of a comprehensive marketing effort** for the Plan area; and
- **Leadership in beautification and quality recognition** by creating a “beautification awards” program that would apply to architecture site improvements, landscaping, maintenance and historical preservation; and
- **Leadership in the management of a Business Improvement District (BID/PBID)** for the Plan area (described further below).

## **G. POTENTIAL FUNDING MECHANISMS**

Several major categories of funding mechanisms are potentially applicable to the Plan area (refer to the funding mechanism resource guide in this chapter for additional funding sources):

- Formation of a Business Improvement District (BID) to fund various improvements and activities within the Plan area (or selected sub-areas);

- Establishment of a parking district to facilitate the development of surface parking lot (s) in the Lamanda Park sub-area;
- Grants that are designed to reduce vehicle congestion, promote the use of transit, improve housing and urban development , beautify major road corridors, and restore historic architecture should be pursued;
- Funding allocations through the City’s annual Capital Improvement Plan (CIP) process (for major infrastructure improvements in the Plan area).

The BID and parking district concepts are described further below.

**Business Improvement District.** A Business Improvement District (BID) or Property and Business Improvement District (PBID) are mechanisms for assessing and collecting fees that can be used to fund various improvements and programs within the District. The range of activities that can potentially be funded through PBID/ BID’s is broad, and includes parking improvements, sidewalk cleaning, streetscape maintenance, streetscape improvements (i.e., furniture, lighting, planting, etc.), promotional events, marketing and advertising, security patrols, public art, trash collection, landscaping and other functions. The City of Pasadena has several existing BID’s.

Within the East Colorado Specific Plan area, the following activities would be ideally suited for BID funding:

- Marketing activities (including planning, media/ banner development, special events organization, and ongoing advertising);
- Landscape and streetscape improvements; and
- Parking improvements (see additional discussion below).

There are several legal forms of BID’s authorized by California law. The most common are districts formed under the Parking and Business Improvement Law of 1989. Business Improvement Areas (BIA’s) formed under the 1989 law impose a fee on the business licenses of the businesses (rather than the property owners) operating in the area. The collected funds are used to pay for the improvements and activities specified in the formation documents.

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*Specific Plan*



A similar assessment procedure was authorized by the Property and Business Improvement District (PBID) Law of 1994. The distinction is that the PBID makes the assessment on the real property and not on the business itself.

While it was beyond the scope of the initial Specific Plan effort to conduct a feasibility study for the formation of a BIA or PBID, it is recommended that this step be pursued during the initial stages of the Plan implementation. Generally speaking, the BIA format works well for marketing and other programmatic activities that serve to directly benefit area businesses (i.e., tenants), whereas a PBID may be more appropriate for permanent physical improvements that stand to improve property values in the area. It should also be noted that given the size and diversity of the Plan area, it may be appropriate for separate BIA's or PBID's to be formed for different sub-areas of the corridor. In this way, the collected funding could be more specifically targeted to the unique improvement and programmatic needs of each sub-area.

To provide focused improvement recommendations and business organization in the Chihuahuita sub area, an auto dealership association could be formed. There are many issues specific to auto dealers such as visibility, deliveries, access, parking, etc. that could benefit from the oversight of such an association.

**Parking Districts.** As described in Chapter IV, it is recommended that parking districts be established in the Lamanda Park Mid-City and College sub-areas for the purpose of funding the development of surface parking lot (s) to increase each area's ability to reach its district vision and goals. The additional parking would facilitate reuse of existing structures and new development. Two potential mechanisms exist for funding parking districts:

- It could be included as part of the real-property based assessment for a PBID; or
- The City could establish an in-lieu parking fee for new commercial uses in identified sub-areas (similar to the existing parking in-lieu fee in Old Pasadena).





**H. SUB-AREA STRATEGY MATRIX**

The following table provides a summary of the principal implementation tools by sub area. While the table is not all inclusive, it provides an “at-a-glance” comparison of activities planned for each sub area. A detailed list of implementation activities is provided in the next section.

**Checklist of Applicable Implementation Tools By Sub-Area  
East Colorado Specific Plan**

<b>Sub-Area</b>	<b>Higher Density Zoning</b>	<b>Mixed-Use Development (Commercial, Office, Housing)</b>	<b>Streetscape Beautification &amp; Furnishings</b>	<b>Marketing Program Assistance</b>	<b>Technical Assistance Business</b>	<b>Land Assembly</b>	<b>Fee/Tax Reductions</b>	<b>Loan/Grant (Façade) Program</b>	<b>BID/PBID</b>
Mid-City*	X	X	X	X	X		X	X	
College District*	X	X	X	X	X	X	X	X	
Route 66	X		X	X	X		X	X	X
Gold Line **	X	X	X	X	X	X	X	X	
Lamanda Park *	X	X	X	X	X		X	X	X
Chihuahuita **	X <sub>1</sub>	X <sub>1</sub>		X	X	X		X	X

\* Sub-areas suggested to have a parking district

\*\* Transit Nodes are eligible for limited parking reductions for non-residential uses and increased residential densities.

1 Only at transit node

**I. POLICY AND REGULATORY ACTIONS (BY CITY)**

An Implementation Ordinance will be drafted and adopted by the City, which will provide the regulatory framework for the Plan. The Ordinance will include all development standards and land use controls described in the Plan and will provide the primary tool for regulation of private development. The Ordinance will be incorporated into the Pasadena Municipal Code concurrent with or following the adoption of the Specific Plan.

**J. IMPLEMENTATION ACTION PLAN**

The vision and goals presented in the East Colorado Boulevard Specific Plan are supported by the following Implementation Action Plan. The Action Plan provides a summary of Plan recommendations and is presented in a table format providing a clear listing of the major programs, projects and actions needed for implementation. The table also identifies the responsible agency or party, estimated “order of magnitude” costs associated with each action and potential timing of the action. The table is organized to discuss regulatory actions, programs and improvement projects for the entire Plan area with specific direction for each Planning sub-area.

<u>Recommendations</u>	<u>Who?</u>	<u>How Much?</u>	<u>When?</u>
<b>Regulatory Actions</b>			
<b>Priority Regulatory Actions</b>			
<u><b>Municipal Code Revisions</b></u> Implement zoning, land use and development standard changes as recommended by the Specific Plan. (This includes parking requirement adjustments in the Lamanda Park, College and Gold Line sub-areas.)	Planning and Development Department	Staff Function	Upon Adoption of Implementing Ordinance
<u><b>Development Review</b></u> Ensure that the recommendations for private development concerning design guidelines and urban design are carried out per adopted City development review procedure. All new buildings along Colorado Boulevard of 5,000 square feet or more shall be subject to design review.	Planning and Development Department	Staff Function	As applications for new developments are processed
<u><b>Code Enforcement</b></u> Ensure that code enforcement staff participates with Marketing and BID efforts. Increase the focus on code enforcement within the Plan area especially in the area of window signs and sign clutter.	Neighborhood Services Division	Staff Function	Upon Plan Adoption
<u><b>Historic Preservation</b></u> Pursuant to the City’s historic preservation ordinance, preserve architecturally significant buildings and make owners of such buildings aware of special development provisions and incentives.	Planning and Development Department	Staff Function	Upon Plan Adoption
Submit a landmark nomination for all buildings in the historic resources survey with status codes 5sl or higher as funding and resources are available. The City should also participate in nominating qualifying properties, either individually or as multiple resource nominations for the National Register of Historic Places.	Design and Historic Reservation	Staff Function	DHP Work Plan

<u>Recommendations</u>	<u>Who?</u>	<u>How Much?</u>	<u>When?</u>
<b>Regulatory Actions</b>			
<b>Priority Regulatory Actions</b>			
<u><b>Parking District For Lamanda Park</b></u> Initiate actions to create a parking district in the Lamanda Park sub-area. Potential steps should include; create a parking committee, commission a parking study, identify the elements of the parking district and create a funding mechanism.	Planning and Development Department	Allocate up to \$100K for the parking study, Funding for improvements from the CIP or in-lieu fees	<b>PRIORITY ITEM</b>
<u><b>Parking District for Mid-City and College</b></u> Initiate actions to create a parking district in the Mid-City and College sub-area. Potential steps should include; create a parking committee, commission a parking study, identify the elements of the parking district and create a funding mechanism.	Planning and Development Department	Allocate up to \$100K for the parking study, Funding for improvements from the CIP or in-lieu fees	As Prioritized
<u><b>Evaluation of Gold Line Public Parking</b></u> Initiate a study to determine if additional public parking may be needed to support Plan goals and the Gold Line transit station. The study should evaluate acquisition and conversion of residential lots along Corson St. East of Allen as one potential location.	Public Works and Transformation	Staff Function	Following opening of Gold Line Station
<u><b>Annexation Study</b></u> Initiate a study to determine the feasibility and implications of annexing portions of the City Edge area into the City of Pasadena. Coordinate with Los Angeles County.	Planning and Development Department	Unknown	As Prioritized
<u><b>Handicap Parking</b></u> Ensure adequate handicapped parking spaces are supplied throughout the Specific Plan area along Colorado Blvd. Coordination with Public Works Department per department policy.	Public Works and Transportation Department	Unknown	

# Implementation Plan

<u>Recommendations</u>	<u>Who?</u>	<u>How Much?</u>	<u>When?</u>
<u>Programs</u>			
<u>Priority Programs</u>			
<p><b><u>Facade Improvement Program</u></b>            Allocate additional funding to the existing Storefront Improvement Program for all properties within the Plan area.</p>	Planning and Development Department	Allocate \$100,000 to existing program	<b>PRIORITY ITEM</b>
<p><b><u>Technical Assistance Program</u></b>            Initiate a technical assistance program for the entire Plan area. A component of this program should be outreach and education to small businesses and expansion of the City's existing small business workshops program.</p>	Planning and Development Department	Staff function	Ongoing
<p><b><u>Marketing Program</u></b>            Establish one or more marketing committees (e.g., Lamanda Park, College, Route 66 areas) representing a broad spectrum of interested stakeholders and develop a marketing program including; identifying audience and message, prepare action plan, develop graphics, involve code enforcement, develop calendar of events and activities and a supporting advertising campaign, create web site, develop outreach program to area businesses.</p>	Business community, possibly a BID/PBID, in conjunction with City staff	Privately financed	
<p><b><u>Business Improvement District</u></b>            Initiate the study of and creation of a Property and Business Improvement District(PBID) and for Business Improvement Districts (BID) in the various sub-areas. A study should be commissioned to examine the feasibility of a PBID, formulate the exact structure and economic program and to assist with the implementation of such an entity.</p>	Economic Development Department in conjunction with area business leaders	Allocate up to \$150K for the BID study and implementation actions.	As Prioritized
<p><b><u>Beautification Recognition Program</u></b>            Initiate a program to provide recognition for beautification efforts including; façade and architectural enhancements, landscaping, upkeep and maintenance.</p>	Business community, possibly a BID/PBID in conjunction with City staff	Staff Function	<b>PRIORITY ITEM</b>

Improvement Projects	Who?	How much?	When?
<u>Streetscape and Urban Design Improvements</u>			
<u>Priority Improvement Projects</u>			
<p><u>Mid-City Sub-Area</u>                      Prepare streetscape improvement plans including but not limited to the following elements: *</p> <ul style="list-style-type: none"> <li>• Plant street trees on both sides of street (approx. 1/40') where gaps exist</li> <li>• Install decorative pedestrian streetlights (approx. 1/100') with banner attachments both sides of street</li> <li>• Install street landscaping in large Pots/planters in clusters with irrigation where feasible</li> <li>• Install benches, trash cans, and bus shelters at identified transit and ARTS bus stops, assume 2 locations.</li> <li>• Repair and clean sidewalks</li> <li>• Secure and celebrate the Foothill Boulevard marker near 1308 East Colorado. Provide landscaping and plaque describing the significance of the marker</li> </ul>	Public Works and Transportation Department  Planning and Development Department	Allocate up to \$180 K for the Improvement Plans and up to \$650 K for the improvements	As prioritized through Capital Improvement Plan (CIP)

# Implementation Plan

Improvement Projects	Who?	How much?	When?
<b><u>Streetscape and Urban Design Improvements</u></b>			
<b><u>Priority Improvement Projects</u></b>			
<p><b><u>College District Sub-Area</u></b>            Prepare streetscape improvement plans including but not limited to the following elements: *</p> <ul style="list-style-type: none"> <li>• Plant street trees on both sides of street (approx. 1/40') where gaps exist</li> <li>• Install decorative pedestrian streetlights (approx. 1/100') with banner attachments both sides of street</li> <li>• Install street landscaping in large Pots/planters in clusters with irrigation where feasible</li> <li>• Install benches, trash cans, and bus shelters at identified transit and ARTS bus stops, at existing locations</li> <li>• Repair and clean sidewalk</li> <li>• Install decorative crosswalks at the following intersections:               <ul style="list-style-type: none"> <li>○ Hill Ave./Colorado</li> <li>○ Harkness Ave./Colorado</li> <li>○ Allen Ave./Colorado</li> </ul> </li> <li>• Install expanded sidewalks (bulb-outs) and mid-block crosswalks with decorative paving at 1 location</li> <li>• Remove parallel parking and widen sidewalk across the Pasadena City College frontage (cooperation with Pasadena City College to remove parallel parking and wider sidewalk, share costs with PCC)</li> <li>• Install public art as approved by Arts Commission</li> <li>• Install directional signs with attractive logo/graphic</li> </ul>	Public Works and Transportation Department  Planning and Development Department	Allocate up to \$180 K for the Improvement Plans and up to \$1.2 M for the improvements	As prioritized through Capital Improvement Plan (CIP)

# EAST COLORADO BLVD.



Improvement Projects	Who?	How much?	When?
<u>Streetscape and Urban Design Improvements</u>			
<u>Priority Improvement Projects</u>			
<p><b>Gold Line Sub-Area</b> Prepare streetscape improvement plans including but not limited to the following elements: *</p> <ul style="list-style-type: none"> <li>• Install landscaped and irrigated median and gateway monument between Corson and Locust.</li> <li>• Widen sidewalks between Walnut and Colorado in front of multi-family residential</li> <li>• Plant street trees on both sides of street (approx. 1/40') where gaps exist</li> <li>• Install decorative pedestrian streetlights (approx. 1/100') with banner attachments both sides of street between Colorado and Corson</li> <li>• Install benches , trash cans, and bus shelters at identified transit and ARTS bus stops, assume 2 locations.</li> <li>• Repair and clean sidewalks</li> <li>• Install decorative crosswalks at the following intersections:                             <ul style="list-style-type: none"> <li>◦ Corson St./Allen Ave</li> </ul> </li> <li>• Install Directional signs with attractive logo/graphic</li> <li>• Coordinate with MTA and Gold Line Construction Authority on Gold Line improvements to match these improvements</li> </ul>	<p>Public Works and Transportation Department</p> <p>Planning and Development Department</p>	<p>Allocate up to \$100 K for the Improvement Plans and up to \$650 K for the improvements</p>	<p>As prioritized through Capital Improvement Plan (CIP)</p>



# Implementation Plan

Improvement Projects	Who?	How much?	When?
<b>Streetscape and Urban Design Improvements</b>			
<b>Priority Improvement Projects</b>			
<p><b>Route 66 Sub-Area</b>            Prepare streetscape improvement plans including but not limited to the following elements: *</p> <ul style="list-style-type: none"> <li>• Plant street trees on both sides of street (approx. 1/40') where gaps exist</li> <li>• Install decorative pedestrian streetlights (approx. 1/100') with banner attachments both sides of street</li> <li>• Install benches, trash cans, and bus shelters at identified transit and ARTS bus stops, assume 4 locations</li> <li>• Repair and clean sidewalk</li> <li>• Installation of Route 66 theme signage and pavement markings (number – location to be determined)</li> <li>• Install directional signs with attractive logo/graphic</li> </ul>	Public Works and Transportation Department  Planning and Development Department	Allocate up to \$100 K for the Improvement Plans and up to \$650 K for the improvements	



# Implementation Plan

Improvement Projects	Who?	How much?	When?
<u>Streetscape and Urban Design Improvements</u>			
<u>Priority Improvement Projects</u>			
<p><b>Chihuahuita Sub-area</b>            Prepare streetscape improvement plans including but not limited to the following elements: *</p> <ul style="list-style-type: none"> <li>• Install new raised, landscaped and irrigated medians between Sunny Slope and Sycamore with necessary left turn pockets and breaks for vehicle movements and delivery of autos.</li> <li>• Medians and/ or right-of-way beautification methods will be installed in cooperation with auto dealers and other landowners.</li> <li>• Install a gateway monument at the City limits near Sycamore</li> <li>• Plant street trees on both sides of street (approx. 1/40') where gaps exist.</li> <li>• Install decorative pedestrian streetlights (approx. 1/100') with banner attachments both sides of street</li> <li>• Install benches, trash cans, and bus shelters at identified transit and ARTS bus stops, assume 2 locations.</li> <li>• Repair and clean sidewalk</li> <li>• Installation of Route 66 theme signage and pavement markings</li> <li>• Install Directional signs with attractive logo/graphic</li> </ul>	Public Works and Transportation Department  Planning and Development Department	Allocate up to \$270 K for the Improvement Plans and up to \$1.8 M for the improvements	As prioritized through Capital Improvement Plan (CIP)



<u>Recommendations</u>	<u>Who?</u>	<u>How Much?</u>	<u>When?</u>
<b>Transportation Improvements</b>			
<p><b><u>ARTS Transit Extension</u></b> Initiate discussion with area transit authorities to examine the feasibility of extending the ARTS Transit Service to the eastern area of the Plan area, and to expand service connections to the two Gold Line light rail stations. Service extensions should provide local transit connections between all sub-areas and light rail, and other important city-wide destinations.</p>	Public Works and Transportation Department	Staff Function	Existing Public Works and Transportation Work Plan
<p><b><u>Transit Service Improvements</u></b> Initiate discussion with area transit authorities to examine the implications to improving public transit service to the Plan area as described in the Specific plan. Evaluation of connecting the Gold Line stations to transit services along Colorado is specifically directed.</p>	Public Works and Transportation Department	Staff Function	Existing Public Works and Transportation Work Plan
<p><b><u>Bicycle Facilities</u></b> Initiate studies to determine the feasibility and implications of installing bike routes / lanes on Colorado Boulevard and local streets paralleling Colorado Blvd. to the north and south as described in the Specific Plan.</p>	Public Works and Transportation Department	Staff Function	Existing Public Works and Transportation Work Plan

\* Streetscapes and urban design improvements may be expanded to include elements in addition to those listed during the project design development process (i.e. decorative paving, flower pots on streetlights, etc.).