




## MEMORANDUM

**DATE:** JUNE 17, 2021  
**TO:** PLANNING COMMISSION  
**FROM:**  DAVID M. REYES, DIRECTOR OF PLANNING & COMMUNITY DEVELOPMENT  
**SUBJECT:** LINCOLN AVENUE SPECIFIC PLAN UPDATE

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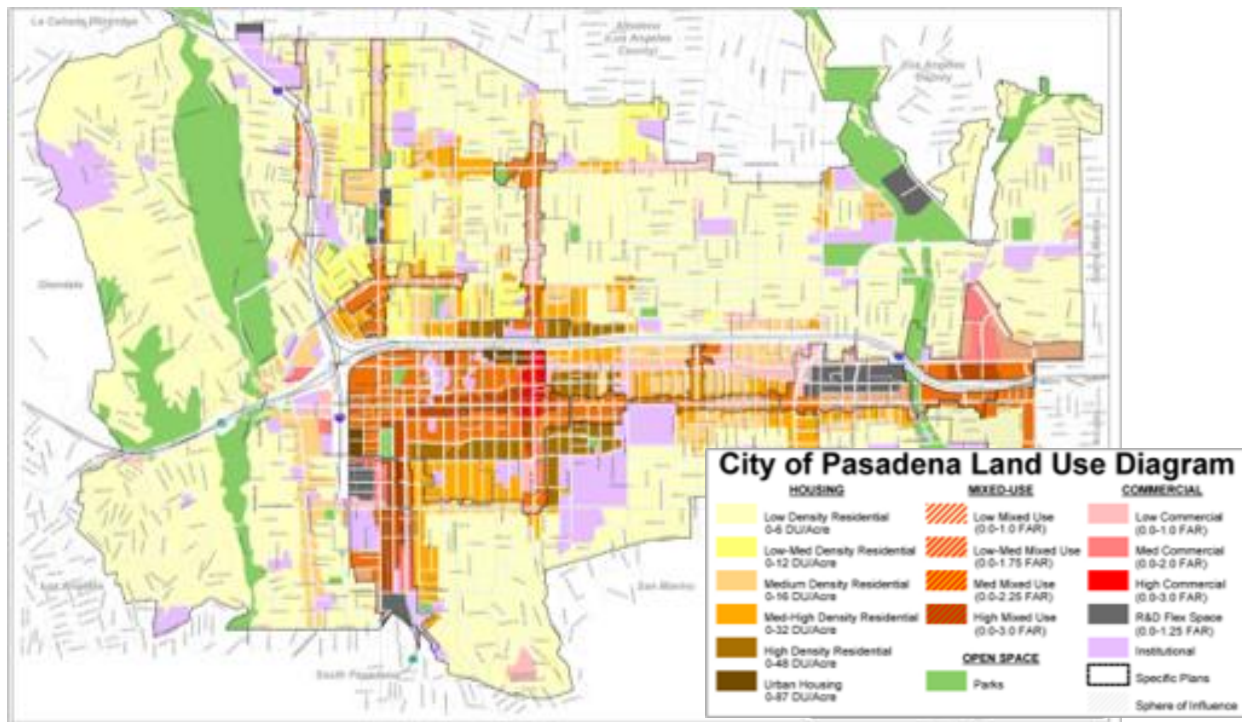
This memo is intended to provide additional information to help clarify the General Plan and Zoning Code amendments recommended in order to implement the Proposed Lincoln Avenue Specific Plan (LASP). A presentation on the specifics of the Lincoln Avenue plan area will take place on June 23, 2021.

A copy of the June 9, 2021 staff report and materials are available through the following link:  
<https://www.ourpasadena.org/LASP-PC-HR-060921>.

## GENERAL PLAN AMENDMENTS:

The [City's General Plan Land Use Diagram](#) establishes the range of land uses, density, and intensity of development allowed for all parcels within Pasadena, as shown on Figure 1. This range is defined for each land use category depicted on the diagram in the Land Use Element. Densities and intensities defined for parcels by the Zoning Code and Specific Plans may be less than, but not exceed those shown on the diagram without an amendment to the General Plan.

Figure 1. General Plan Land Use Diagram

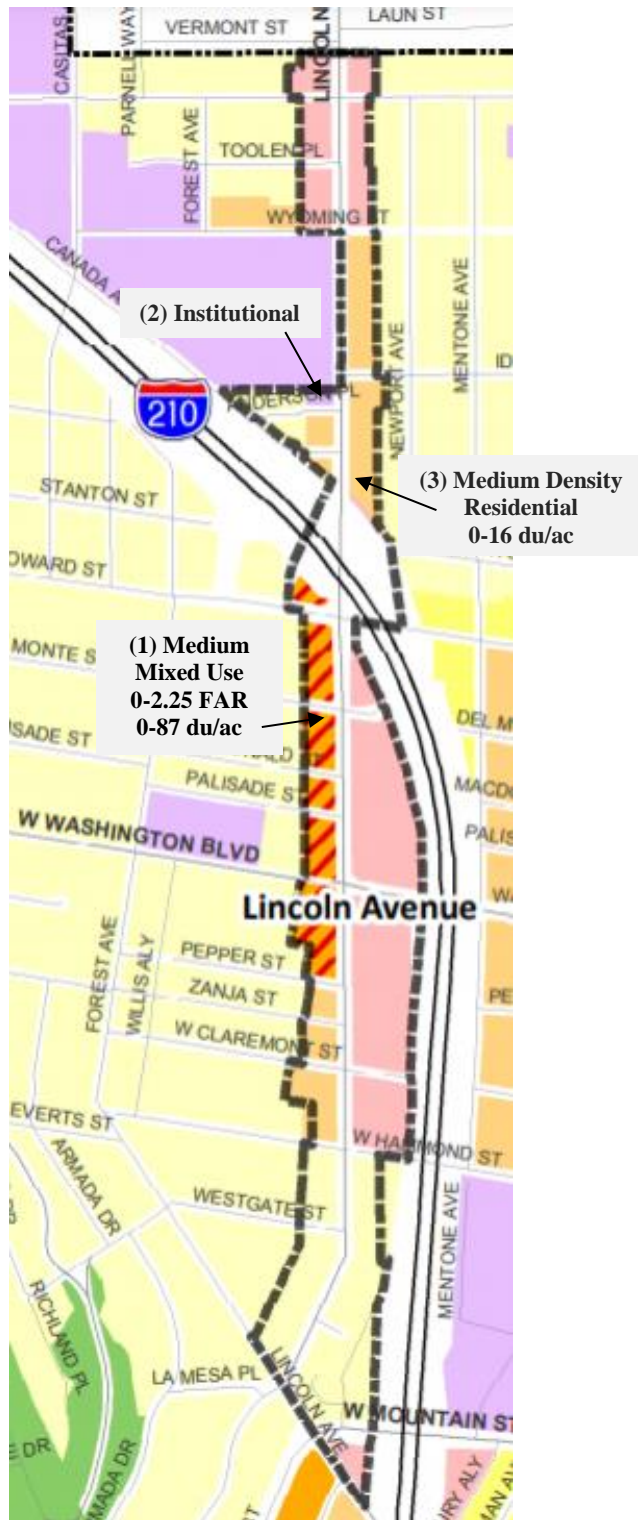


A **General Plan Map amendment** is recommended to update the land use categories depicted on the Land Use Diagram as proposed in the LASP dated June 9, 2021. The following describes the recommended changes to the land use categories and are shown on Figure 2:

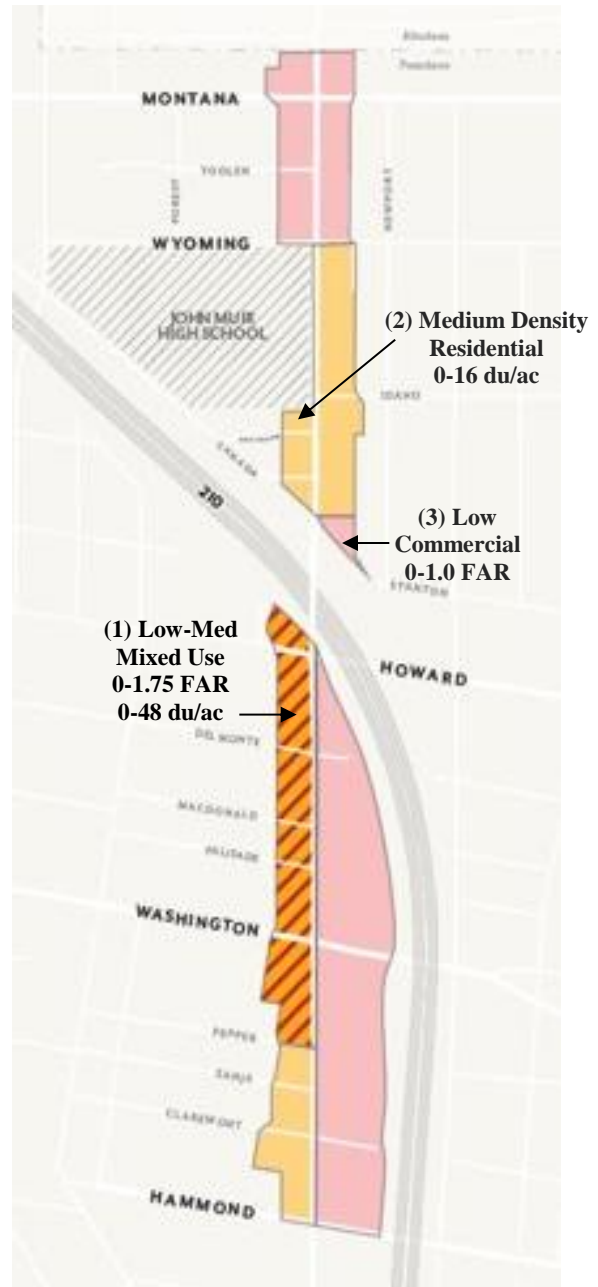
- (1) Update the land use category from Medium Mixed Use (0-2.25 FAR and 0-87 du/acre) to Low-Medium Mixed Use (0-1.75 FAR and 48 du/ac) in the LASP-MU zone. This change would not exceed the density and intensity depicted on the Land Use Diagram and is recommended in order to align the land use category with the density and intensity proposed for the LASP-MU zone.
- (2) Update the land use category from Institutional to Medium Density Residential (0-16 du/ac) for a RM-16 zoned parcel located on the northwest corner of Anderson Place and Lincoln Avenue to correct an existing inconsistency. This change is recommended in order to align the land use category with the current zone for this parcel.
- (3) Update the land use category from Medium Density Residential (0-16 du/ac) to Low Commercial (0-1.0 FAR) for a CL zoned parcel located north of the I-210 Freeway on the east side of Lincoln Avenue to correct an existing inconsistency. This change is

recommended in order to align the land use category with the current zone for this parcel.

Figure 2. General Plan Land Use Diagram



Existing Land Use Diagram



Proposed Land Use Diagram

A **General Plan text amendment** is recommended to align the plan boundary indicated on [Figure 7 of the General Plan Land Use Element](#) with the boundary proposed for the LASP area, as shown on Figure 3. The proposed specific plan area would encompass the 1.1-mile along Lincoln Avenue between Hammond Street and the City boundary, just north of Montana Street. The following areas would be removed from the current plan:

- (1) A cluster of developed single-family residential parcels on Anderson Place zoned LASP-RS-6, south of John Muir High School, currently regulated by the City's Zoning Code RS-6 requirements, as specific plans typically do not regulate such uses; and
- (2) A few blocks of developed single-family residential parcels zoned LASP-RS-6, a condominium project zoned LASP-PD-4 that contain its own development standards, and a commercially-developed parcel zoned LASP-CG1 on Lincoln Avenue, south of Hammond Street.

Figure 3. LASP Figure 7 of the General Plan Land Use Element



Existing Figure 7 of the LU Element

Proposed Figure 7 of the LU Element



## ZONING CODE AMENDMENTS:

The City's Zoning Code, Title 17 of the Pasadena Municipal Code, describes various types of zoning districts, land use regulations, and development standards. These zoning districts are depicted on the [City's Zoning Map](#) which designate uses for all parcels at a greater level of specificity with densities and intensities falling within the range shown on the Land Use Diagram.

A **Zoning Map amendment** is recommended to replace zoning district designations indicated on the Zoning Map with the proposed LASP zoning districts, as shown on Figure 3 and Table 1. The amendment also includes rezoning the parcels proposed to be removed from the plan area as shown on Table 1. The new zoning districts would align the permitted uses and design, development, and public realm standards with the plan's vision, goals, and policies.

Figure 3. Zoning Districts



Existing Zoning Districts



Proposed Zoning Districts

Table 1. Existing and Proposed Zoning Districts for Parcels in the Proposed LASP

	Lincoln Avenue North				Lincoln Avenue South		
<b>Existing</b>	LASP-CG-1	LASP-RM-16	LASP-CL	LASP-PS	LASP-CL	LASP-CG-2	LASP-RM-16
<b>Proposed</b>	LASP-CG	LASP-RM-16	LASP-CL	LASP-PS	LASP-MU	LASP-CF	LASP-RM-16

Table 2. Existing and Proposed Zoning Districts for Parcels Proposed to be Removed from LASP

	Anderson Place	Southern Parcels		
<b>Existing</b>	LASP-RS-6	LASP-RS-6	LASP-PD-4	LASP-CG1
<b>Proposed</b>	RS-6	RS-6	PD-4	CG

Specific plan standards, allowable land uses, and permit requirements are also included in Title 17 of the Zoning Code. A **Zoning Code text amendment** is recommended in order to replace existing permitted uses and standards in [Chapter 17.37](#) of the Zoning Code with the uses and standards proposed in the LASP to implement the plan (Refer to Attachments A and B).

**Attachments:**

- Attachment A – Chapter 17.37 Lincoln Avenue Specific Plan
- Attachment B – Chapters 4 through 6 of the Proposed Lincoln Avenue Specific Plan, dated June 9, 2021

## ***Chapter 17.37 Lincoln Avenue Specific Plan***

### **17.37.010 Purpose of Chapter**

This Chapter lists the land uses that may be allowed within the zoning districts established by the Lincoln Avenue Specific Plan (LASP), determines the type of land use permit/approval required for each use, and provides basic standards for site layout and building size.

### **17.37.020 Purposes of LASP Zoning Districts**

The purpose of the LASP zoning districts is to implement the Lincoln Avenue Specific Plan by repurposing the Lincoln Avenue corridor from an industrial and limited commercial area into a vibrant neighborhood-oriented district, with new housing options and a complement of local-serving retail and service businesses, office spaces and community uses, all tied together with public improvements that create a vibrant and enjoyable pedestrian environment, and to:

- A. Create a neighborhood "main street" that will serve as the focal point for the neighborhoods surrounding Lincoln Avenue.
- B. Preserve and enhance existing residential areas.
- C. Provide new opportunities for all types of housing along the corridor.
- D. Facilitate opportunities for catalytic developments that provide desired neighborhood-oriented retail and service businesses, local employment opportunities, and a link to the community.
- E. Provide for the gradual phasing out of industrial uses that create conflicts with surrounding neighborhoods.
- F. Support design that contributes to the enhanced character of the City and Northwest Pasadena in particular.
- G. Enrich the pedestrian environment along Lincoln Avenue through well-designed and appropriately scaled projects and pleasing streetscapes.
- H. Invite pedestrian activity through a cohesive and improved streetscape corridor.
- I. Encourage investment, maintenance, and pride in the Lincoln Avenue Specific Plan Area.
- J. Enhance public safety.

### **17.37.030 Applicability**

The standards of the LASP zoning districts apply to proposed development and new land uses in the following areas, as shown on the Zoning Map.

- A. **LASP-RM-16.**
- B. **LASP-CL.**
- C. **LASP-CG-1.**
- D. **LASP-CG-2.**
- E. **LASP-PS.**

### 17.37.040 LASP District Land Uses and Permit Requirements

- A. **Allowable land uses and permit requirements.** Table 3-18 identifies the uses of land allowed by this Zoning Code in each LASP zoning district, and the land use permit required to establish each use, in compliance with Section 17.21.030 (Allowable Land Uses and Permit Requirements). The land use permit requirements established by Table 3-18 are as follows.

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Code Compliance Certificate required.	17.61.020
MC	Conditional use, Minor Conditional Use Permit required.	17.61.050
C	Conditional use, Conditional Use Permit required.	17.61.050
E	Conditional use, Expressive Use Permit required.	17.61.060
TUP	Temporary use, Temporary Use Permit required.	17.61.040
—	Use not allowed. (See Section 17.21.030.A regarding uses not listed.)	

**Note:** The right column in the tables ("Specific Use Standards") will show a section number for regulations that apply to the particular use listed in addition to the other general standards of this Zoning Code.

LAND USE (1)	PERMIT REQUIREMENT BY ZONE					Specific Use Standards
	LASP -					
	RM-16	CL	CG-1	CG-2	PS	
<b>RESIDENTIAL USES</b>						
Accessory dwelling unit	P (4)	P (4)	—	—		17.50.275
Caretakers quarters	—	P	P	P	—	
Home occupations	P	P	—	—	—	17.50.110
Mixed-use projects	-	P (2)	—	—	—	17.37.080
Multi-family housing	P (3)	P (3)	—	—	—	17.37.090
Residential accessory uses and structures	P	P	—	—	—	17.50.210, 250
Residential care facilities, limited	P	P	—	—	—	
Single-family housing	P (4)	P (4)	—	—	—	
Supportive housing	P	P	—	—	—	
Transitional housing	P	P	—	—	—	
<b>RECREATION, EDUCATION &amp; PUBLIC ASSEMBLY USES (5, 6)</b>						
Clubs, lodges, private meeting halls	—	C (8)	C (8)	C (8)	C (8)	
Commercial entertainment	—	E (2)	E (2)	E (2)	—	17.50.130
Commercial recreation - Indoor	—	—	C (2)	C (2)	C	17.50.130
Commercial recreation - Outdoor	—	—	C	C	C	17.50.130
Cultural institutions	C (7)	P (7)	P (7)	P (7)	C	
Internet access studios	—	MC (2)	MC (2)	MC (2)	—	
Park and recreation facilities	C	C	C	C	C	
Religious facilities	C (7)	C (7)	C (7)	C (7)	C	17.50.230
with columbarium	MC (7)	MC (7)	MC (7)	MC (7)	MC	17.50.230
with temporary homeless shelter	C	C	C	C	C	17.50.230
Schools - Public and private	C (7)	—	MC (7)	—	C	17.50.270



Schools - Specialized education and training	—	MC (2)	—	—	C	
Street fairs	P	P	P	P	P	
Tents	TUP	TUP	TUP	TUP	TUP	17.50.320
<b>OFFICE, PROFESSIONAL &amp; BUSINESS SUPPORT USES (5, 6)</b>						
Automated teller machines (ATM)	—	P (9)	P (9)	P (9)	—	17.50.060
Banks and financial services	—	P (2)	P (2)	P (2)	—	
with walk-up service	—	P	P	P	—	17.50.060
Business support services	—	P (2)	P (2)	P (2)	—	
Offices - Accessory	—	P	P	P (10)	—	
Offices - Administrative business professional	—	P (2)	P (2)	P (2, 10)	C	
Offices - Government	—	P	P	P (10)	C	
Offices - Medical	—	P (2)	P (2)	P (2, 10)	C	
Research and development - Offices	—	P (2)	P (2)	P (2, 10)	C	17.50.240
Work/live units	—	P	C	C	—	17.50.370
<b>RETAIL SALES (5, 6, 11)</b>						
Alcohol sales - Beer and wine	—	C (12)	C (12)	C (12)	—	17.50.040
Alcohol sales - Full alcohol sales	—	C (12)	C (12)	C (12)	—	17.50.040
Animal Services - retail sales	—	P (2)	P (2)	P (2)	—	
Commercial nurseries	—	—	C (2)	—	C	17.50.180
Convenience stores	—	C	C	C	—	
Food sales	—	P (2)	P (2)	P (2)	—	
Internet vehicle sales	—	MC (2)	MC (2)	MC (2)	—	
Personal property sales	P	P	—	—	—	17.50.190
Restaurants	—	P (2)	P (2)	P (2)	—	17.50.260
Restaurants, fast food	—	P (2)	P (2)	P (2)	—	17.50.260
Restaurants, formula fast food	—	P (2)	P (2)	P (2)	—	
Restaurants with limited live entertainment	—	P	P	P	—	
Restaurants with walk-up window	—	C	C	C	—	17.50.260
Retail sales	—	P (2)	P (2)	P (2)	—	
Seasonal merchandise sales	—	P	P	P	TUP	17.50.180
Significant tobacco retailers	—	—	C (2)	C (2)	—	17.50.330
Temporary uses	TUP	TUP	TUP	TUP	TUP	
Vehicle services - Service stations	—	C (2)	C (2)	C (2)	—	17.50.290
<b>SERVICES (3, 8)</b>						
Adult day-care, limited	P	P	P	P	—	
Animal services - Grooming	—	P (2)	P (2)	P (2)	—	
Catering services	—	MC (2)	MC (2)	MC (2)	—	
Charitable institution (3, 4)	—	C	C	C	—	
Child day-care centers	C	C	C	C	—	17.50.080
Child day-care, large care homes, 9 to 14 persons	P	P	—	—	—	17.50.080
Child day-care, small care homes, 1 to 8 persons	P	P	—	—	—	
Filming, long-term	C	C	C	C	C	

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(Supp. No. 64)

Filming, short-term	P	P	P	P	P	
Laboratories	—	MC (2)	P (2)	P (2) (14)	—	
Lodging - Bed and breakfast inns	—	C	C	C	—	17.50.140
Neighborhood garden	MC	—	—	—	—	
Maintenance and repair services	—	P	P	P	P	
Personal improvement services	—	P (2)	P (2)	P (2)	—	
Personal services	—	P (2)	P (2)	P (2)	—	
Printing and publishing	—	C (2)	C (2)	C (2)	—	
Printing and publishing, limited	—	P (2)	P (2)	P (2)	—	
Public safety facilities	C (7)	C (7)	C (7)	C (7)	C	
<b>INDUSTRY, MANUFACTURING &amp; PROCESSING USES (5, 6)</b>						
Industry, restricted	—	—	—	C	—	
Industry, restricted, small scale	—	—	—	C	—	
Recycling - Small collection facility	—	C	C	C	—	17.50.220
Research & development - Non-office	—	C	C	P	—	17.50.240
<b>TRANSPORTATION, COMMUNICATIONS &amp; UTILITY USES</b>						
Alternative fuel/recharging facilities	—	—	—	—	C	—
Accessory antenna array	—	P	P	P	—	
Communications facility (2, 5)	—	—	—	C	C	
Commercial off-street parking	—	C	C	C	—	
Utility, major	C	C	C	C	C	
Utility, minor	P	P	P	P	P	
Vehicle storage	—	—	—	—	C	
Wireless telecommunications facilities, major	—	C	C	C	C	17.50.310
Wireless telecommunications facilities, minor	—	MC	MC	MC	MC	17.50.310
Wireless telecommunications facilities, SCL	—	P	P	P	P	17.50.310
<b>Notes:</b>						
(1) See Section 17.80.020 for definitions of the listed land uses.						
(2) Conditional Use Permit approval required for new construction exceeding 25,000 sq. ft. See Section 17.61.050.J for additional requirements.						
(3) Two units on a lot shall meet the development standards of the RM-12 district, Section 17.22.040.						
(4) A single-family use shall meet the development standards of the RS-6 district.						
(5) Uses subject to limitations on hours of operation. See Section 17.40.070 (Hours of Operation).						
(6) No more than two large trucks (except trucks associated with vehicle services - sales and leasing) shall be stored on each lot. This restriction shall apply to new uses or uses which expand by more than 30 percent of the gross floor area.						
(7) Uses on a site greater than two acres that were established after June 30, 1985, shall require a zone change to PS (Public, Semi-Public).						
(8) A club or lodge established prior to September 9, 1996 is a permitted (P) use.						
(9) This use is permitted only when accessory to another use and located within a building.						
(10) A minor conditional use permit is required to establish this use on the ground floor.						
(11) See 17.37.050 for restrictions on retail sales.						
(12) Allowed only as an accessory use to restaurants (excluding fast food and formula fast food restaurants) and food sales. Food sales uses shall be a minimum of 30,000 sq. ft., and the alcohol sales area shall occupy no more than 2.5% of the gross floor area.						

(13) Not used.
(14) In LASP-CG-2, laboratories are not permitted on the ground floor of a building.

(Ord. 7326 § 6, 2018; Ord. 7321 § 3 (Exh. 1), 2018; Ord. 7313 § 12, 2017; Ord. 7300 § 12 (Exh. 11), 2017; Ord. 7255 § 11 (Exh. 10), 2015)

**17.37.050 LASP Additional Land Use Regulations**

- A. **Big box retail.** Big box retail shall not be permitted in the LASP-CL, LASP-CG-1 and LASP-CG-2 districts. Big box retail is defined as any retail sales use classification of more than 40,000 square feet.
- B. **Nonconforming uses.** Nonconforming uses shall comply with the provisions of Chapter 17.71 (Nonconforming uses, structures, and lots.)

**17.37.060 LASP General Development Standards**

Subdivisions, new land uses and structures, and alterations to existing land uses and structures, shall be designed, constructed, and established in compliance with the requirements in Table 3-19, in addition to the applicable standards (e.g., landscaping, parking and loading, etc.) in Articles 4 (Site Planning and General Development Standards) and 5 (Standards for Specific Land Uses). Principal and accessory structures shall meet the same development standards unless otherwise modified in this Zoning Ordinance.

Development feature	Requirement by Zoning District				
	LASP-RM-16	LASP-CL	LASP-CG-1	LASP-CG-2	LASP-PS (1)
<b>Minimum lot size (2)</b>	<i>Minimum area and width for new lots.</i>				
	RM-16 (17.22.060)	Determined through the subdivision process.			
<b>Residential uses</b>	<i>Standards applicable to residential uses</i>				
Standards	As required for RM-16 and Section 17.37.090		Not applicable		
Residential density	<i>Maximum number of dwelling units allowed on a single site.</i>				
Maximum density	16 units/acre		Not applicable		
Minimum lot area per unit for a multi-family project	2,750 sq. ft.		Not applicable		
With density bonus	See 17.43		Not applicable		
<b>Setbacks</b>	<i>Minimum setbacks required. See Section 17.40.160 for setback measurement, allowed projections and encroachments into setbacks, and exceptions to setbacks.</i>				
Front	As determined by Figure 3-15 (Lincoln Avenue Street Frontage Setbacks)				
Sides	See Section 17.22.060, Table 2-4	N/A			
Corner	As determined by Figure 3-15 (Lincoln Avenue Street Frontage Setbacks)				
Rear (3)	See Section 17.22.060, Table 2-4	5 feet where required by Figure 3-16 (Lincoln Avenue Rear Setbacks) and shall not project within the encroachment plane (see Section 17.40.160.D.2) when adjacent to an RS or RM district; none required otherwise.			

<b>Floor area ratio (FAR)</b>	N/A	.7	.8	1.0	Determined by CUP
<b>Height Limit</b>	<i>Maximum allowed height of structures. See Section 17.40.060 for height measurement, and exceptions to height limit.</i>				
Maximum Height	As determined by Figure 3-17 (Lincoln Avenue Maximum Height)				
<b>Alterations, remodelings, and rehabilitations</b>	When removal of more than 50% of the exterior walls of a structure, the entire building shall comply with the development standards of this chapter				
<b>Landscaping</b>	As required by Chapter 17.44 (Landscaping)				
<b>Lighting</b>	As required by Section 17.40.080 (Outdoor Lighting)				
<b>Parking</b>	As required by Chapter 17.46 (Parking and Loading) and Section 17.37.070.F				
<b>Signs</b>	As required by Chapter 17.48 (Signs)				
<b>Notes:</b>					
(1) Prior to the approval of a Conditional Use Permit or Master Plan, properties within the LASP-PS district shall be subject to the development standards of the most restrictive abutting zoning district within the Specific Plan.					
(2) See Section 17.40.030 regarding development on an undeveloped lot and Section 17.40.040 regarding development on a substandard lot.					
(3) No doors, windows, vents, or similar openings at commercial uses may be located within 15 feet of a property line abutting an RS zoning district, except for doors used exclusively as emergency exits.					

**Figure 3-15 - Lincoln Avenue street frontage setbacks**



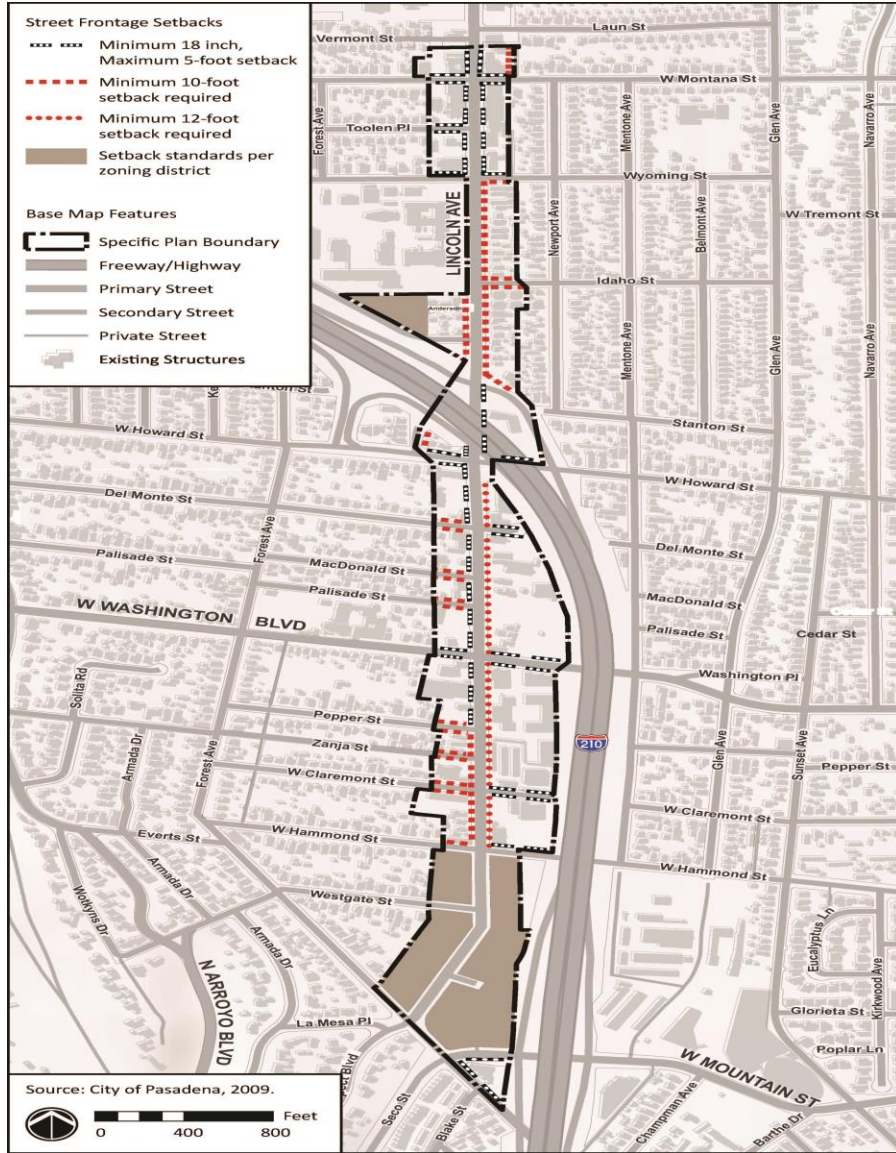


Figure 3-16 - Lincoln Avenue rear setbacks

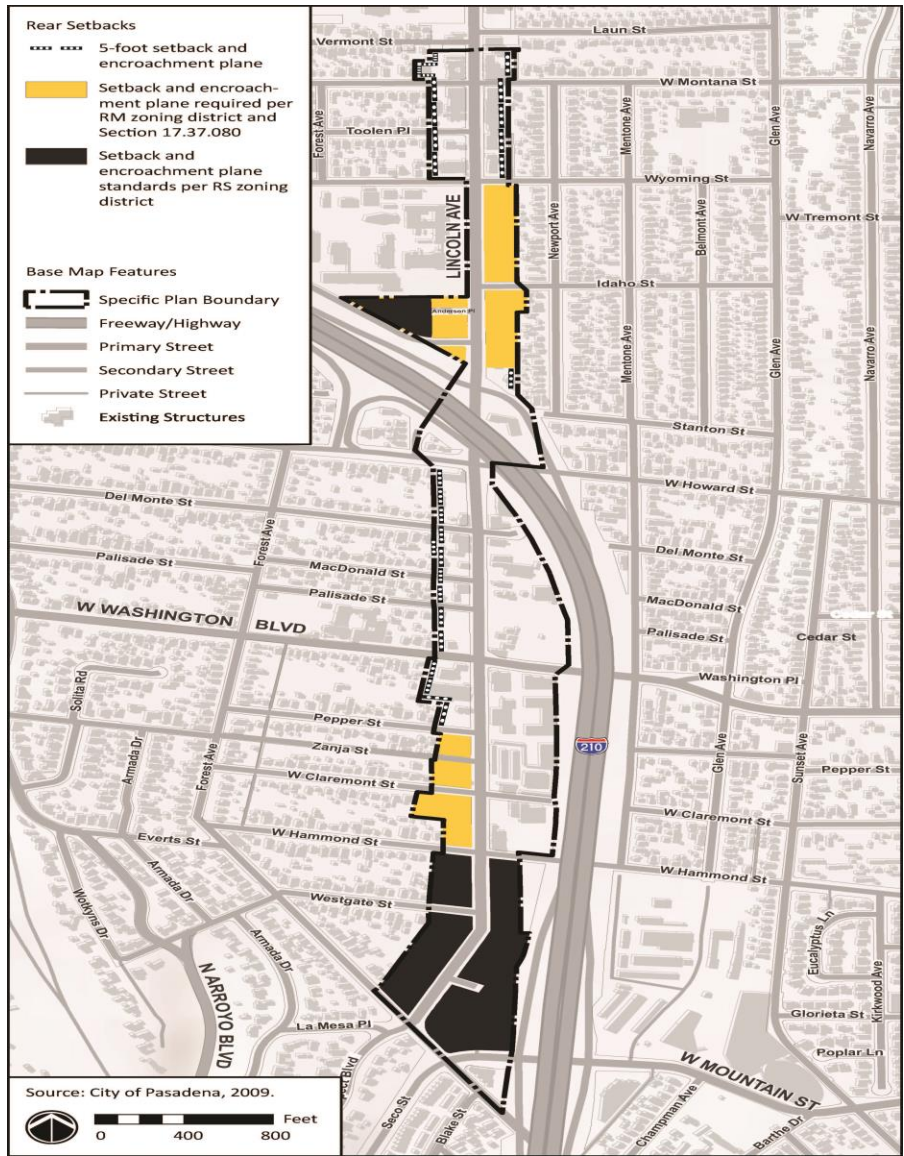
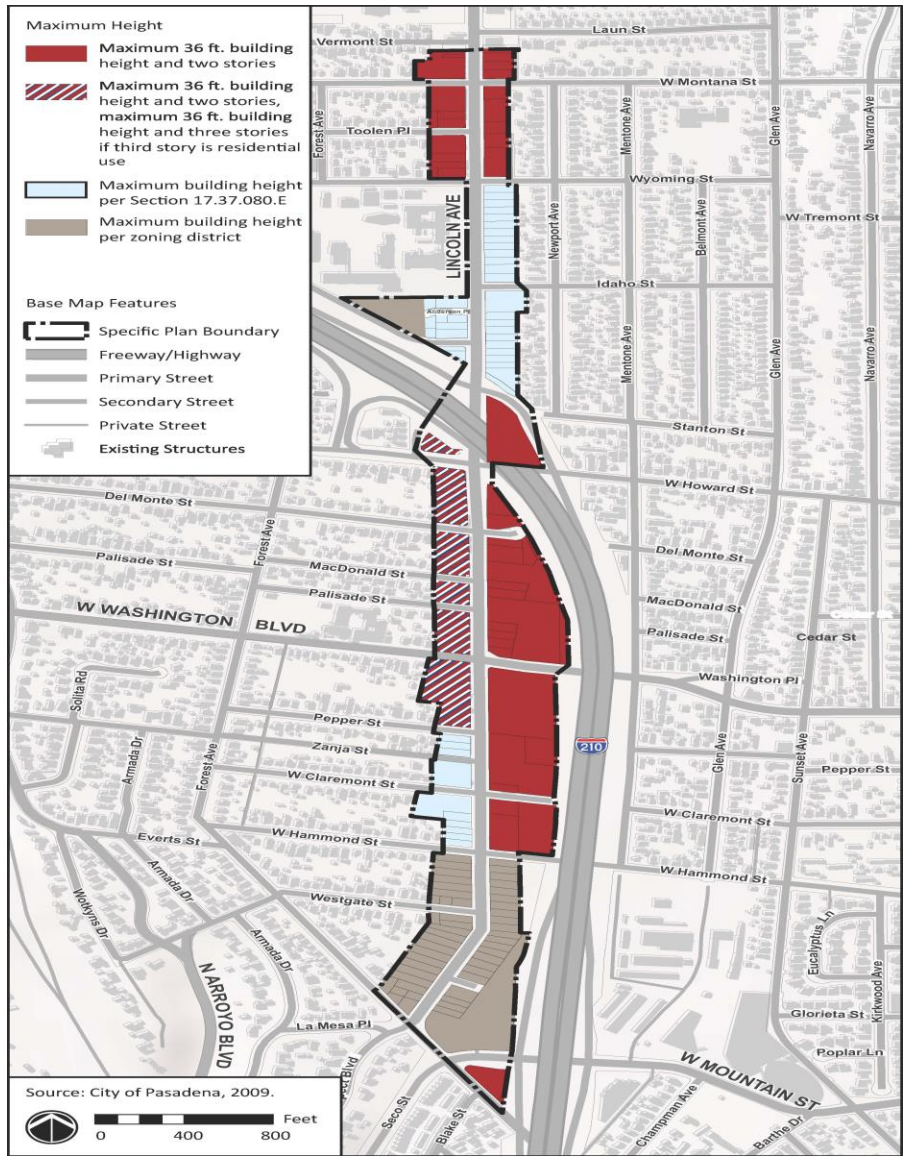


Figure 3-17 - Lincoln Avenue maximum height



**17.37.070 LASP Additional Development Standards**

**A. Building Placement.**

1. **Building placement in LASP-CG-1 and LASP-CG-2 districts.** Buildings shall be located so that the front façade adjoins a minimum of 75 percent of a lot's front setback line. See Figure 3-18.
2. **Building placement in all other LASP districts.** Buildings shall be located so that the front façade adjoins a minimum of 50 percent of a lot's front lot line.



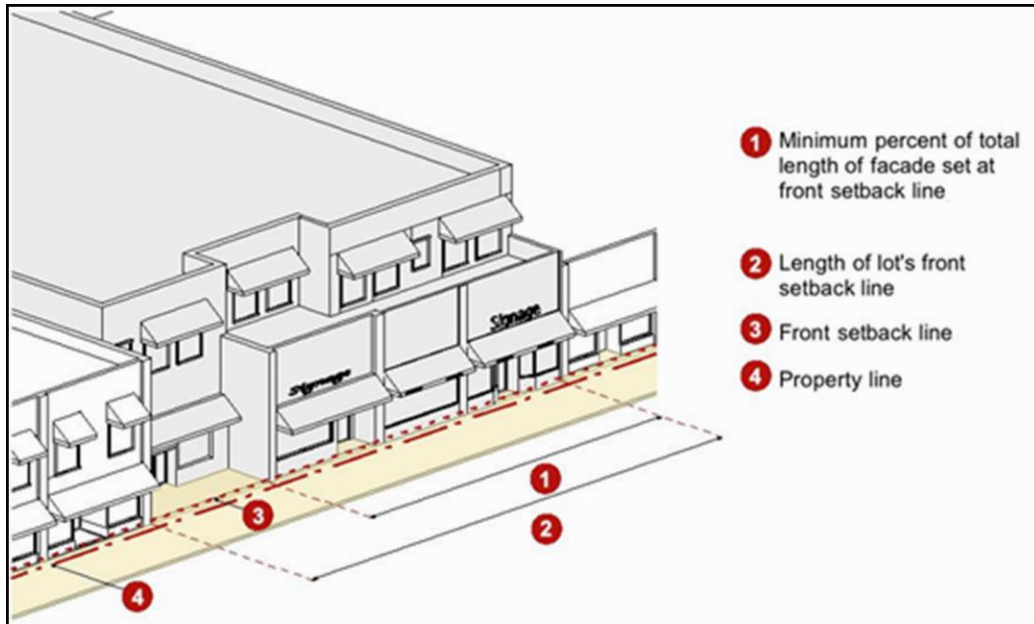


Figure 3-18 - Building placement

3. **Modifications.** The Review Authority may grant exceptions for:

B. **Building Design.**

1. **Windows and openings facing streets.** Street-facing façades of buildings shall incorporate windows and openings providing light to adjacent spaces, rooms, and uses. See Figure 3-19. Windows and openings facing streets shall constitute a minimum of the following percentage of street-facing building façades:
- a. Fifty percent at commercial ground floor uses.
  - b. Thirty percent at commercial upper floor uses.
  - c. Twenty percent at residential ground floor uses.
  - d. Twenty percent at residential upper floor uses.



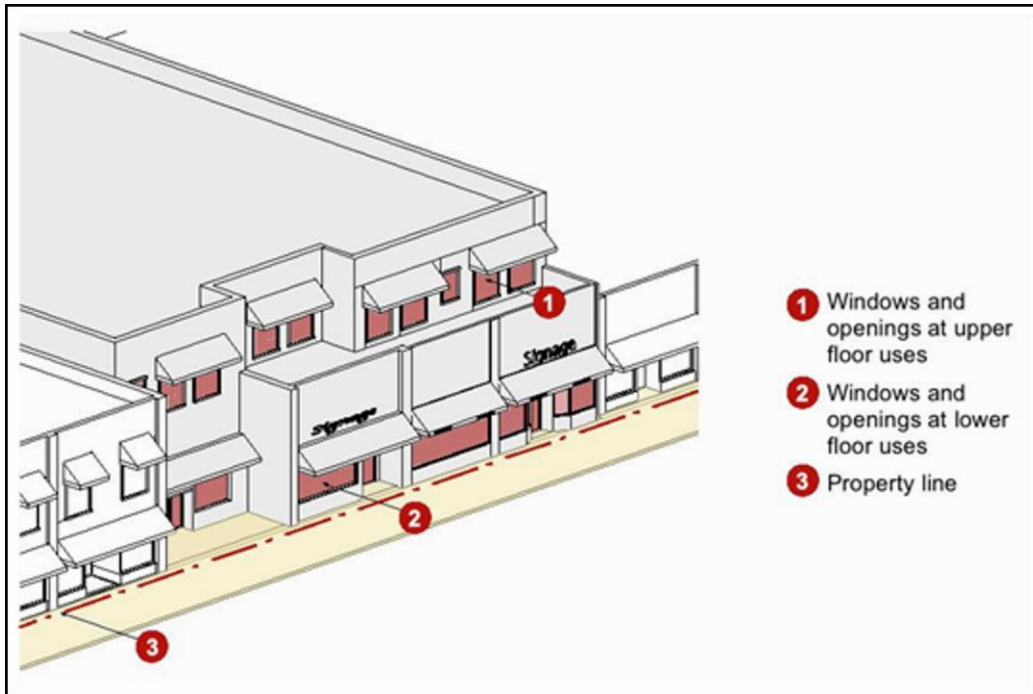


Figure 3-19 - Openings facing streets

2. **Primary entrance.** For parcels fronting Lincoln Avenue, at least one primary entrance to a ground floor use shall face Lincoln Avenue.
3. **Entrance frequency.** At street frontages, ground-related entrances shall occur at least once every 150 feet, as measured along the front property line. Ground-related entrances include entrances to ground-floor uses, residential units, clusters of residential units, lobbies, or private courtyards. See Figure 3-20.

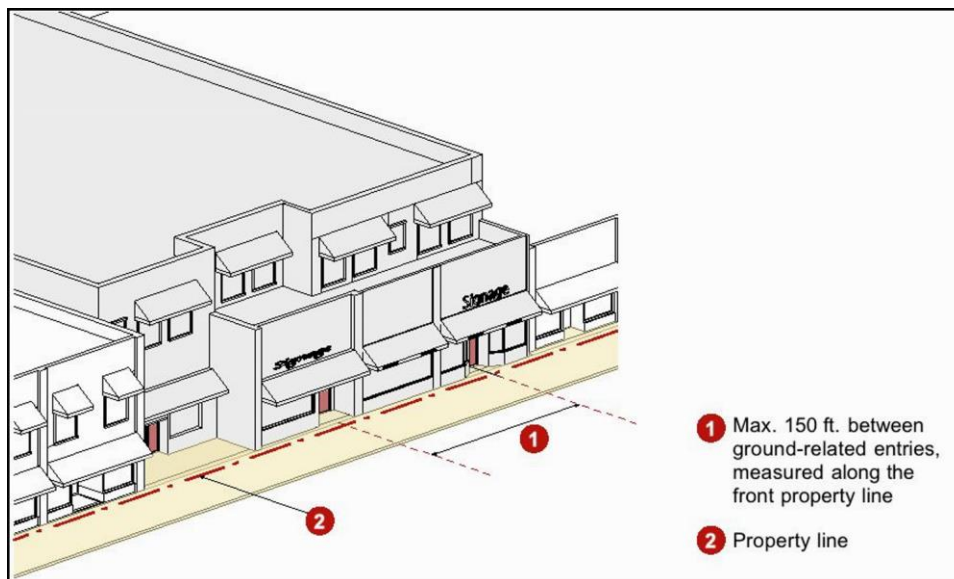


Figure 3-20 - Entrance frequency

4. **Façade plane modulation.** The wall plane of street-facing façades shall be modulated a minimum of 18 inches perpendicular to the plane at least once every 60 feet, as measured along the property line. See Figure 3-21.

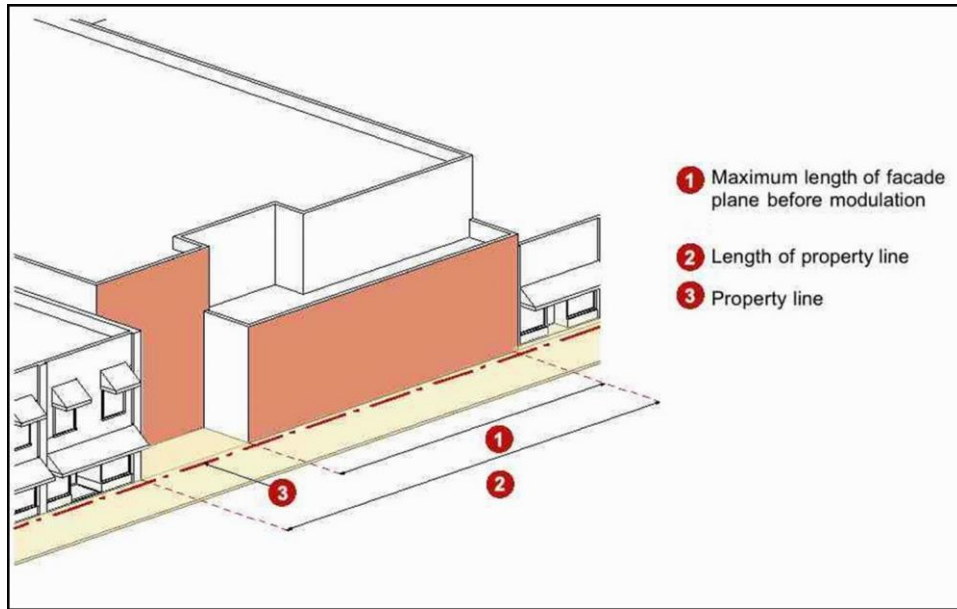
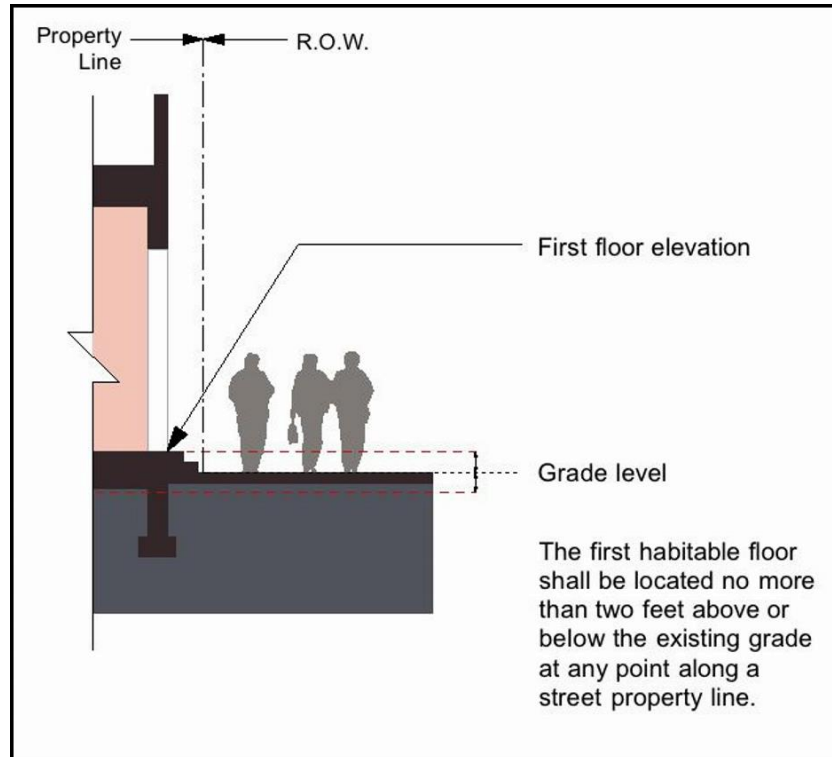


Figure 3-21 - Façade plane modulation

C. **Ground Floor Design.**

1. **Elevation of first floor.**

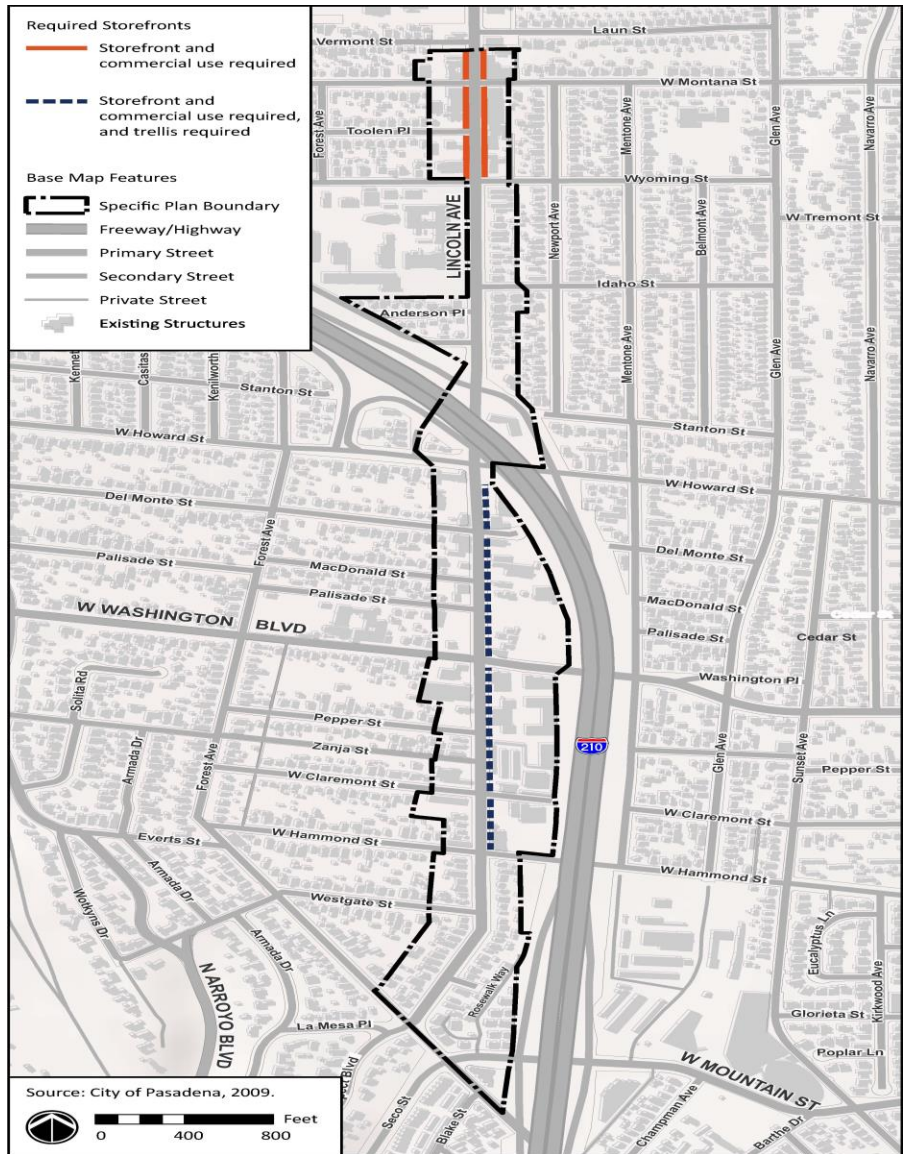
- a. **Non-residential uses.** The first habitable floor shall be located no more than two feet above or below the existing grade at any point along a street lot line. See Figure 3-22.



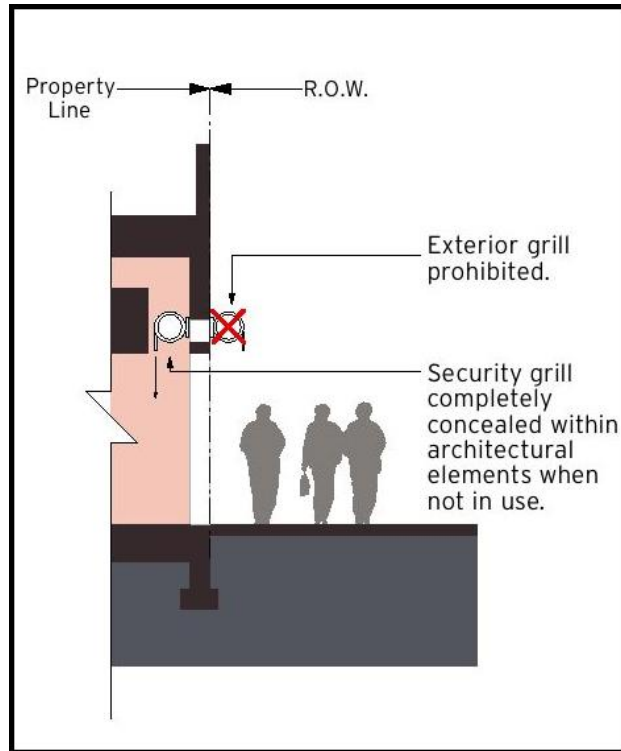
**Figure 3-22 - First floor elevation**

- b. **Residential Uses.** The first habitable floor of a residential-only building shall be located no more than four feet above existing grade and no more than two feet below existing grade along a street lot line. At least 50 percent of all dwelling units at the first floor shall be located a minimum of 24 inches above the existing grade.
2. **Minimum ground floor height.** The minimum height of non-residential ground floor spaces shall be 15 feet. The minimum height of residential and work/live ground floor spaces shall be 10 feet. This height shall be measured from the floor of the first story to the floor of the second story. If there is no second story, the height shall be measured to the top of roof.
3. **Storefronts and commercial uses required at ground floors.** Storefronts and usable commercial space shall be located along the ground floor street frontages of buildings and have a minimum useable depth of 40 feet along 60 percent of the length of the building frontage and in no case be less than 20 feet in depth. See Figure 3-23. On a corner lot where storefronts and commercial uses are required, storefronts and commercial spaces shall turn and wrap around the corner for a minimum length of 20 feet. Where storefronts and useable commercial space are not required, storefronts and commercial uses at the ground floor shall have a minimum depth of 20 feet.

**Figure 3-23 - Required storefront and trellis location**

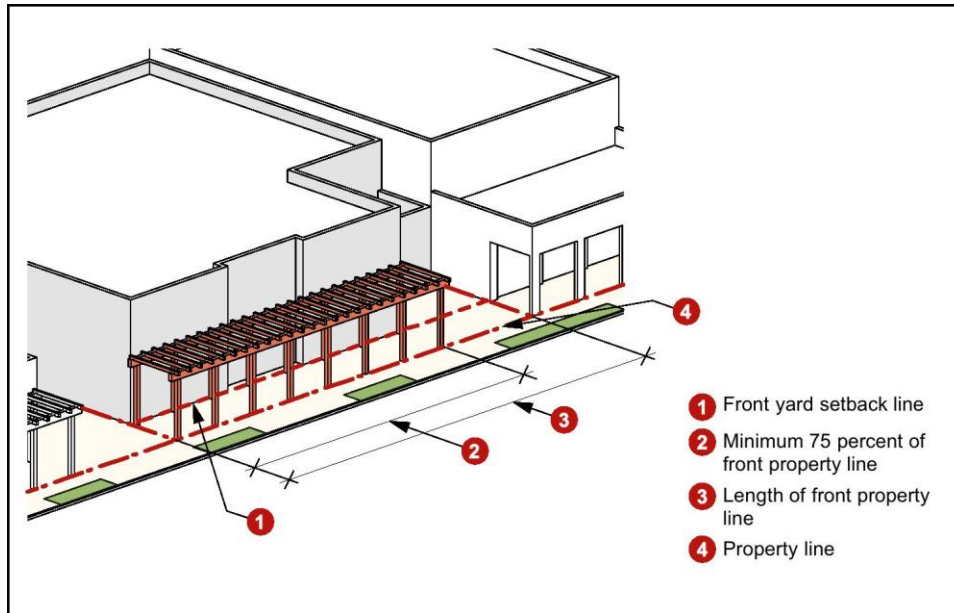


4. **Glazing at ground floors.** Use of mirrored and reflective glazing materials and glass is prohibited. At the ground floor of buildings where the use is commercial, use of clear glass is required. After installation, clear glass windows at the ground floor of commercial uses shall not later be treated so as to become opaque or to be blocked so as to prevent visibility of the ground floor interior from the sidewalk.
5. **Security elements and decorative grillwork at ground floors.** Upward rolling, side folding, or moveable security grills and elements shall not be installed at the exterior side of ground floor and street-facing storefronts, windows, openings, entries, and façades. At the interior side of ground floor and street-facing storefronts, windows, openings, entries and façades, upward rolling, side folding, or moveable security grills and elements are allowed and should be designed to be integral to the architecture of the building and opening. Such devices should utilize dedicated interior side pockets and ceiling cavities such that the grill and all mechanisms associated with the security element are not visible from the adjacent public right-of-way and sidewalk and regardless of installation method shall be at least 80 percent open to perpendicular view. See Figure 3-24. Fixed decorative grillwork and railings are allowed at the ground floor and shall be at least 80 percent open to perpendicular view.



**Figure 3-24 - Security elements**

- D. **Trellis required.** A trellis shall be located along the Lincoln Avenue property line as shown in Figure 3-23. Alternatively an arcade may be located along the Lincoln Avenue property line. Trellises and arcades shall meet the following requirements.
1. **Design.** The trellis or arcade shall be designed as a continuous pedestrian walkway, open to the public, adjoining storefronts, commercial uses, or open space. See Figure 3-25.
  2. **Placement.** The trellis or arcade shall be designed so that its street-facing façade occupies a minimum of 75 percent of the front property line.

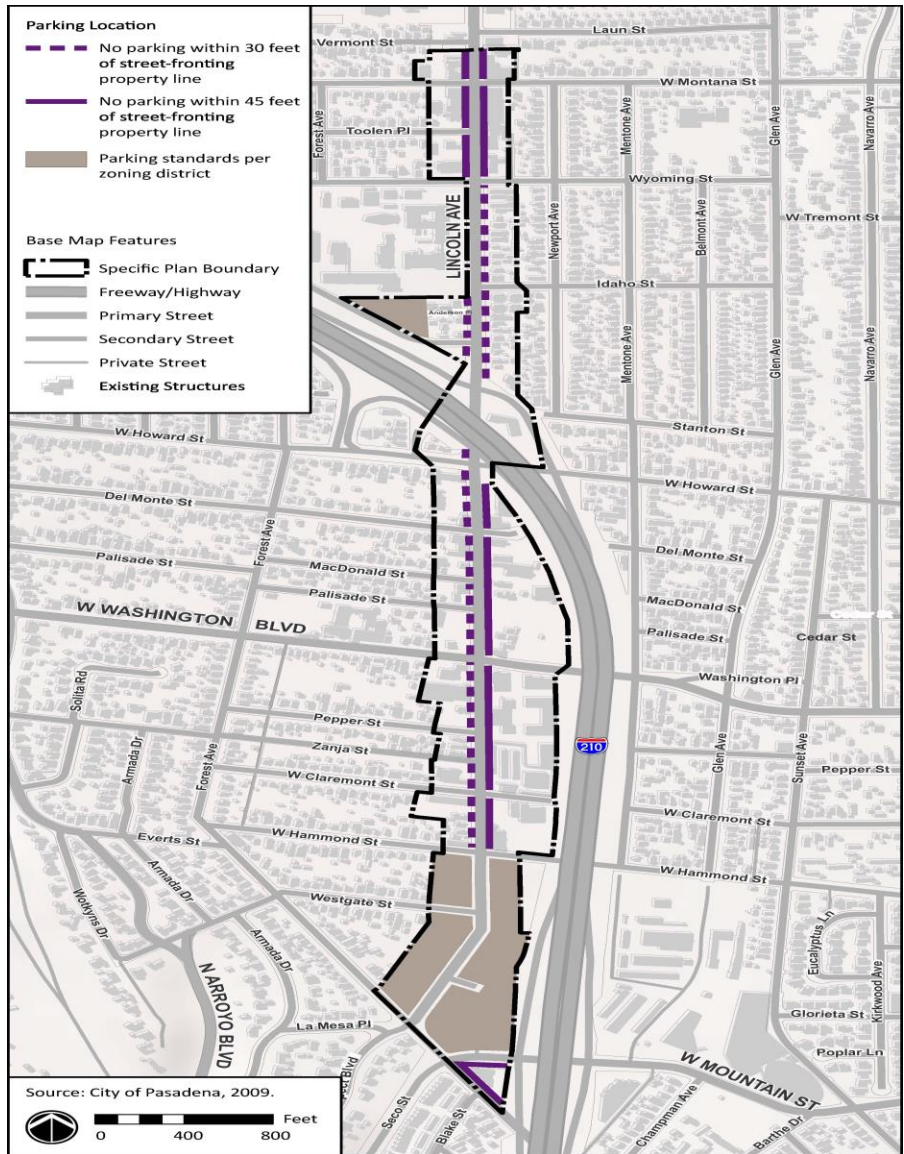


**Figure 3-25 - Trellis design requirements**

3. **Minimum depth.** The trellis or arcade shall have a minimum overall depth of 12 feet and a minimum clear interior depth of 10 feet measured perpendicular to the front property line.
4. **Height to width proportion.** Where trellises or arcades are utilized, the overall proportion of the building bays of these elements should be approximately square and have a maximum ratio of 1.5 feet of height for each one foot of length.
5. **Clear height.** Where trellises or arcades are utilized, openings, coverings including structural members and ceilings, and other overhead elements shall have a minimum clear height of 12 feet.
- E. **Building entrances.** Commercial uses abutting a Lincoln Avenue setback line shall provide at least one street-facing entrance which shall serve as the primary entrance to the business. Interior space shall be arranged to orient toward that entrance as the primary entrance, and signage or other means shall be used to direct persons toward that entrance. Street-facing entrances shall be unlocked and accessible to the public during business hours.
- F. **Parking Standards and Driveways.** Parking shall meet the requirements of Chapter 17.46 (Parking and loading) and the following additional requirements.
  1. **Parking location.** No parking shall be allowed in the areas shown in Figure 3-26 except that parking in the rear 60 percent of a lot shall be permitted. Partially subterranean and fully subterranean parking may extend to street lot lines.
  2. **Parking abutting an RS zones.** No above-grade, surface, subterranean or partially subterranean parking shall be located within five feet of a property line abutting an RS zone.

**Figure 3-26 - Lincoln Avenue parking location**





3. **Driveway frequency.** For parcels less than 200 feet in length, only one vehicular access point may be permitted. For all other lot frontages, a maximum of one vehicular access point for each 200 feet of street frontage is permitted.
4. **Landscape buffers.** Parking that is visible from streets and sidewalks or located along rear, side, or interior lot lines shall be buffered from the street, sidewalk, or lot line by a minimum five-foot landscape buffer.
5. **Tuck-under parking.** Openings to tuck-under parking spaces shall not be visible from the street or from an adjacent property.
6. **Parking height.** Where any part of a building is located over parking, the parking shall be considered a full story unless it meets the requirements for fully or partially subterranean parking in Section 17.46.020.K.5 and 6.
7. **Tandem parking.**

- 
- a. **Tandem parking for multi-family and mixed-use projects.** For multi-family projects and the residential component of mixed-use projects, tandem parking greater than 30 percent may be allowed through the Design Review process. The following conditions shall be met for tandem spaces:
    - (1) Both tandem spaces shall be assigned to the same dwelling units.
    - (2) Two parking spaces in tandem shall be a combined minimum dimension of nine feet in width by 34 feet in length.
  - b. **Tandem parking for nonresidential projects.** Tandem parking for nonresidential projects and the nonresidential component of mixed-use projects shall be allowed in compliance with Section 17.46.080.A.3.
8. **Guest parking.** Guest parking is not required for multi-family projects or the residential component of mixed-use projects which contain less than 20 units. Developments with 20 or more units shall provide one guest parking space for the first 20 units and one-half space for each increment of five units that are more than 20 units.

### 17.37.080 LASP Additional Multi-family Development Standards

Multi-family residential projects shall comply with the RM-16 standards in Sections 17.22.060 through 17.22.080 and the following additional requirements.

- A. **Setback Requirements.** The following minimum standards for building setbacks apply in addition to any encroachment plane requirements.
  1. **Front and corner side setbacks.** Front and corner side setbacks shall meet the requirements shown on Figure 3-15.
  2. **Rear setback when abutting an RS district.** A rear yard setback abutting an RS district shall meet the requirements of Section 17.22.070.B except that no structure, including accessory structures or partially subterranean and fully subterranean structures, shall be located within five feet of the rear property line.
- C. **Building Entrances.**
  1. **Orientation.** The majority of entrances to units shall be accessed from the street or from a garden or courtyard directly accessible and visible from the street. Additional entrances may serve units from additional open spaces.
  2. **Shared entrances.** Outdoor entries shall serve no more than four units.
  3. **Transitional space at entries.** Transitional spaces in the form of stoops, overhangs, and porches between public areas and entrances to units shall be provided for each unit or group of units.
- D. **Height Limits.** The height of buildings shall comply with Section 17.22.070.F, and the following additional requirements.
  1. **Maximum height of structures.** The maximum height of structures shall be two stories and 36 feet to the highest ridgeline, regardless of the lot width. Three stories in the front 60 percent of the site, measured from the Lincoln Avenue property line, may be permitted through the Design Review process.
  2. **Maximum heights at garden rectangle.** Restrictions to the maximum height at garden rectangles shall not apply.



- 
3. **Encroachment plane when abutting an RS district.** New developments and uses shall meet the encroachment plane requirements of Section 17.40.160.D.4.

### **17.37.090 LASP Additional Mixed-Use Development Standards**

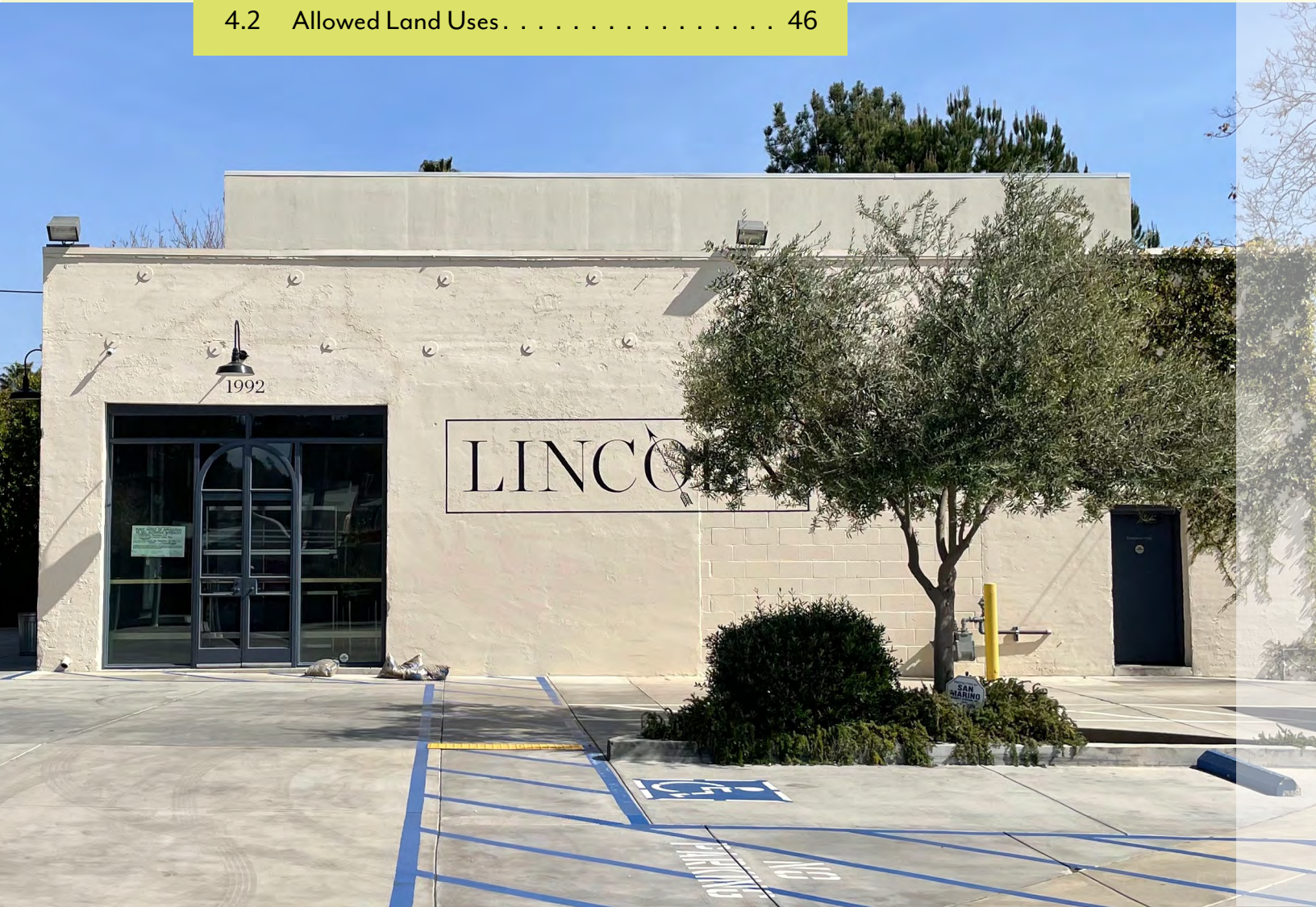
Mixed-use projects shall comply with Section 17.50.160 (Mixed-use projects) and the following additional requirements.

- A. **Street Setbacks.** Buildings shall meet the setback requirements of Figure 3-15.
- B. **Commercial uses along street frontages.** Storefronts and useable commercial space shall meet the requirements of Section 17.37.070.C.
- C. **Ground floor residential units allowed.** Ground floor residential dwelling units are allowed on any lot and on any street frontage, provided storefronts and usable commercial space are located along a minimum of 50 percent of the length of the building frontage adjoining Lincoln Avenue. Storefronts and usable commercial spaces shall comply with the requirements of Section 17.37.070.

# Ch. 4

# Zoning and Land Use

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SILVERLAKE





# Zoning and Land Use

## CHAPTER OVERVIEW

The zoning and land use regulations in this chapter are intended to guide development and decision making to achieve the vision of the Lincoln Avenue Specific Plan.

While broad land use categories are assigned in the General Plan, the Specific Plan establishes a detailed list of allowed land uses and permit requirements for each zoning district within the plan area.

This chapter is organized into the following sections:

- » **4.1 Zoning Districts.**
- » **4.2 Allowed Land Uses.**



## 4.1 Zoning Districts

### 4.1.1 PURPOSE

The purpose of the Lincoln Avenue Specific Plan zoning districts is to implement the Plan vision for each of the districts, described below.

#### LASP-CG

##### Commercial General

- » Foster a pedestrian-oriented neighborhood core
- » Accommodate a diverse range of retail and office businesses that people can walk to for shopping, dining, personal and community services, and social activities

#### LASP-MU

##### Mixed-Use

- » Allow pedestrian-oriented ground floor commercial uses
- » Support projects that are entirely commercial, entirely residential, or a mix of the two, integrated either horizontally or vertically

#### LASP-CL

##### Commercial Limited

- » Allow existing commercial uses to remain in place
- » Ensure that future uses are compatible with neighboring homes

#### LASP-RM-16

##### Residential Multi-family

- » Allow a variety of multi-family and compatible residential uses of an appropriate scale

#### LASP-CF

##### Commercial Flex

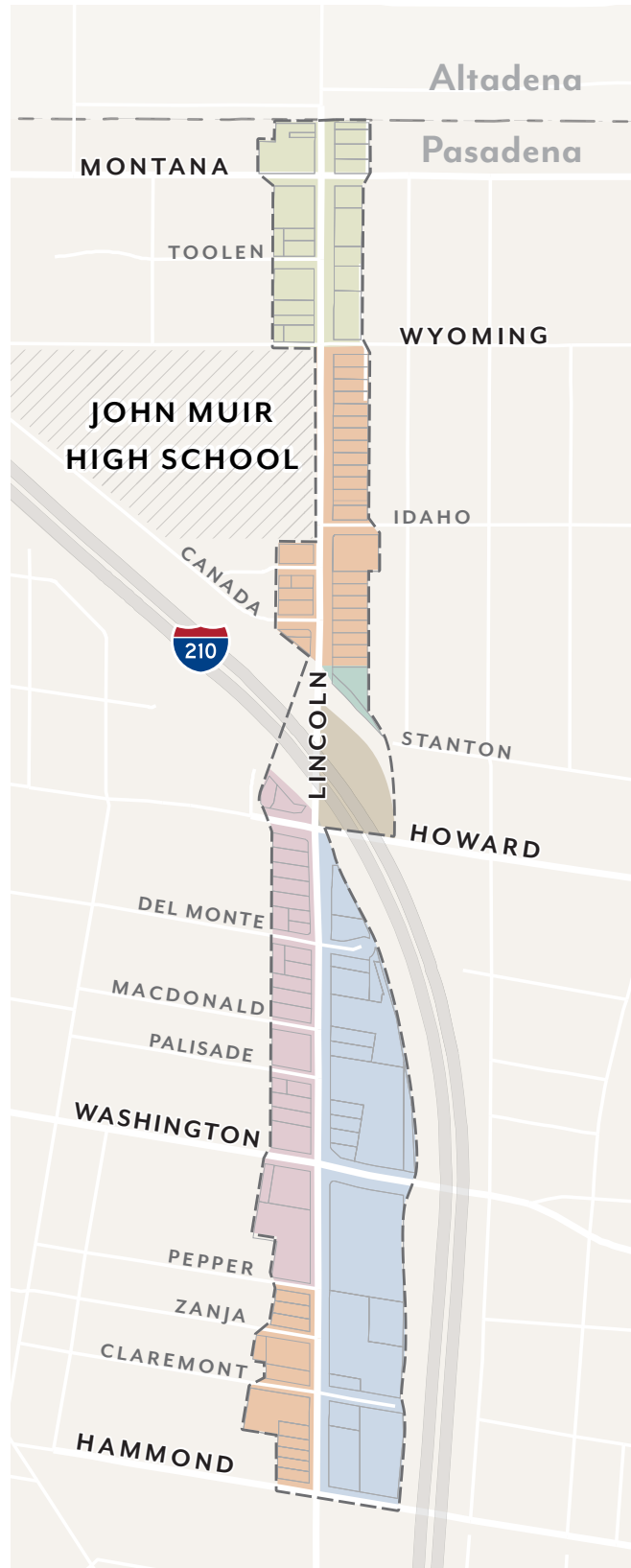
- » Allow a wide range of commercial and research & development uses
- » Provide flexibility for the city's burgeoning innovation and production industries
- » Restrict industrial uses that are inappropriate next to residential uses

#### PS

##### Public-Semipublic

- » Provide for institutional uses that may not be appropriate in other base zoning districts

Map 4.1-1: Zoning Districts



#### 4.1.2 APPLICABILITY

The standards of this Specific Plan apply to proposed development and new land uses in all zones except PS. In PS, development shall be subject to a Conditional Use Permit or Master Plan per Pasadena Municipal Code (PMC) 17.26.

In LASP-RM-16, development shall follow all standards of RM-16 zoning in PMC 17.22 unless modified by this Specific Plan.

- LASP-CG
- LASP-CL
- LASP-CF
- LASP-MU
- LASP-RM-16
- PS

## 4.2 Allowed Land Uses

### 4.2.1 LAND USES AND PERMIT REQUIREMENTS

- A. **Permit Requirements.** Table 4.2-1 identifies the uses of land allowed by this Specific Plan, the land use permit required to establish each use, and limitations that may apply for a particular use.
1. Definitions of specific land uses are found in PMC 17.80.020.
  2. Additional standards for specific land uses may apply; refer to the PMC Section noted in the table.
- B. **Upper Floors.** In MU-48, stories above the ground floor are limited to residential uses; nonresidential uses are prohibited.
- C. **Alcohol Sales.** The sale of alcohol is conditionally permitted only as an accessory to the following uses where permitted.
- » On-site consumption: A restaurant or alcohol beverage manufacturing (i.e. brewery, distillery tasting room).
  - » Off-site consumption: Retail food sales in commercial spaces  $\geq$ 15,000 square feet; floor space for alcohol shall be no more than 5% of the store's total floor area, including both sales and storage.
- D. **Prohibited Uses.** Those uses not listed in Table 4.2-1 are prohibited by this Specific Plan, except as otherwise provided by PMC17.21.030.A.
1. Drive-throughs associated with any use are prohibited.
- E. **Nonconforming Uses.** Existing uses which are made nonconforming by this Specific Plan shall not be expanded and are further subject to the provisions of PMC17.71.

Table 4.2-1: Allowed Uses, Permit Requirements & Specific Limitations

Symbol	Description	PMC Section
P	Permitted use, Code Compliance Certificate required.	17.61.020
MC	Conditional use, Minor Conditional Use Permit required.	17.61.050
C	Conditional use, Conditional Use Permit required.	
E	Conditional use, Expressive Use Permit required.	17.61.060
TUP	Temporary use, Temporary Use Permit required.	17.61.040
—	Use not allowed.	

ZONING DISTRICT LAND USES AND PERMIT REQUIREMENT						
Land Use <sup>1</sup>	Permit Requirement					PMC Section / Notes
	LASP-CG	LASP-CL	LASP-CF	LASP-MU	LASP-RM-16	
<b>RESIDENTIAL USES</b>						
Accessory Dwelling Unit	—	—	—	P	P	17.50.275
Home Occupations	—	—	—	P	P	17.50.110
Multi-family Residential	—	—	—	P	P	
Residential Accessory Uses and Structures	—	—	—	P	P	17.50.250
Residential Care, Limited	—	—	—	P	P	
Transitional Housing	—	—	—	p <sup>2</sup>	p <sup>2</sup>	Maximum
<b>RECREATION, EDUCATION &amp; PUBLIC ASSEMBLY USES</b>						
Clubs, Lodges, Private Meeting Halls	C	C	C	C	C	17.50.230
Colleges, Nontraditional Campus Setting	P	P	P	P	—	
Commercial Entertainment	E	—	E	E	—	17.50.130
Commercial Recreation, Indoor	P	—	P	P	—	17.50.130
Commercial Recreation, Outdoor	C	—	C	—	—	17.50.130
Cultural Institutions	P	P	P	P	C	
Electronic Game Centers	C	—	C	C	—	17.50.100
Park and Recreation Facilities	P	P	P	P	P	
Religious Facilities	C	C	C	C	C	17.50.230
with Columbarium	MC	MC	MC	MC	—	17.50.230
with Temporary Homeless Shelter	C	C	C	C	—	17.50.230
Schools, Public and Private	C	C	C	C	C	17.50.270
Schools, Specialized Education and Training	P	P	P	P	—	17.61.050.J

<sup>1</sup> See PMC 17.80.020 for definition of the listed land uses, except those listed in footnotes 2 and 3.

<sup>2</sup> The maximum interior or exterior area in which support services are offered or located shall not exceed 250 square feet.



ZONING DISTRICT LAND USES AND PERMIT REQUIREMENT						
Land Use <sup>1</sup>	Permit Requirement					PMC Section / Notes
	LASP-CG	LASP-CL	LASP-CF	LASP-MU	LASP-RM-16	
<b>OFFICE, PROFESSIONAL &amp; BUSINESS SUPPORT USES</b>						
Automated Teller Machines (ATMs)	P	P	P	P	—	17.50.060
Banks and Financial Services	P	P	P	P	P	17.61.050.J
with Walk-Up Services	P	P	P	P	—	17.50.060
Business Support Services	P	P	P	P	—	17.61.050.J
Offices, Accessory	P	P	P	P	—	17.61.050.J
Offices, Administrative Business Professional	P	P	P	P	—	
Offices, Government	P	P	P	P	—	
Offices, Medical	P	P	P	P	—	
Offices, Research and Development	P	P	P	P	—	17.50.240, 17.61.050.J
Work/Live Units	—	—	P	P	—	17.50.370
<b>RETAIL SALES</b>						
Accessory Tasting Rooms <sup>3</sup>	—	—	C	—	—	Refer to Section 4.2.1.C, 17.50.040
Alcohol Sales, Beer and Wine	C	C	C	C	—	
Alcohol Sales, Full Alcohol	C	C	C	C	—	
Animal Retail Sales	P	—	—	—	—	
Commercial Nurseries	C	C	C	C	—	17.50.180
Convenience Stores	C	C	C	C	—	
Food Sales	P	—	P	P	—	
Restaurants, Fast Food	P	—	P	P	—	17.50.260
Restaurants, Formula Fast Food	P	—	P	P	—	17.50.260
Restaurants	P	P	P	P	—	17.50.260, 17.61.050.J
with Limited Live Entertainment	P	—	P	P	—	
with Walk-Up Window	C	C	C	C	—	
Retail Sales	P	P	P	P	—	Retail stores may not exceed 40,000 square feet in size.
Service Stations	C	—	—	—	—	17.40.070; 17.61.050.J

<sup>1</sup> See PMC 17.80.020 for definition of the listed land uses, except those listed in footnotes.

<sup>3</sup> **Accessory Tasting Rooms** is defined as uses accessory to an alcohol manufacturing plant that offer on-site tastings and sell beverages manufactured on the premises for on-site or off-site consumption. The subcategory includes establishments such as breweries, wineries, and distilleries that offer tastings and sales of alcohol beverages in accordance with a license issued by the California Department of Alcoholic Beverage Control.

ZONING DISTRICT LAND USES AND PERMIT REQUIREMENT						
Land Use <sup>1</sup>	Permit Requirement					PMC Section / Notes
	LASP-CG	LASP-CL	LASP-CF	LASP-MU	LASP-RM-16	
<b>SERVICES</b>						
Adult Day Care, Limited	P	P	P	P	P	
Animal Services, Grooming	P	P	P	P	—	
Catering Services	P	P	P	P	—	17.61.050.J
Charitable Institutions	P	P	P	P	—	17.61.050.J
Child Day Care Centers	C	C	C	C	C	17.50.080
Child Day Care, Large	—	P	—	P	P	17.50.080
Child Day Care, Small	—	P	—	P	P	
Laboratories	P	MC	P	MC	—	
Maintenance and Repair Services	P	—	P	P	—	
Massage Establishments	C	—	—	C	—	17.50.155, 17.61.050.J
Mortuaries/Funeral Homes	C	—	C	—	—	
Neighborhood/Community Gardens	P	P	P	P	P	
Personal Improvement Services	P	P	P	P	—	17.61.050.J
Personal Services	P	P	P	P	—	
Printing and Publishing, Limited	P	P	P	P	—	17.61.050.J
Public Safety Facilities	C	C	C	C	C	
<b>INDUSTRY, MANUFACTURING &amp; PROCESSING</b>						
Alcohol Beverage Manufacturing <sup>4</sup>	—	—	C	—	—	Refer to Section 4.2.1.C
Custom Manufacturing / Artisan Production <sup>5</sup>	—	—	P	—	—	
Recycling Centers, Small	—	—	MC	—	—	17.50.220
Research and Development, Non-offices	C	C	P	—	—	17.50.240

<sup>1</sup> See PMC 17.80.020 for definition of the listed land uses, except those listed in footnotes.

<sup>4</sup> **Alcohol Beverage Manufacturing** is defined as a use where manufacturing of beer, wine, or other alcohol beverages are processed or prepared for consumption.

<sup>5</sup> **Custom Manufacturing / Artisan Production** is defined as an artisanal, independent, or small-scale use limited to a maximum gross floor area of 15,000 square feet that involves the assembly, compounding, design, development, evaluation, manufacturing, processing, packaging, or treatment of components into products and conducted within enclosed buildings. These uses do not produce noise and vibration beyond the property line. Uses requiring State or Federal emissions permits are excluded from this use category to protect neighboring properties. Truck trips are limited to maximum of 10 per day. Small-scale food production including commercial bakeries, but excluding catering, are included in this use category. Accessory uses that support the primary use of the establishment may comprise up to 25% of the gross floor area of the establishment. Accessory uses may include those such as, but not limited to, outdoor dining, on-site food and beverage tastings, and retail.

ZONING DISTRICT LAND USES AND PERMIT REQUIREMENT						
Land Use <sup>1</sup>	Permit Requirement					PMC Section / Notes
	LASP-CG	LASP-CL	LASP-CF	LASP-MU	LASP-RM-16	
<b>TRANSPORTATION, COMMUNICATIONS, AND UTILITY USES</b>						
Accessory Antenna Arrays	P	P	P	P	—	17.40.070
Commercial Off-Street Parking	C	C	C	—	—	
Communications Facilities	C	C	C	C	—	
Transportation Terminals	C	C	C	C	—	17.50.310
Wireless Telecom Facilities, Major	C	C	C	C	—	
Wireless Telecom Facilities, Minor	MC	MC	MC	MC	—	
Wireless Telecom Facilities, SCL	P	P	P	P	—	
Utilities, Major	C	C	C	C	C	
Utilities, Minor	P	P	P	P	P	
<b>TEMPORARY USES</b>						
Filming, Long-term	C	C	C	C	C	
Filming, Short-term	P	P	P	P	P	
Street Fairs	P	P	P	P	P	
Tents	TUP	TUP	TUP	TUP	TUP	17.50.320
Personal Property Sales	—	—	—	P	P	17.50.190
Seasonal Merchandise Sales	P	P	P	P	—	17.50.180; 17.61.050.J
Other Temporary Uses	TUP	TUP	TUP	TUP	TUP	

<sup>1</sup> See PMC 17.80.020 for definition of the listed land uses, except those listed in footnotes.

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# Ch. 5

## Public Realm

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# Public Realm

## CHAPTER OVERVIEW

The public realm standards and guidelines in this chapter serve to implement the General Plan vision for Lincoln Avenue Specific Plan area and achieve objectives of the Pasadena Street Design Guide and Pasadena Master Street Tree Plan. To improve the public realm for users of all abilities, and to provide enough space for simultaneous uses of the sidewalk, these standards and guidelines ensure that new developments contribute to the safety, accessibility, and connectivity of their surrounding streetscape network. Many features that are critical to walkability depend on the width and organization of the sidewalk. For example, consistent street trees provide shade and other aesthetic and environmental benefits, and sidewalk seating for restaurants and cafés activate the public realm and boost business. However, the success of both relies on the sidewalk offering ample and well-organized space to prevent conflicts with pedestrians.

The public realm standards and guidelines in this chapter address and regulate pedestrian infrastructure and amenities to support a safe, accessible, and comfortable pedestrian experience. The standards and guidelines are presented in the following sections:

- » **5.1 Sidewalks.** Addresses minimum sidewalk widths and sidewalk zones.
- » **5.2 Parkways and Street Trees.** Addresses parkway dimensions, amenities, and materials, and street tree placement and preferred species.

Each section includes rationale for the standard followed by sub-sections for individual standards, if applicable. Each standard is introduced in text and/or table format with diagrams and images to illustrate regulations. Supplementary text boxes are provided for additional context on most standards and diagrams. Note that diagrams are provided for the purposes of communicating measurements and images are included to illustrate potential outcomes of the standards; neither are suggestive of regulated architectural styles.



*Sidewalks with sufficient width can support pedestrian travel as well as space for various amenities.*



*A well-designed public realm provides comfortable and accessible space for people of all abilities.*

## PASADENA STREET DESIGN GUIDE

Pasadena's Street Design Guide provides a framework for understanding the way sidewalks are used, and organizes sidewalks into zones to avoid conflict between various uses and amenities. Requirements vary based on the level of activity, land uses, intensities, and densities, as well as special conditions. Through designating specific zones, the Lincoln Avenue Specific Plan can help enhance the pedestrian experience by increasing sidewalk widths, enabling more shade coverage and opportunities for amenities such as seating and landscaping.

The Street Design Guide organizes sidewalks into the following three zones, which provide a basis for standards in the Specific Plan:

- » The **Amenity / Curb Zone (Amenity Zone)** is the portion of the sidewalk directly adjacent to the street right-of-way. This zone typically includes street trees, street lights, parkways, street furniture, bicycle parking, bus shelters, and other utility facilities.
- » The **Walk Zone** is the portion of the sidewalk dedicated to pedestrian travel and shall be free of obstruction.
- » The **Building Frontage Zone** is adjacent to private property and allows for door openings from buildings, outdoor furniture and shade structures.

Figure 5.1-1: Sidewalk Zones



# 5.1 Sidewalks

Standards in sections 5.1 shall apply to all Projects as defined in PMC 17.80.020. These standards are intended to:

- » Ensure a minimum sidewalk width is achieved, appropriate to support future densities, intensities, uses, and pedestrian volumes;
- » Provide sufficient space to support dedicated amenity and walk zones; and
- » Increase shade, carbon sequestration, and stormwater capture by allowing adequate space for street trees and parkways.

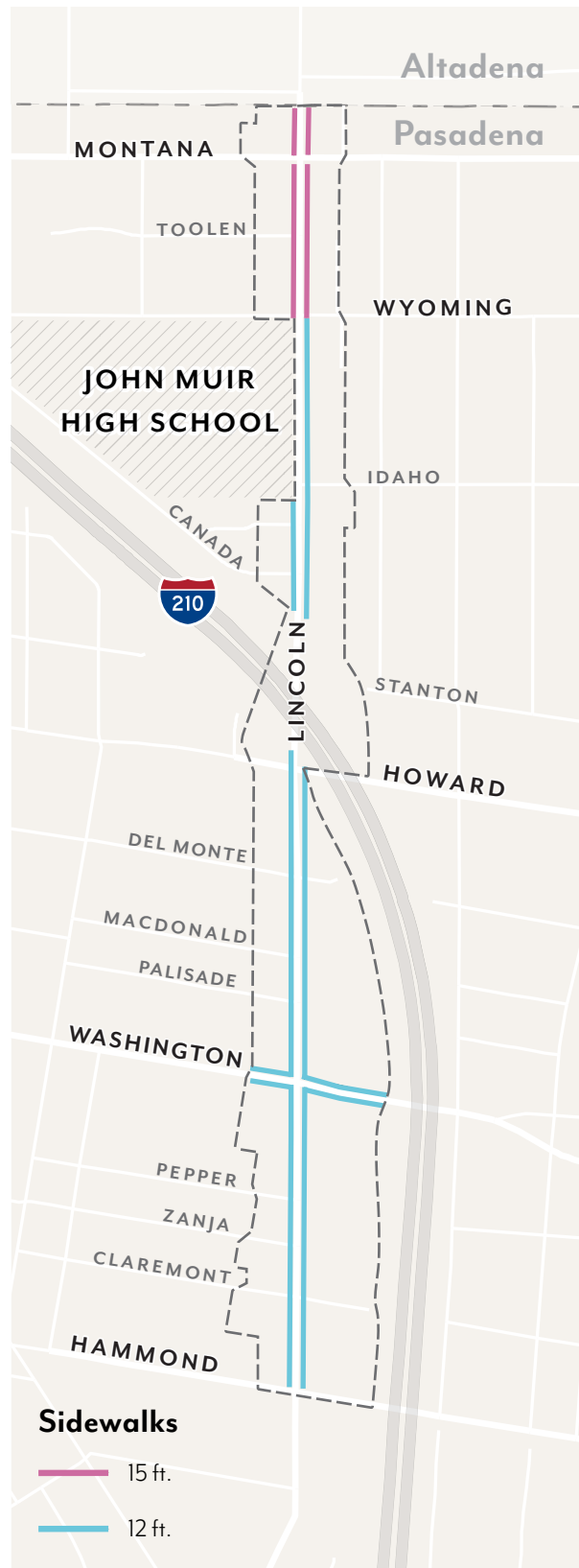
## 5.1.1 SIDEWALK WIDTH

- A. **Dimension.** Projects shall provide sidewalks that meet the required widths per Map 5.1-1. Where the existing sidewalk right-of-way is less than the required width, the difference shall be provided through a dedication.
1. Sidewalks are measured from the Primary Curb Line of each block to the sidewalk line, as illustrated in Figure 5.1-2.
  2. This area shall be paved for general use to the standards specified by Public Works, except for landscaped parkways per Section 5.2.
  3. Within the sidewalk width, sidewalk zones shall be provided to the dimensions set in Figures 5.1-3 through 5.1-6.
  4. Where the curb deviates (i.e. bulb-outs), exceptions in zone width are allowed and shall be determined by Public Works.
  5. Driveways are allowed per Section 6.6.1.
- B. **Maintenance.** Sidewalk improvements shall be installed and maintained by the abutting property owner(s).

### SIDEWALK WIDTHS

Sidewalk widths of at least 12' are required throughout the Specific Plan area to provide space for a clear walk zone and basic amenities such as landscaping, lighting, signage, and bicycle parking. Sidewalks of 15' are required in commercial areas with more pedestrian activity and greater need for amenities.

Map 5.1-1: Sidewalk Widths



## 5.1.2 SIDEWALK ZONES

- A. **Amenity Zone.** Sidewalks shall provide an amenity zone at the width illustrated in Figures 5.1-3 through 5.1-6, including the curb.
1. Projects shall meet minimum parkway and street tree requirements per Section 5.2.
  2. The following elements are permitted in the Amenity Zone at the discretion of Public Works:
    - a. Paved area for pedestrian mobility,
    - b. Parkway and street trees,
    - c. Seating/furniture,
    - d. Outdoor dining (with a Public Works permit),
    - e. Planters,
    - f. Bicycle parking,
    - g. Bus shelters, and/or
    - h. Other utility facilities including streetlights, signals, meter and sign poles, and pullboxes, etc.
- B. **Walk Zone.** Sidewalks shall maintain a minimum continuous path of travel for pedestrians at the width illustrated in Figures 5.1-3 through 5.1-6. This area shall be free of all furnishings, landscaping, or obstructions.

### IMPORTANCE OF SIDEWALKS

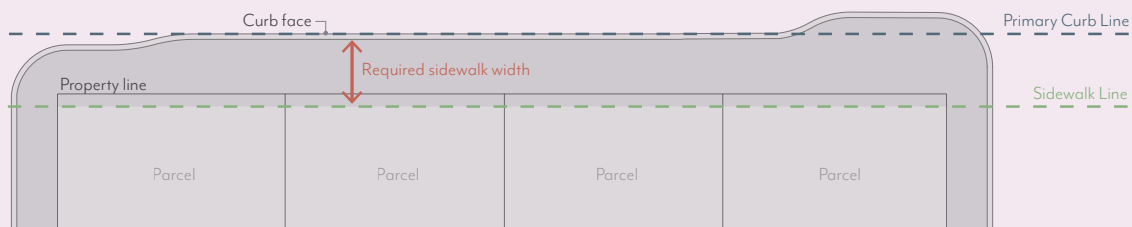
Sidewalks play a multi-faceted role in the built environment, serving as spaces for pedestrian travel, entryways, outdoor dining, landscaping and trees, as well as containing a variety of amenities, such as benches, bus shelters, bicycle racks and trash receptacles. Sidewalk standards correlate to the level of surrounding densities, intensities, and uses. Having sufficient widths and establishing distinct zones ensure that the sidewalk can support activities of all kinds.

- C. **Frontage Zone.** Sidewalks may include a building frontage zone between the Walk Zone and the Sidewalk Line. A maximum width is illustrated in Figures 5.1-3 through 5.1-6.
1. The following elements are permitted within the Frontage Zone and may not encroach on the Walk Zone:
    - a. Seating/furniture,
    - b. Outdoor dining (with a Public Works permit),
    - c. Planters, and/or
    - d. Shade structures and galleries.

Figure 5.1-2: Sidewalk Width Measurement

The sidewalk line is the line created by measuring the required sidewalk width (as shown in Figure 5.1-2) from the Primary Curb Line. The Primary Curb Line is the predominant face of curb line of a given block at the discretion of Public Works, and shall not include “bulb-outs” or reductions in sidewalk width at intersections.

As illustrated here, some parcels may not currently provide sufficient width to meet the sidewalk requirement. In these cases, the property owner must provide additional paved area through a dedication.





## SIDEWALK ZONES

The images below reflect examples of appropriate conditions for the three sidewalk zones. These examples are illustrative and may not reflect all applicable development standards.

### BUILDING FRONTAGE ZONE



*Frontage zones may be used to accommodate outdoor dining*



*Frontage zones may include planters to add greenery*

### WALK ZONE

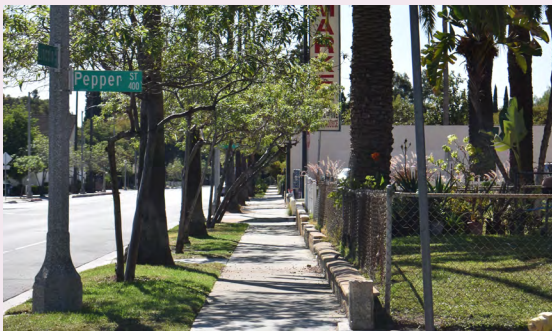


*Walk zones of 5 feet allow two people to walk together comfortably*



*Wider walk zones of 7 feet or more are appropriate for commercial retail areas*

### AMENITY ZONE



*Amenity zones often include landscaped parkways, especially on residential blocks*



*Amenity zones may include street furniture and landscaping*

**SIDEWALK DIMENSIONS | CROSS-SECTIONS BY STREET AND ZONING DISTRICT**

Figure 5.1-3: CG Sidewalks

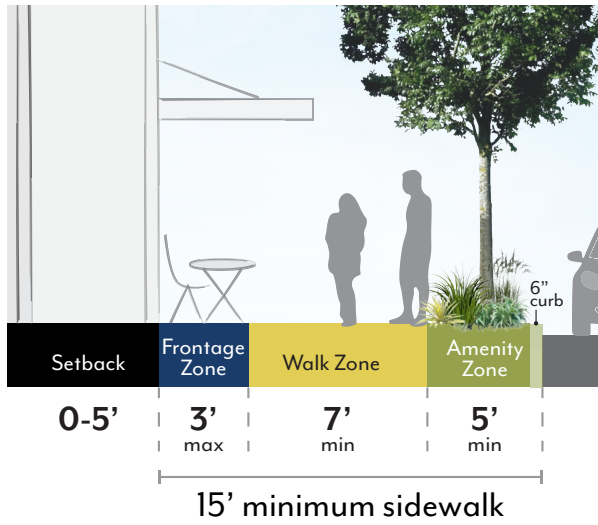


Figure 5.1-4: RM Sidewalks

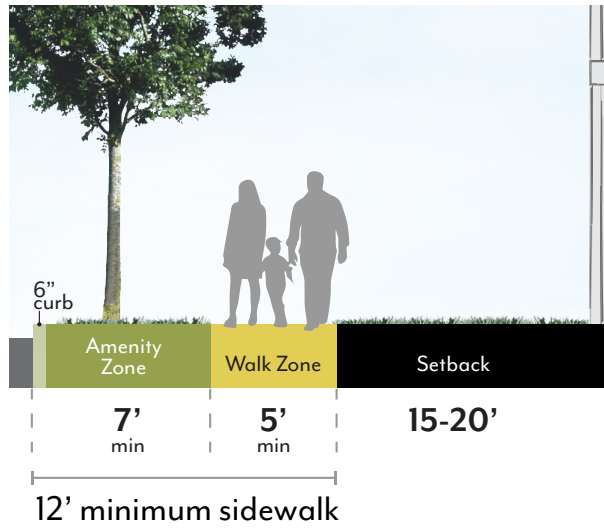


Figure 5.1-5: MU Sidewalks

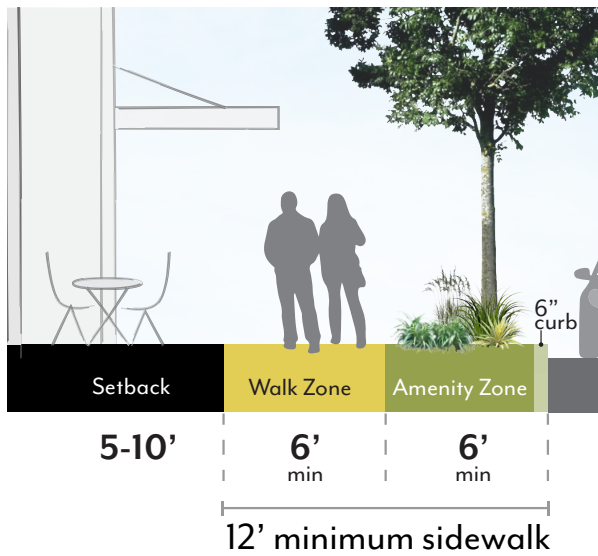
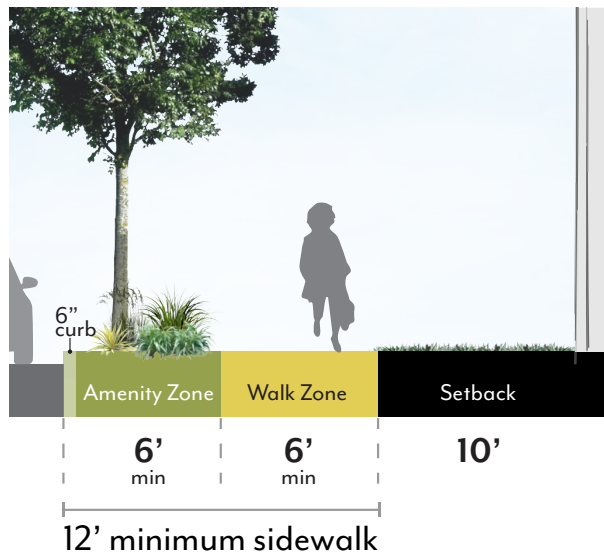


Figure 5.1-6: CF Sidewalks





## 5.2 Parkways and Street Trees

Standards in sections 5.2 shall apply to all Projects as defined in PMC 17.80.020. These standards are intended to:

- » Enhance pedestrian conditions through increased landscaping at sidewalk level;
- » Provide a visual buffer between parking lane and sidewalk;
- » Improve stormwater capture and increase permeability of sidewalk zone; and
- » Improve street tree health and support the process of carbon sequestration.

### 5.2.1 PARKWAYS

A. **Required parkways.** Projects shall provide parkways within the amenity zone for between 20 to 30% of parcel frontage. Tree wells shall be counted towards the parkway frontage.

1. Where parkways currently exist, they are permitted to maintain the current parkway frontage even if it is more than 30% of the parcel; however, planted areas shall be updated to meet the requirements in 5.2.1.C.

B. **Dimensions.** Parkway shall be constructed at the same width as the Amenity Zones illustrated in Figures 5.1-3 to 5.1-6, minus the 6-inch width required for the curb. When street parking is adjacent to the curb, an 18-inch paved buffer is required, in addition to the 6-inch curb.

2. The length of individual parkways shall be at least 3 feet and no more than 15 feet. When street trees are planted within a parkway, the minimum parkway length shall be 5 feet.

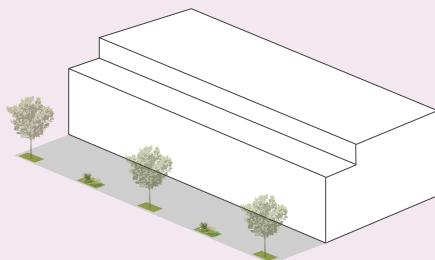
### IMPORTANCE OF PARKWAYS

Parkways are landscaped or permeable areas within the sidewalk that play an important role in today's urban landscape by improving pedestrian comfort, increasing sustainability, and enhancing the aesthetic character of the public realm. By expanding the permeable area around street trees, parkways increase rain and stormwater capture, leading to improved street tree health and larger tree canopies, which creates cooler temperatures for pedestrians, helps to sequester carbon from the atmosphere, and reduces pollution in our nearby waterways.

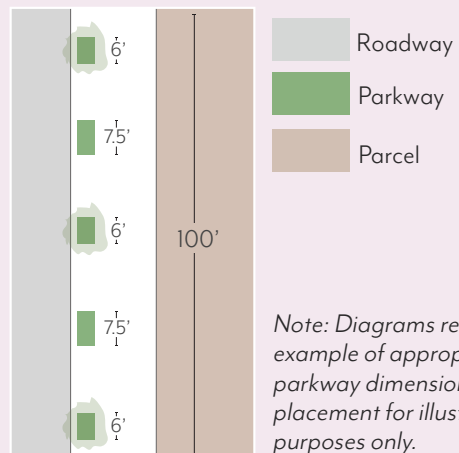
Parkways also provide a visual buffer between the pedestrian and moving or parked vehicles, which further improves pedestrian comfort and creates a more attractive sidewalk environment. Typically residential neighborhoods can accommodate long, uninterrupted areas of parkways within the sidewalk. In commercial and mixed use areas, available space for parkways may be constrained by bus shelters, street lights, and the need to accommodate higher levels of pedestrian traffic; however, significant parkway opportunities still exist on these corridors.

3. Barriers up to 2.5 feet high, such as low walls or fences, are permitted to be constructed at the edge of the parkways but are not required.

Figure 5.2-1: Parkway Requirements



A 20-30% parkway frontage provides room for landscaping and street trees while allowing for other amenities or utilities that may be found in a commercial or mixed-use environment, including seating, waste receptacles, bicycle parking, bus shelters, and driveways.



*Note: Diagrams reflect example of appropriate parkway dimensions and placement for illustrative purposes only.*

C. **Planted area.** At least 50% of the total parkway area required for a given project must be comprised of plant material.

1. **Materials.** Permitted materials include groundcovers, turf or turf substitutes, and shrubs or low perennials that are lower than 2.5 feet in height at full maturity.

- a. Plant material shall not exceed a height of two 2 feet within 5 feet of a driveway/curb cut.
- b. All plant material shall be native or climate appropriate and have a water use rating of Moderate, Low or Very-Low as defined by Water Use Classification of Landscape Species (WUCOLS) for the region. Plant water use requirements may be relaxed to maximize the efficiency of parkway stormwater capture systems per approval by the Director of Public Works.
- c. Plants with spines or thorns shall not be planted adjacent to any walkways or curbs.
- d. Edible plants are not permitted in parkways.
- e. Artificial turf is not permitted in parkways.

2. **Material removal.** When removing existing plant material like turf grass from a parkway, there shall be no damage to the street tree roots. Parkway improvements involving excavation within an existing tree’s root zone must be consistent with the City’s Tree Protection Guidelines. Root pruning, if required and approved by Public Works, must be overseen by a Certified Arborist. Excavation within a tree’s root zone must be replanted immediately to prevent the tree roots from exposure and undo harm.

D. **Non-vegetative area.** Up to 50% of the parkway area may be organic or inorganic cover.

1. **Materials.** Permitted materials include permeable pavers, decomposed granite, gravel, rocks, or mulch.

- a. Plant Material shall not be placed within 24 inches of tree trunks and shall not run off into the street.
- b. Pavers are not allowed within three (3) feet of any public streetlight pole or pull box or other utility facilities.



*Parkway with street trees and low perennial plantings*

### MATERIALS & ACCESS GUIDELINES

- » In areas with high pedestrian traffic, plant material should have a minimum height of 18 inches to discourage pedestrians from stepping on the parkway. Groundcover is discouraged unless it can withstand heavy foot traffic.
- » Plants which require little or no irrigation are preferred.
- » Plants are not recommended to be planted within 4 feet from a tree trunk.

- E. **Stormwater management.** Parkway shall either meet the following basic stormwater standards, or propose a biofiltration planter or swale design based on local conditions per the approval of the Director of Public Works.
1. **Grade.** The parkway shall be at the same grade as the adjacent hardscape surface at the outer edge of the parkway and slope at a minimum of 1% towards the center of the parkway.
  2. **Required shallow swale.** For parkways with a width greater than 5 feet, the center two feet of the parkway should be depressed 3 to 4 inches to form a shallow swale to collect sidewalk stormwater. Alternative means of storing runoff, such as gravel sumps within the parkway, may be provided.
- F. **Irrigation.** Irrigation systems in parkways must be designed and constructed in a manner that will eliminate surface runoff onto any impermeable surface, public or private, under any condition. Design of irrigation systems in parkways shall be in accordance with all local, state, and federal laws and regulations for water conservation. Street tree roots shall not be damaged during the irrigation installation process.
- G. **Maintenance.** Abutting property owner shall ensure and maintain the parkway in a condition so as not to endanger persons or property, and not to interfere with the public convenience.

## STORMWATER & IRRIGATION GUIDELINES

- » Parkway should be designed to treat and/or capture stormwater run-off from the adjacent to the greatest extent feasible given soil conditions.
- » Suspended pavement systems are encouraged as a means of controlling runoff volume and should be implemented under and adjacent to large pedestrian walkways.
- » If impermeable surfaces are used within parkways, they shall be constructed to drain to permeable areas.
- » Low-volume, sub-surface/drip irrigation or other non-spray irrigation systems or hand-watering is preferred where irrigation is needed.

## 5.2.2 STREET TREES

- A. **Tree species.**<sup>1</sup> Street tree species shall be selected according to the Master Street Tree Plan at the discretion of the Director of Public Works. Trees may be planted within parkways or tree wells.
- B. **Tree spacing.** Street trees shall be planted at a spacing no greater than one per every 30 feet. Exceptions can be made by the Director of Public Works due to conflicts with street lights, bus shelters, utility boxes, or other street amenities. Closer spacing is encouraged when feasible and when appropriate for the particular tree type.
- C. **Tree well dimension.** Tree well width must be equivalent to the required Amenity Zone, minus the 6-inch width required for the curb. If a paved buffer zone is required due to adjacent street parking, the tree well width may be reduced to accommodate this buffer strip. The minimum length of a tree well shall be 6 feet. Street trees planted within tree wells must be installed according to the Department of Public Works Tree Planting in Tree Well Standard Plan.
- D. **Tree well frames.** Tree well frames, or tree grates, may be installed according to the Department of Public Works Tree Well Frame Installation Standard.
- E. **Expanded Root Zone Cell.** Each street tree shall be provided with an uncompacted root zone volume of at least 800 cubic feet. The root zone volume depth shall be 2 feet minimum and 3 feet maximum. Where this root zone volume cannot be provided within the parkway area, an expanded root zone cell volume shall be provided below adjacent pavement using a strategy such as structural soil or a suspended pavement system to provide an uncompacted soil area suitable for tree root growth. The root zone volume per tree requirement may be reduced by 10% where two or more trees share a contiguous root zone cell.
- F. **Maintenance.** All street trees shall be maintained by the Department of Public Works.

<sup>1</sup>See **Appendix A.2 Design Guidance for Tree Selection** for detailed recommendations to better align Lincoln Avenue’s street tree species with the vision, goals, and policies in this Specific Plan related to shade, climate resilience, stormwater capture, and supporting a vibrant public realm.

**IMPORTANCE OF STREET TREES**

Street trees play an important role in keeping cities livable, sustainable and resilient. Trees improve air quality, increase urban biodiversity, and help reduce carbon emissions. In addition to environmental benefits, trees provide health, social, economic, and aesthetic benefits to communities. Requirements based on guidance from the City’s Master Street Tree Plan will increase street tree coverage and require the preservation or introduction of certain tree species. In adherence with these street tree standards and guidelines, new development will contribute to an enhanced shade canopy that helps to reduce the urban heat island effect, decrease sidewalk temperatures, enhance pedestrian comfort, and improve the visual experience of the street.



Young Oak tree on Lincoln Ave.



Mature Oak tree on Lincoln Ave.

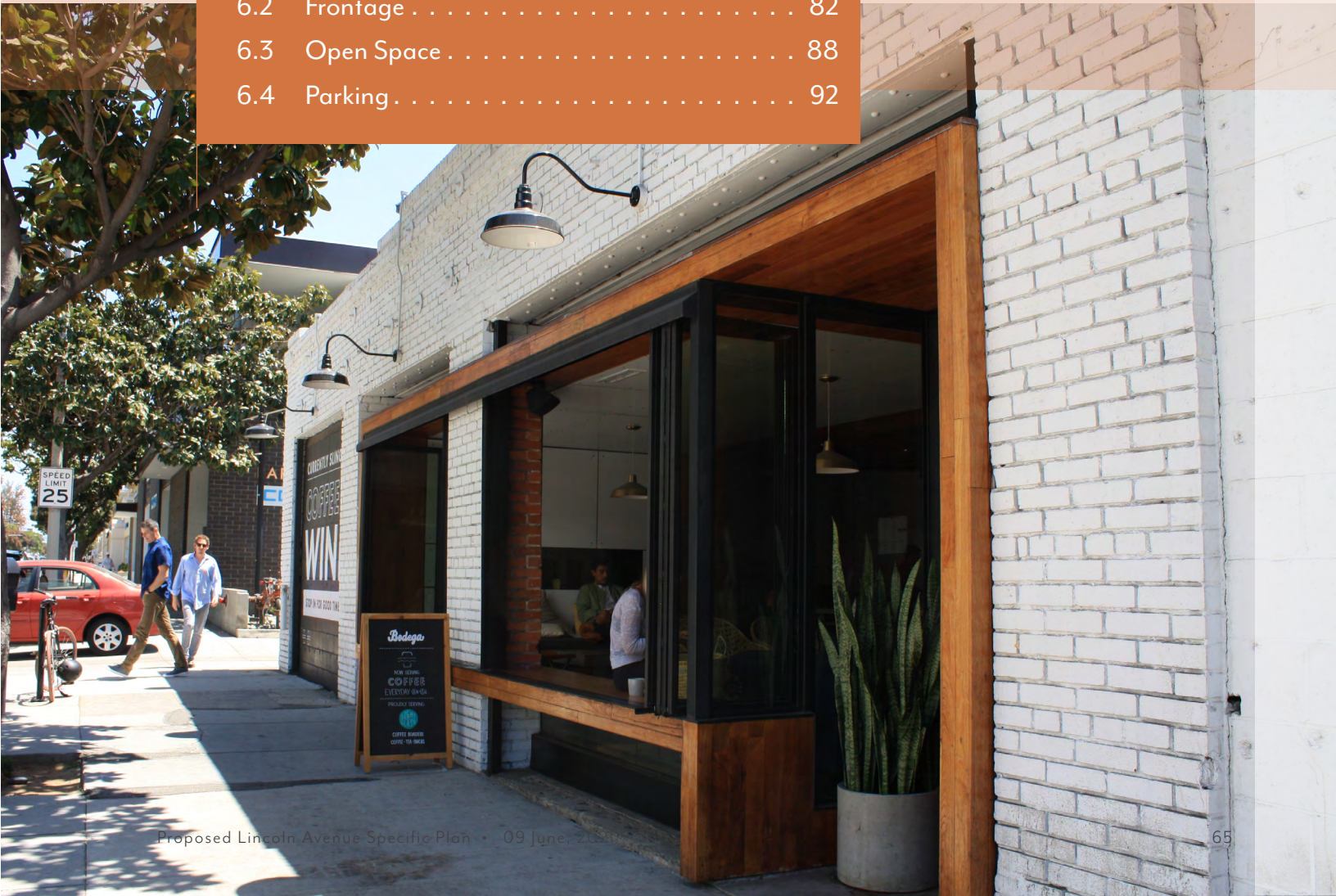
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# Ch. 6

# Development Standards

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# Development Standards

## CHAPTER OVERVIEW

The development and design standards in this chapter serve to implement the vision, goals, and policies for the Lincoln Avenue Specific Plan area, described in Chapter 3.

This chapter is organized into the following sections:

- » **6.1 Scale.**
  - » 6.1.1 Density (du/ac)
  - » 6.1.2 Intensity (FAR)
  - » 6.1.3 Height\*
  - » 6.1.4 Setbacks\*
  - » 6.1.5 Stepbacks\*
  - » 6.1.6 Historic Adjacency\*
  - » 6.1.7 Modulation
- » **6.2 Frontage.**
  - » 6.2.1 Ground Floor
  - » 6.2.2 Entrances
  - » 6.2.3 Transparency
  - » 6.2.4 Shade Structures
  - » 6.2.5 Arcades & Galleries
  - » 6.2.6 Lighting
  - » 6.2.7 Walls & Fences\*
  - » 6.2.8 Balconies & Roof Decks\*
- » **6.3 Open Space.**
  - » 6.3.1 Minimum Area
  - » 6.3.2 Private Open Space
  - » 6.3.3 Common Open Space
  - » 6.3.4 Public Open Space
- » **6.4 Parking.**
  - » 6.4.1 Minimum Parking\*
  - » 6.4.2 Vehicle Access
  - » 6.4.3 Layout & Design

\*Applicable RM-16 standards modified by this Specific Plan.

In addition to the requirements of this Specific Plan, all projects shall comply with the Pasadena Municipal Code (PMC) requirements below. In the event of conflict between the Zoning Code and this Specific Plan, the requirements of this Specific Plan shall control (PMC 17.12.020.D).

- » PMC 17.40 General Development
- » PMC 17.42 Inclusionary Housing
- » PMC 17.43 Density Bonus
- » PMC 17.44 Landscaping
- » PMC 17.46 Parking & Loading
- » PMC 17.48 Signs
- » PMC 17.50 Specific Land Uses

In LASP RM-16, development shall follow all RM-16 standards in PMC 17.22 except where modified by this Specific Plan.

Per Section 4.1.2, standards for PS zoning are not included in this Specific Plan. In PS, development shall be subject to a Conditional Use Permit or Master Plan (PMC 17.26).

Guidelines, incorporated as part of this plan in shaded text boxes, are intended to encourage quality architecture that enhances the community's unique character. Projects should also consult Pasadena's *Design Guidelines for Neighborhood Commercial and Multi-Family Districts* for further guidance on building form and relationship to the surrounding neighborhood. Projects required to go through Design Review will be assessed based its contents.

Table 6-1: Summary of Development and Design Standards

Table 6-1 provides abbreviated development and design standards by zoning district for the Lincoln Avenue Specific Plan. Where the Plan defers to the Pasadena Municipal Code (PMC) for a particular standard, the relevant code section is provided; however, the city's code is updated

periodically and exact code references may change. Checkmarks (✓) indicate where a Specific Plan standard applies, but the standard is text-based and cannot be condensed into the table. **Complete standards shall be referenced within the relevant sections of Chapter 6.**

Standard	LASP-CG	LASP-CL	LASP-CF	LASP-MU	LASP-RM-16
<b>Scale</b>					
<b>Maximum Density</b>					
Dwelling Units per Acre	0	0	0	48	16
<b>Maximum Intensity</b>					
Floor Area Ratio	1.0	1.0	1.0	1.5	N/A
<b>Maximum Height</b>					
Height (stories)	39'	36'	39'	39' (3)	36'
<b>Required Setbacks</b>					
Lincoln Avenue	0-5' for 75% of frontage	15'	5-10' for 75% of frontage	5-10' for 75% of frontage	15-20' for 50% of frontage
Other streets	0-5' for 75% of frontage	None required	5-10' for 50% of frontage	5-10' for 50% of frontage	10'
Adjacent RM/RS	15'	15'	N/A	15' (5' if Res.)	5'
Other interiors	None required				5'
<b>Required Stepbacks</b>					
All streets	None required			10' deep at 39'	None required
Adjacent RS	Figure 6.1-5	Figure 6.1-3	None required	Figure 6.1-3	Figure 6.1-4
<b>Historic Adjacency</b>	✓	✓	✓	✓	✓
Setbacks & Stepbacks	Modified standards apply to Projects adjacent designated resources				
<b>Required Modulation</b>					
Length	100'	75'	150'	150'	PMC17.22.070
Area	25%	25%	25%	25%	
<b>Frontage</b>					
<b>Minimum Ground Floor Dimensions</b>					
Height	15'	15'	15'	15'	PMC17.22.070
Non-residential Depth	35'	35'	35'	35'	
<b>Entrances</b>	✓	✓	✓	✓	
<b>Minimum Transparency</b>					
Ground Floor	70%	30%	30%	70%	N/A
Overall Façade	30%	15%	15%	30%	15%
Residential Units	N/A	N/A	N/A	15%	15%

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Standard	LASP-CG	LASP-CL	LASP-CF	LASP-MU	LASP-RM-16
<b>Arcades/Galleries</b>	✓	✓	✓	✓	N/A
<b>Required Shade Structures</b>	✓	N/A	N/A	N/A	
<b>Required Lighting</b>	✓	N/A	N/A	N/A	
<b>Walls &amp; Fences</b>	✓	✓	✓	✓	✓
<b>Balconies &amp; Roof Decks</b>	✓	✓	✓	✓	✓
<b>Open Space</b>					
<b>Minimum Area</b>	✓	✓	✓	✓	PMCI7.22.080
<b>Private Open Space</b>	✓	✓	✓	✓	
<b>Common Open Space</b>	✓	✓	✓	✓	
<b>Public Open Space</b>	✓	N/A	✓	N/A	
<b>Parking</b>					
<b>Minimum Parking</b>	✓	✓	✓	✓	✓
<b>Vehicle Access</b>	✓	✓	✓	✓	PMCI7.22.070
<b>Layout &amp; Design</b>	✓	✓	✓	✓	
<b>Other Applicable Standards<sup>1</sup></b>					
City of Gardens	N/A	N/A	N/A	N/A	PMCI7.22.070
General Development	PMCI7.40				
Inclusionary Housing	PMCI7.42				
Density Bonus	PMCI7.43				
Landscaping	PMCI7.44				
Parking & Loading	PMCI7.46				
Signs	PMCI7.48				
Specific Land Uses	PMCI7.50				

<sup>1</sup> Projects shall follow all requirements below except where modified by this Specific Plan. In the event of conflict between the Zoning Code and this Specific Plan, the requirements of this Specific Plan shall control, per PMC 17.12.020.D.



# 6.1 Scale

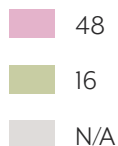
These standards are intended to:

- » Implement the General Plan density (du/ac) and floor area ratio (FAR) values;
- » Shape development in a manner that creates a defined public realm and appropriate scale of buildings for a visually appealing community;
- » Reduce building massing through setback and stepback requirements that create appropriate transitions to residential neighborhoods;
- » Support high-quality architecture and urban design through modulation requirements and variation in façade length; and
- » Require appropriate transitions to designated historic resources.

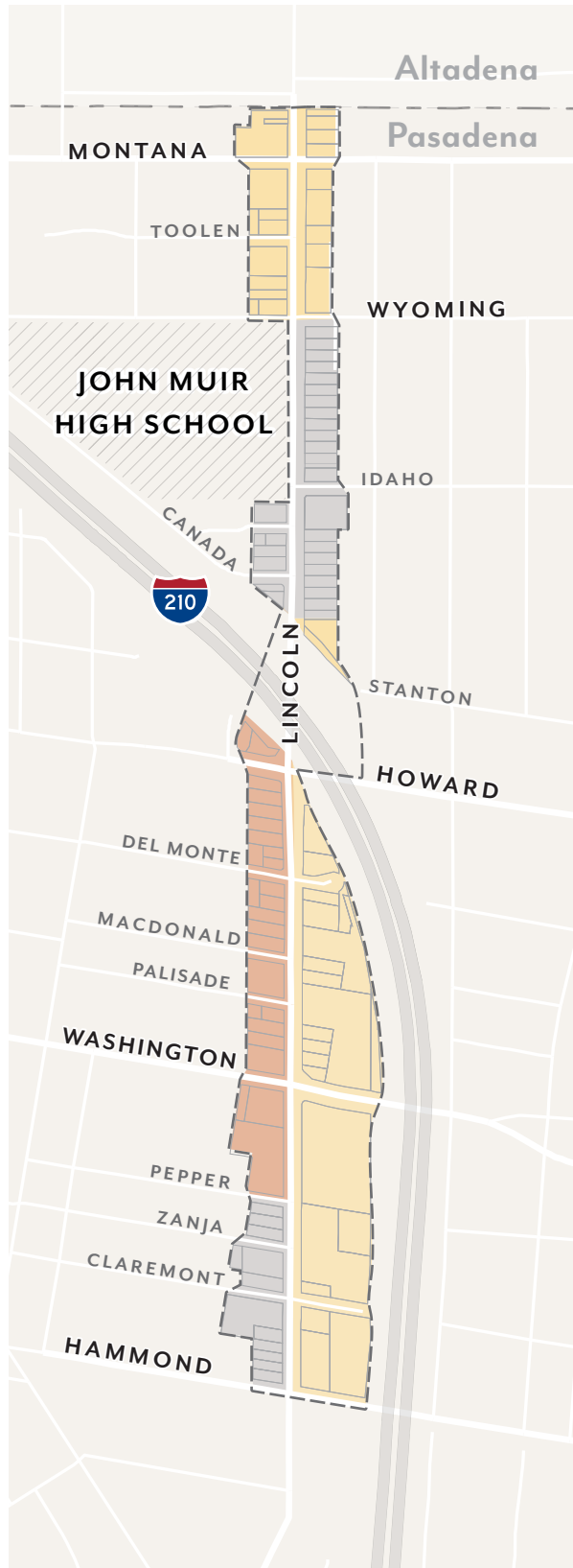
## 6.1.1 DENSITY

- A. **Residential Density.** Projects that include residential dwelling units shall not exceed the allowable dwelling units per acre (du/ac) set in Map 6.1-1.
1. Fractions shall be rounded to the nearest whole number; those at 0.50 may be rounded up. For projects utilizing state density bonus, refer to Government Code 69515.
  2. This maximum is based on gross site area; a reduction in buildable area due to dedications/easements shall not reduce allowable maximums.

Map 6.1-1: Maximum Density



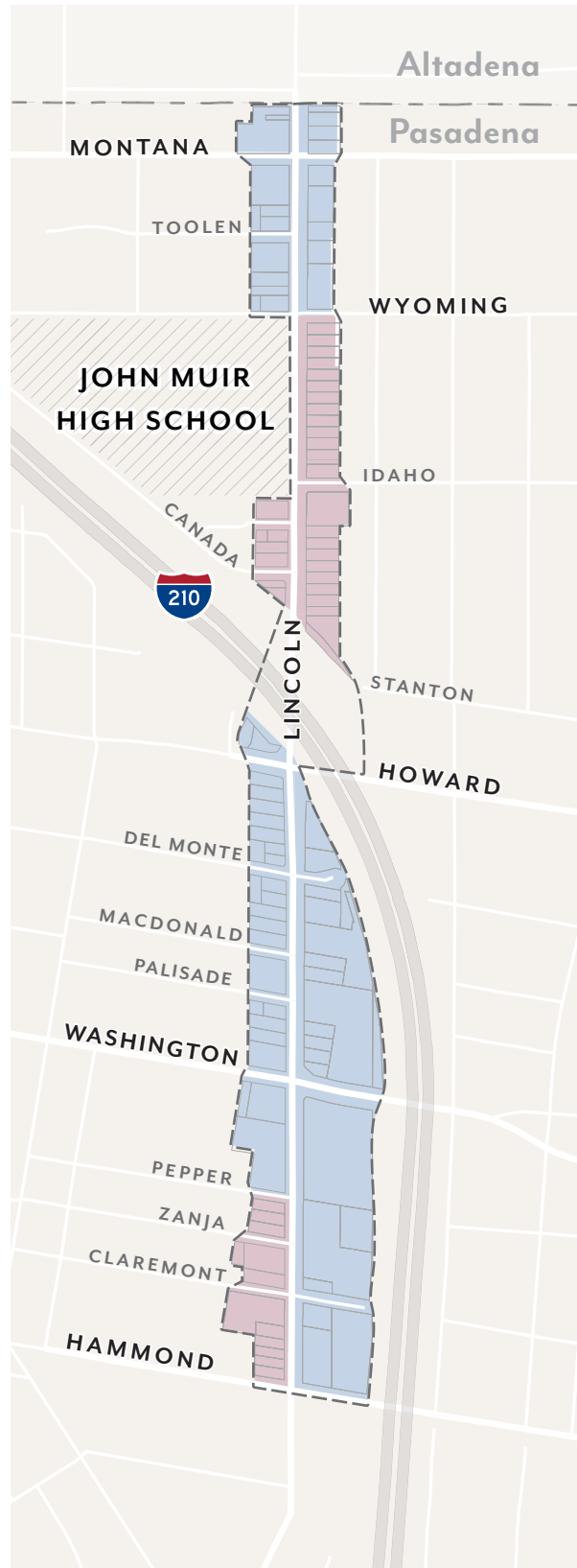
Map 6.1-2: Maximum Floor Area Ratio



## 6.1.2 INTENSITY

- A. **Floor Area Ratio.** Projects that include non-residential space, including mixed-use, shall not exceed the allowable floor area ratio (FAR) set in Map 6.1-2.
1. In mixed-use projects, residential floor area is included in FAR.
  2. Areas used exclusively for vehicle and bicycle parking and loading are excluded from FAR.
  3. This maximum is based on gross site area; a reduction in buildable area due to dedications/easements shall not reduce allowable maximums.

Map 6.1-3: Maximum Building Height



### 6.1.3 HEIGHT

- A. **Building Height.** Projects shall not exceed the height limits set in Map 6.1-3.
  - 1. Exceptions allowed for projecting features such as appurtenances and railings per PMC 17.40.060.

## SAMPLE HEIGHTS

Maximum heights of 36' and 39' allow for up to 3 stories in building height. Architectural features such as roof shape, stepbacks, and modulation can add variation to the roof line and reduce visual impact of building height. These examples are illustrative and may not reflect all applicable development standards.



*Example of approximately 36' building*



*Example of approximately 39' building*

## SAMPLE SETBACKS

Street setbacks refer to the space between the public sidewalk and a building. Setback standards create a consistent streetwall and help achieve an appropriate level of interaction between the public realm and private properties. These examples are illustrative and may not reflect all applicable development standards.



*Example of approximately 5' setback*



*Example of 5-10' setback*



*Example of 15 - 20' setback*



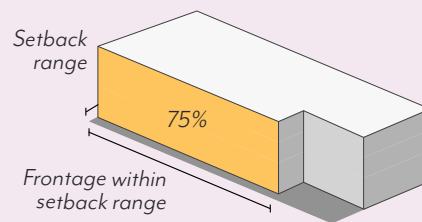
Map 6.1-4: Street Setbacks



## 6.1.4 SETBACKS

- A. **Street Setbacks.** Projects shall comply with the street setback ranges set in Map 6.1-4. Ranges establish a minimum and maximum for the specified percentage of frontage; see Figure 6.1-1. While the remaining frontage may exceed the maximum, setbacks less than the minimum are prohibited.
1. Street setbacks are measured from the sidewalk line; see Figure 5.1-2.
  2. Exceptions allowed per PMC 17.40.160 (Table 4-1).
  3. Arcades and recessed ground floors up to 15 feet in depth are allowed when a second story meets the specified setback.
  4. Other features allowed within the street setback include:
    - a. Landscaping and planters;
    - b. Hardscape (e.g. stoops, patios);
    - c. Shade structures per Section 6.2.4;
    - d. Arcades and galleries per Section 6.2.5;
    - e. Walls and fences per Section 6.2.6;
    - f. Seating and furniture; and
    - g. Other open space amenities per review authority approval.

Figure 6.1-1: Setback Range



Up to 25% of building can be set back further than the range (percentage varies by street)

Note: Diagram used for illustrative purposes only.

- |   |  |
|---|--|
| <span style="color: yellow;">—</span> 0-5' for 75%      | <span style="color: blue;">- - -</span> 15-20' for 50% |
| <span style="color: purple;">- - -</span> 5-10' for 75% | <span style="color: green;">- - -</span> 5' minimum    |
| <span style="color: purple;">- - -</span> 5-10' for 50% |  |

- B. **Interior Setbacks.** Projects shall comply with the interior setbacks set in Table 6.1-1 based on project type when adjacent to residential zoning. Interior setbacks are not required along other property lines.
1. Interior setbacks are those abutting other parcels (non-street side and rear) and are measured from the shared property line.
  2. Exceptions allowed per PMC 17.40.160 (Table 4-1).

Table 6.1-1: Interior Setbacks Adjacent to RM/RS

Project type	CG, CL, CF	MU	RM-16
Mixed-use	15' min.		N/A
Nonresidential	15' min.		N/A
Residential	N/A	5' min.	

### 6.1.5 STEPBACKS

- A. **Street Stepbacks.** Projects utilizing a height concession per PMC 17.43.055 shall provide a stepback depth of at least 10 feet at a height of 39 feet or less along street frontages; see Figure 6.1-2.
1. Street stepbacks are those abutting public right-of-way and are measured from the sidewalk line.
  2. Uses allowed within the street stepback include:
    - a. Open Space (e.g. balconies, terraces);
    - b. Shade structures, trellises, and similar;
    - c. Green roofs and photovoltaic panels; and
    - d. Other open space features per review authority approval.

- B. **Interior Setbacks.** Adjacent to RS zoning districts, projects shall comply with the stepbacks below. Interior setbacks are not required along other property lines.
1. In all zones except LASP-RM-16, projects shall not be located within the encroachment plane sloping upward and inward at a 45-degree angle measured from the vertical, commencing 15 feet above the existing grade along the shared property line; see Figures 6.1-3 and 6.1-5.
  2. In LASP-RM-16, projects shall step back 15 feet at the second story and 50 feet at the third story, measured from the shared property line; see Figure 6.1-4.
  3. Exceptions allowed per PMC 17.40.160 (Table 4-2.1).

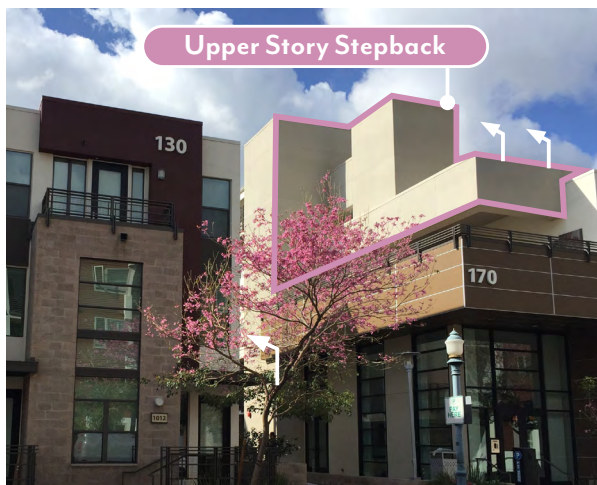
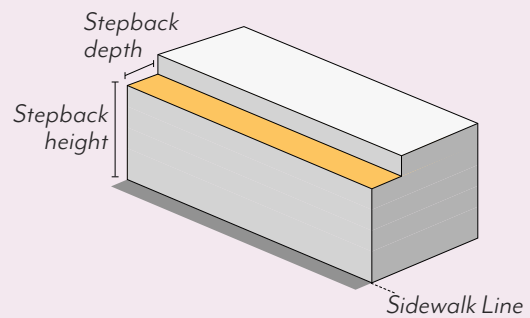
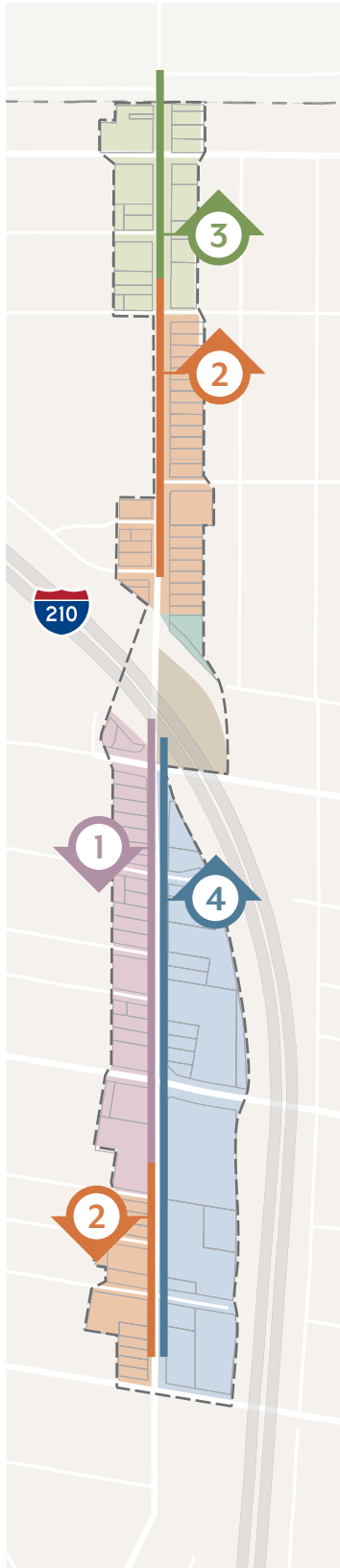


Figure 6.1-2: Street Stepbacks



Note: Diagrams used for illustrative purposes only.

Map 6.1-5: Sections Key



**BUILDING ENVELOPES | CROSS-SECTIONS BY ZONING DISTRICT**

The colored bars and numbered labels correspond to the sections in Figures 6.1-3 through 6.1-6. The arrows indicate the direction of the views represented.

Figure 6.1-3: LASP-MU Buildings

1

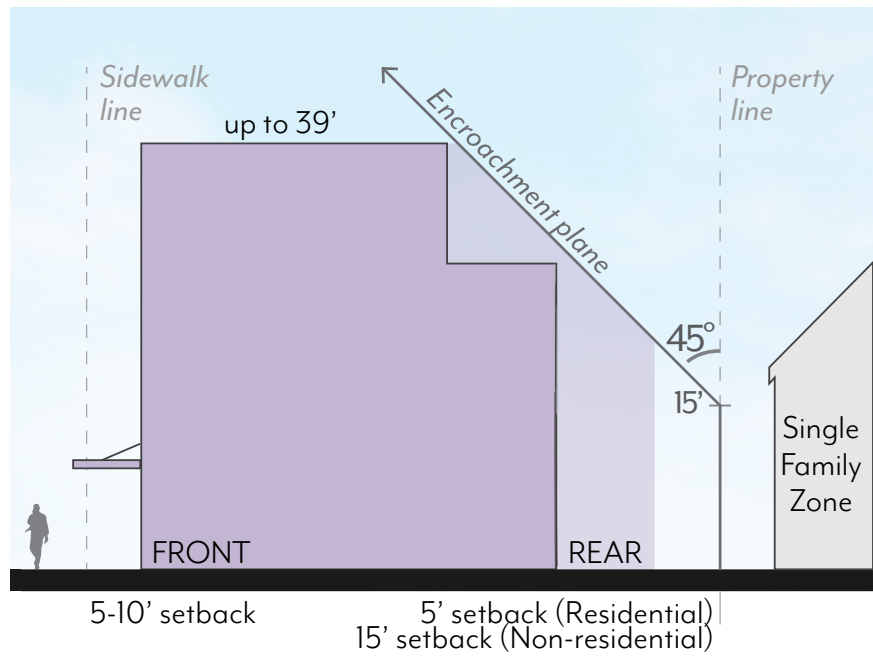


Figure 6.1-4: LASP-RM-16 Buildings

2

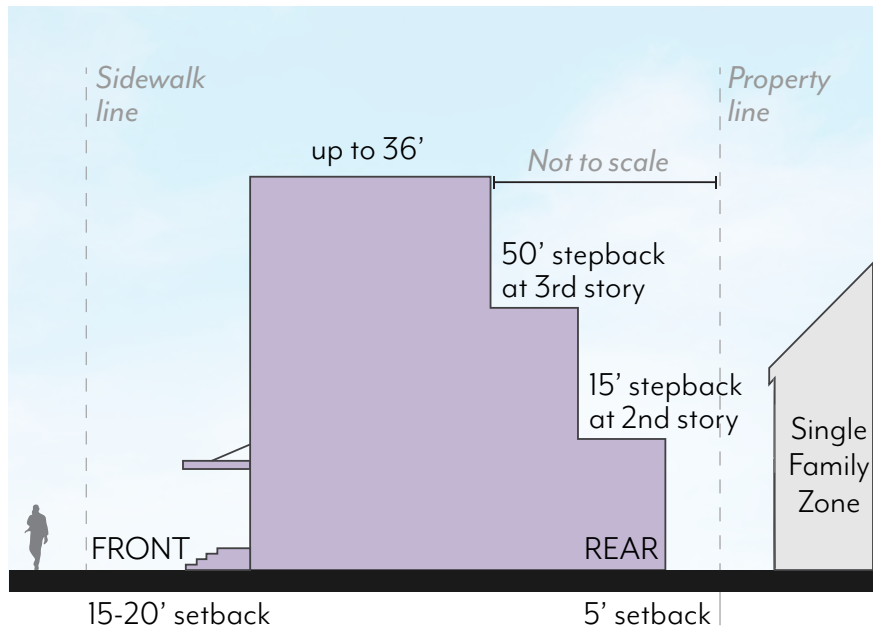


Figure 6.1-5: LASP-CG Buildings

3

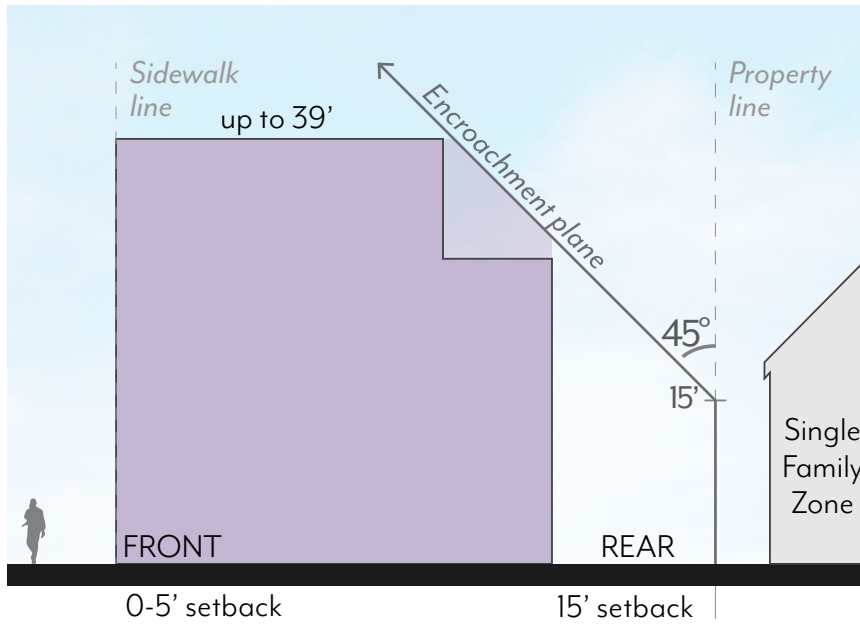
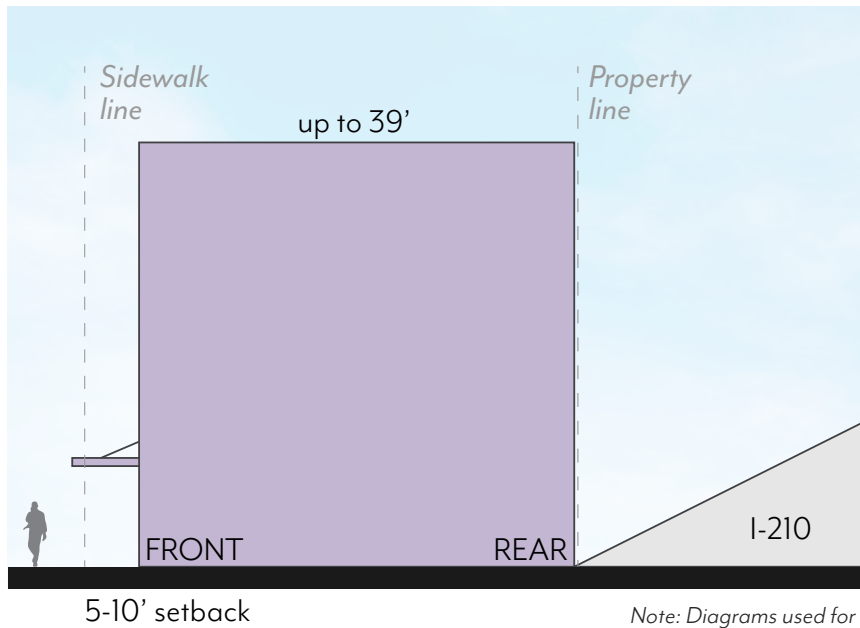


Figure 6.1-6: LASP-CF Buildings

4



Note: Diagrams used for illustrative purposes only.





*Dental Center Building at 2030 Lincoln Ave.*



*Kettle's Nursery Building at 1960 Lincoln Ave.*

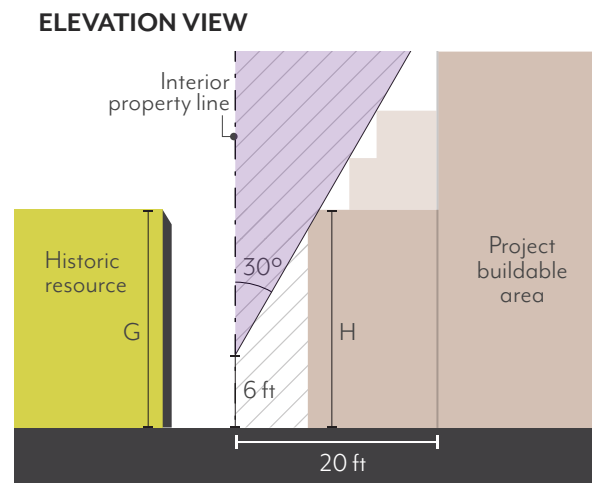
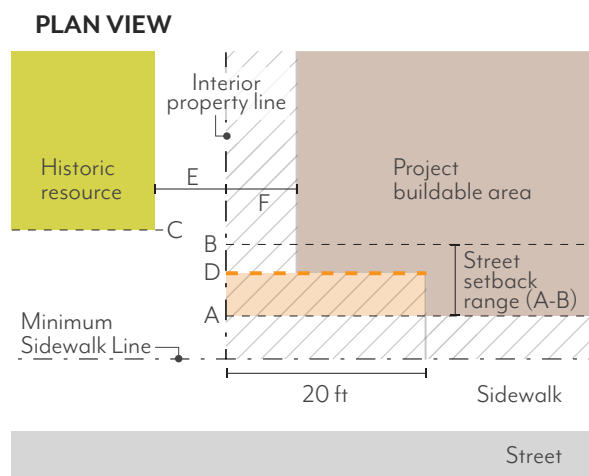
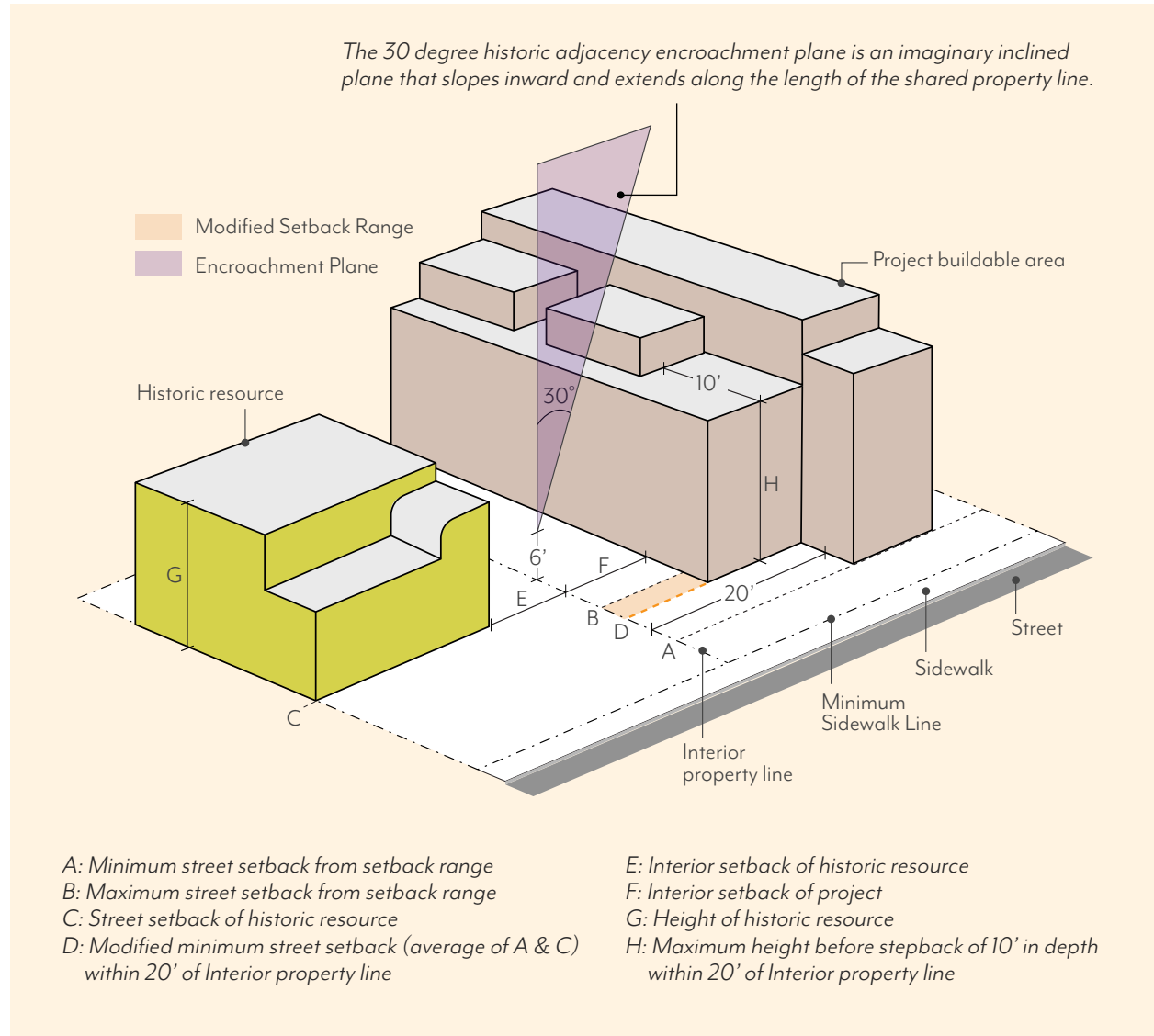


*California Bungalow style house at 1826 Lincoln Ave.*

## 6.1.6 HISTORIC ADJACENCY

- A. **Landmark Properties.** Projects on parcels with a designated historic resource shall be subject to review for consistency with the Secretary of the Interior's Standards and approval by the Design Commission.
- B. **Transition Massing.** Projects sharing a property line with a designated historic resource (resource) are subject to the following modified standards, illustrated in Figure 6.1-7.
  1. **Street Setbacks:** The minimum street setback shall be an average of the minimum setback set in Map 6.1-4 and the established setback of the resource for at least 20 feet from the shared property line. If between two resources, the street setback shall be an average of the setbacks of the two resources for the full street frontage.
  2. **Interior Setbacks:** The minimum interior setback shall be equal to that of the historic resource. No setback is required where the resource is built to the shared property line.
  3. **Interior Stepbacks:** Projects shall not be located within an encroachment plane sloping upward and inward at a 30-degree angle measured from the vertical, commencing 6 feet above the existing grade at the property line; see Figure 6.1-7. This plane is not applicable if the resource is built to the shared property line.

Figure 6.1-7: Historic Adjacency Transition Massing



Note: Diagrams used for illustrative purposes only.

## Historic Legacy: 1960 Lincoln Avenue

The building at **1960 Lincoln Avenue** represents early Googie-style architecture that became popular after World War II as America was transformed by futurism and car culture. Typical roadside architecture evolved with bright colors, oversized signage, and exaggerated forms.

The former **Foster's Old Fashion Freeze** served up "California's Original" soft-serve ice cream from about 1948 to 1968. In the late 1960s when plans for Interstate 210 displaced businesses further south on Lincoln Avenue, **Kettle's Nursery** relocated and took over the property. A family-owned Pasadena business from the late 1940s, it's operated on the site since 1970.

The style was widely used on coffee shops, gas stations, motels, and restaurants through the 1950s and 1960s. However, the commercial nature of these buildings generally involves frequent tenant changes and remodels, which have made intact examples rarer. The building retains primary features of the original design that convey its mid-century style and feeling, including its wide-overhanging roof with round corners, rooftop metal sheet signage (modified), slanted plate glass walls, and stone siding.

## DESIGN GUIDELINES

- » **Access.** The streetscape at the primary façade on Lincoln Avenue should maintain a pedestrian-oriented walkway for at least the appearance of access to the walk-up service windows in the primary façade.
- » **Alterations.** Changes to the building should repair and maintain its primary features to perpetuate its early Googie-style feeling. Restoration of signage, walk-up windows, or other removed features should be based on historic examples so as not to create a false sense of history for the building. Interior changes to the building should avoid blocking the transparency of the storefront.
- » **Architecture.** New development should consider the Modernist style and materials of the building for a complementary aesthetic.
- » **Site.** A larger project on the site may incorporate the building into a larger floorplan but should respect the standalone nature of the building by implementing a 15-foot buffer of open space around the extent of the roofline perimeter at the front (west) and side (north and south) elevations. Any new connections to the structure itself should be restricted to the rear.



## 6.1.7 MODULATION

- A. **Façade Length.** Buildings that exceed the length set in Table 6.1-2 along any street frontage shall include a break of at least 10% of the façade length or 20 feet, whichever is more. This break shall be at least 10 feet deep, open to the sky; see Figure 6.1-8.

Table 6.1-2: Modulation

Façade	CG	CL	CF	MU
Length	100'	75'	150'	150'
Area	25%	25%	25%	25%

- B. **Façade Area.** Street-facing façades over 50 feet in length shall modulate a minimum of 25% of the area above the ground floor between 2 feet and 12 feet in depth from the primary façade plane; see Figure 6.1-9. Buildings with 2 stories or less are exempt.
1. The primary façade plane is defined as the vertical plane with the greatest surface area above the ground floor.
  2. Modulation is not required to be continuous or open to the sky, and may be recessed or projected, but not past the property line.
  3. Required stepbacks (6.1.5.A), façade breaks (6.1.7.A), and projected balconies (6.2.8.A) shall not count toward the modulation requirement; balconies that are recessed at least 2 feet shall count.

### CREATING VISUAL INTEREST AND BREAKING UP MASS

Façade modulation refers to variations in depth of a building's façade. Modulation can be achieved through architectural elements such as fenestration patterns and window bays, stepbacks, balconies, and full façade breaks. Modulation breaks up building massing, creates visual interest, and provides opportunities for open space.

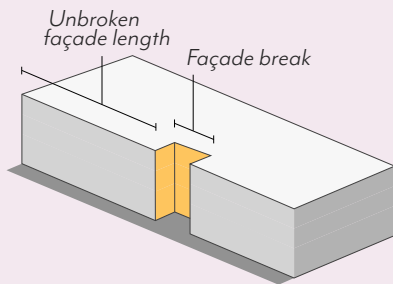


*Façade plane breaks help to prevent monolithic building forms*



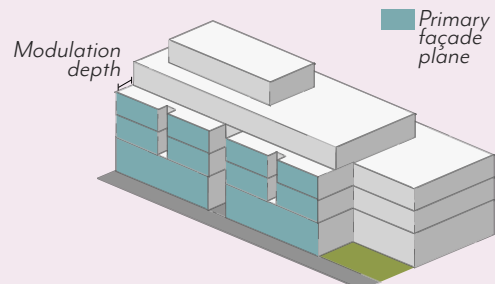
*Balconies and other variations in wall plane depth create visual interest*

Figure 6.1-8: Façade Length



Façades over the specified length shall include a break at least 20 feet wide and 10 feet deep, open to the sky.

Figure 6.1-9: Façade Area



Façades shall modulate at least 25% of the area above the ground floor between 2 and 12 feet in depth.

*Note: Diagrams used for illustrative purposes only.*



## 6.2 Frontage

These standards are intended to:

- » Prioritize pedestrian access by ensuring doorways are open to a public sidewalk or public open space;
- » Increase visibility into ground floor uses to create visual interest for pedestrians;
- » Promote shade through arcades and shade structures;
- » Support a consistent character when different uses are allowed on the ground floor within the same block; and
- » Limit blank walls on the ground floor to enhance visual interest and pedestrian comfort.

### 6.2.1 GROUND FLOOR

- A. **Height.** Buildings shall have a minimum ground floor height of 15 feet, measured from sidewalk elevation to second story floor.
1. For residential units, floors may be elevated up to 6 feet above the sidewalk elevation. Where elevated between 4 and 6 feet, a minimum setback of 8 feet is required.
- B. **Depth.** Commercial uses facing the street shall have a minimum depth of 35 feet for at least 80% of the commercial frontage.

Figure 6.2-1: Ground Floor Height

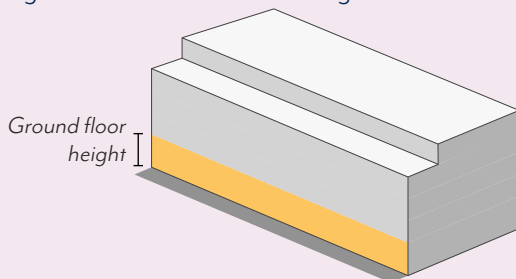
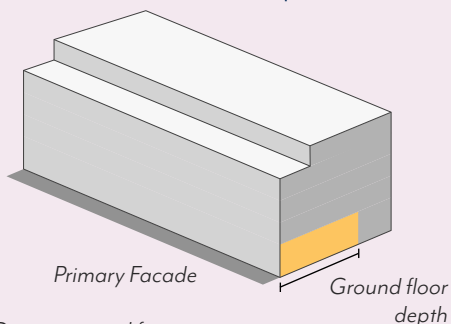


Figure 6.2-2: Ground Floor Depth



Note: Diagrams used for illustrative purposes only.

### CREATING A VIBRANT STREET ENVIRONMENT

Successful ground floor design contributes to a vibrant built environment to create an inviting, visually engaging, shaded sidewalk and pedestrian environment that supports commercial activity. Altogether, ground floor treatments increase visual interest and physical access across all building uses to create active frontages.



A commercial ground floor of at least 15 feet in height



A residential ground floor elevated above the sidewalk

## 6.2.2 ENTRANCES

- A. **Location.** At least one primary entrance shall be on the primary frontage of each building and open into the public realm (e.g. a sidewalk or public open space).
1. In LASP-CG, entrances shall be recessed at least 30 inches from the building façade along Lincoln Avenue. On other streets, all entrances shall be recessed at least 30 inches from the sidewalk line.
  2. Primary entrances shall be distinguished by architectural features such as overhead projections (e.g. an awning or canopy).
  3. For non-residential uses, primary entrances shall be located at sidewalk elevation.



*Recessed entrance with overhead awnings*

## 6.2.3 TRANSPARENCY

- A. **Windows & Doors.** Minimum transparency for street-facing façades is set in Tables 6.2-1 and 6.2-2 based on use.
1. For non-residential and residential common space uses, ground floor transparency is measured as the percentage of building frontage that consists of transparent openings between a height of 2 feet and 10 feet above sidewalk elevation.
  2. All other transparency is measured as the percentage of building frontage area, viewed in elevation.
  3. Windows shall be recessed by at least 2 inches from the façade; flush windows may be allowed per review authority approval.
  4. The use of tinted, mirrored or highly reflective glazing is prohibited.
  5. Blinds, drapes, posters, and shelving for product displays visible to the public right-of-way shall obscure no more than 10 percent of the transparent areas of each respective storefront.
- B. **Blank Walls.** Windowless expanses of street-facing walls shall not exceed 20 feet in length.
- C. **Security Bars.** Any exterior or interior security bars shall be designed to be fully hidden from view during business hours with devices such as concealed side pockets and ceiling cavities.



*Recessed entrance with ground floor transparency*

Table 6.2-1: Transparency for Non-residential Uses and Residential Common Space

Non-residential	CG	CL	CF	MU
Ground Floor	70%	30%	30%	70%
Overall Façade	30%	15%	15%	30%

Table 6.2-2: Transparency for Residential Units

Residential units	CG	CL	CF	MU
Ground Floor		N/A		15%
Overall Façade		N/A		15%

## DESIGN GUIDELINES FOR COMMERCIAL BUILDINGS

New development along Lincoln Avenue should complement and respond to the immediate area, reflecting the scale and proportion of existing commercial buildings in the corridor.

These are predominantly one-story buildings with rows of typical early to mid-20th century storefronts composed of plate glass windows and recessed glazed doors that have minimal setbacks from the sidewalk.

- » **Access.** The streetscape should maintain pedestrian-oriented views of the storefronts/primary façades. No fencing should obscure the façades, which should remain approachable.
- » **Alterations.** Changes to an existing building should repair and maintain its primary features, including traditional materials, such as brick and stucco, and storefront configurations, including large expanses of windows and main entrances oriented towards the sidewalk. Upper story additions should respond to the existing cornice or roofline facing the sidewalk and use complementary fenestration patterns and materials.
- » **Articulation.** New building design within the commercial corridor should implement façade patterns that modulate the appearance of a traditional storefront (approximately 25 to 50 feet wide) to promote the sense of a variety of small establishments.

Refer to Pasadena's *Design Guidelines for Neighborhood Commercial and Multi-Family Residential Districts* for further detail.



*Commercial building on Lincoln Avenue with recessed entrance and transparency*



*Commercial building on Lincoln Avenue using traditional materials and facade patterns.*



*Facade transparency adds to the public realm by creating a visual interaction between businesses and the adjacent sidewalk*



## DESIGN GUIDELINES FOR COMMERCIAL BUILDINGS

- » **Storefront.** Ground floor treatments should be pedestrian in scale, character, and design detail. Building elements such as lighting, signage, and awnings should be coordinated to contribute to the continuity of pedestrian scale, storefront character, and street activity.
- » **Lighting.** Exterior light fixtures should be designed to illuminate the sidewalk, building entrances, storefront signage, and architectural features of the building. Fixtures should be simple and unobtrusive in appearance and size. Do not over-light the building with high intensity lighting or project light into the sky.
- » **Signage.** Signs should be oriented toward the pedestrian and designed to be read from a distance of 15 to 20 feet. Signs should be mounted in locations that respect the design of a building and be sized to fit; they should not cover windows or architectural features. Projecting blade signs are highly encouraged.
- » **Awnings.** Awnings should be mounted over individual bays of a storefront; those that extend over masonry piers and transom windows are strongly discouraged. Shed awnings, with no end panels and simple horizontal valances, are the preferred awning style.

Refer to Pasadena’s *Sign Design Guidelines* for further detail.



*Commercial building with gooseneck lighting at a pedestrian height*



*Pedestrian-oriented commercial storefront with awning*



*Blade signs are oriented to the pedestrian for easy visibility and recognition*



## 6.2.4 SHADE STRUCTURES

- A. **Shading.** In LASP-CG along Lincoln Avenue, shade structures (e.g. awnings and canopies) are required and shall project at least 5 feet and no more than 10 feet into the public right-of-way for at least 50% of the building frontage. For all other frontages, shade structures may project up to two-thirds of the sidewalk width.
1. Shade structures shall allow at least 8 feet of vertical clearance from sidewalk elevation and shall not conflict with existing trees.
  2. Where an arcade or recessed ground floor provides at least 5 feet of unobstructed pedestrian clearance, shade structures are not required.

## 6.2.5 ARCADES & GALLERIES

- A. **Arcades.** Arcades may be located in street setback ranges, but shall not encroach past the sidewalk line.
1. Any arcades shall be at least 8 feet from back of column to building façade. The distance between columns shall be at least the same dimension as arcade depth, as measured from the column center.
  2. The façade shall still meet the ground floor transparency set in Section 6.2.3.
  3. Uses allowed within arcades include:
    - a. Pedestrian travel,
    - b. Seating/street furniture,
    - c. Outdoor dining,
    - d. Landscape planters, and/or
    - e. Bicycle parking.
- B. **Galleries.** Galleries may be located in street setbacks, and those up to 50 feet in length may project over public right-of-way with approval from Design Commission and Public Works.
1. Galleries shall allow at least 8 feet of vertical clearance from sidewalk elevation
  2. Columns shall not be located in the Amenity Zone. The minimum Walk Zone dimension shall be maintained between columns and the sidewalk line.
  3. Sidewalks shall still meet parkway requirements set in Section 5.2.

## TRANSITIONAL OUTDOOR SPACES

Arcades create a shaded outdoor space between the public realm and ground floor interior. Shade structures contribute to a comfortable pedestrian experience and serve as inviting design features for ground floor uses.



*Arcades provide shaded space for pedestrians*



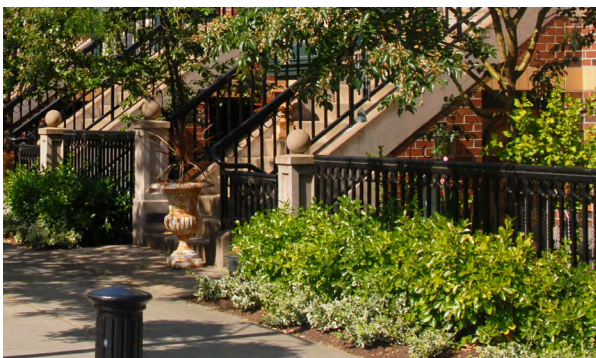
*Shade structures help to make the sidewalk more comfortable for pedestrians.*

### 6.2.6 LIGHTING

- A. **Fixtures.** In LASP-CG, pedestrian-scale lighting, such as sconces and goose-neck fixtures, shall be located on the building frontage at least every 25 feet along Lincoln Avenue.
  1. Fixtures shall be placed between 8 and 15 feet above sidewalk elevation, and shall not project more than 30 inches from the façade.
  2. Lighting shall be static; flashing, pulsating or other dynamic lighting is not permitted.

### 6.2.7 WALLS & FENCES

- A. **Walls and Fences.** Walls, fences, and similar structures are permitted within the street setback up to a maximum height of 42 inches.
  1. Walls and fences taller than 30 inches shall be at least 50% transparent and shall be set back 24 inches from the sidewalk line, separated by planted area.
  2. In LASP-RM-16, all walls and fences shall be set back 24 inches from the sidewalk line, separated by planted area.
  3. Exceptions to height allowed for guardrails, which may exceed the maximum height to the extent required by the Building Code. The guardrail shall be at least 50% transparent.
  4. Exceptions to setback allowed for outdoor dining, which may be enclosed by a wall, fence, or similar structure up to 42 inches in height located at the sidewalk line.
- B. **Stoops and Patios.** Walls along the side of a stoop, patio or entry to a residential dwelling unit shall be set back at least 24 inches from the sidewalk line, separated by planted area.



*Appropriate residential fence height and placement*

### 6.2.8 BALCONIES & ROOF DECKS

- A. **Balconies.** Balconies may project up to 4 feet into a street setback but not past the sidewalk line, and no closer than 6 feet to an interior property line. Balconies shall not project from a building façade within 50 feet of an RS zoning district.
- B. **Roof Decks.** Roof decks shall be set back 5 feet from the building edge on all sides, and shall not be located within 50 feet of an RS zoning district. The sum of all roof decks shall cover no more than one-third of the roof area.

## 6.3 Open Space

These standards are intended to:

- » Provide a variety of open space types for gathering, recreation and respite that contribute to enhanced livability within an urban setting;
- » Give residents access to natural light and fresh air in and around their living spaces;
- » Improve building design and site planning through the integration of open space throughout the development; and
- » Correlate open space requirements with number of residents and size of buildings.



*Private Open Space (Patio and Balconies)*

### IMPORTANCE OF OPEN SPACE

A variety of high quality, usable and accessible open space contributes to an active public realm and successful building design. A combination of **Private**, **Common**, and **Public Open Space** serves a range of purposes, including spaces for relaxation and community gathering for residents, employees, and visitors within an urban setting. Open spaces either on the ground floor or on upper level stories, correlated to the building use and size, can also help to break up building massing creating effective site and building design.

### TYPES OF OPEN SPACE

- » **Private.** Private Open Spaces (e.g. patios and balconies) are not freely open to the public and are only accessible from individual units.
- » **Common.** Common Open Spaces are shared among tenants of a building and often take the form of courtyards and pool areas. Common Open Space can also include shared indoor spaces, such as lounges, community kitchens, and gyms.
- » **Public.** Public Open Spaces, e.g. plazas, pocket parks, and paseos, are freely available to the public to use and typically include amenities such as seating, landscaping, fountains, and public art.



### 6.3.1 MINIMUM AREA

A. **Private and Common Open Space.** Projects shall provide the minimum area of Open Space based on use and size per Table 6.3-1. Areas used regularly for parking, loading or storage do not count towards minimum Open Space requirements.

1. **Residential.** Projects with dwelling units shall provide the minimum area of Open Space per Table 6.3-1 as Private and/or Common Open Space.
2. **Non-residential.** Projects with more than 40,000 square feet of non-residential uses shall provide at least 5% of the gross non-residential floor area as Common Open Space, which may be open to the public; see Section 6.3.3.
3. **Mixed-use.** Projects shall comply with requirements applicable to each type of use.

B. **Public Open Space.** In LASP-CG, projects with more than 15,000 square feet of building floor area shall provide 5% of building floor area as Public Open Space. In LASP-CF, projects with more than 80,000 square feet of building floor area shall provide a percentage of building floor area as Public Open Space, as set in Table 6.3-2.



Common Open Space (Courtyard)

Table 6.3-1: Residential Open Space by Unit Type

Number of Bedrooms	0	1	2	3+
Per Unit, sq ft	200	225	250	275

### 6.3.2 PRIVATE OPEN SPACE

- A. **Dimensions.** A minimum area of 40 square feet with a dimension of at least 5 feet in each direction is required for Private Open Space.
- B. **Distribution.** No more than 40% of the required residential Open Space shall be private to individual tenants.
1. All Private Open Space shall be outdoors.
  2. Private Open Space may be located within a required setback.



Private Open Space (Patio)



### 6.3.3 COMMON OPEN SPACE

- A. **Dimensions.** A minimum area of 400 square feet with a dimension of at least 15 feet in each direction is required for Common Open Space.
- B. **Distribution.** At least 60% of the required residential Open Space shall be common or shared among tenants.
1. At least 70% of Common Open Space shall be outdoors, and at least 80% of outdoor Common Open Space shall be open to the sky.
  2. No more than 50% of Common Open Space may be on a building's rooftop, defined as any roof area on the highest two floors of the structure.
  3. No more than 30% of Common Open Space may be indoors. Indoor Common Open Space shall not include spaces used primarily for circulation.
- C. **Landscaping.** A minimum of 25% of Common Open Space shall be planted area at least 30 inches in each direction. Plant materials shall be selected in compliance with PMC 17.44.050.
- D. **Trees.** A minimum of one 24-inch box tree per project or for every 500 square feet of outdoor Common Open Space, whichever is greater, shall be planted within Common Open Space. For projects with 2 or more trees, at least 50% of trees planted shall be shade trees.
- E. **Hardscape.** A maximum of 25% of Common Open Space may be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate. Alternative paving may be allowed per review authority approval.
- F. **Water Features.** A maximum of 5% of Common Open Space shall be fountains, reflecting pools, or other decorative water features. Swimming pools are not considered water features for the purposes of this standard.
- G. **Access.** Common Open Spaces may be accessible to the public if desired; see 6.3.4.B.

#### CREATING COMMUNITY GATHERING SPACES

Common open spaces provide areas for gathering, recreation, and respite within a development.



*Communal picnic area with moveable seating options*



*Enhanced paving, seating, and landscaping*

### 6.3.4 PUBLIC OPEN SPACE

Minimum area requirements set in 6.3.1.B.

- A. **Dimensions.** A minimum area of 400 square feet with a dimension of at least 15 feet in each direction is required for Public Open Space.
- B. **Access.** At least 50% of Public Open Space shall be accessible to the general public and shall not be restricted to patrons of a particular business.
- C. **Signage.** Public Open Space shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and listing accessible hours.
- D. **Hours.** At a minimum, Public Open Space shall be open to the general public from 8am to 8pm.
- E. **Elevation.** A minimum of 3,000 square feet of Public Open Space shall be at sidewalk elevation. If less square footage is required, then all required Public Open Space shall be at sidewalk elevation.
- F. **Hardscape.** A maximum of 25% of Public Open Space shall be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate. Alternative paving may be allowed per review authority approval.

Table 6.3-2: LASP-CF Public Open Space by Project Size

80,000-119,999 ft <sup>2</sup>	120,000+ ft <sup>2</sup>
2%	3%

- G. **Seating.** Seating accessible to the general public shall be provided at a minimum of 1 seat per 250 square feet of required space. Fractions shall be rounded down to the nearest whole number.
- H. **Landscape.** A minimum of 10% of Public Open Space shall be planted area at least 30 inches in length, width, and depth. Plant materials shall be selected in compliance with PMCI7.44.
- I. **Trees.** A minimum of one 24-inch box tree per project or per each 750 of Public Open Space, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50% of trees planted shall be shade trees.
- J. **Common Open Space Credit.** Public Open Space may count towards up to 30% of the Common Open Space requirement at a 1:1 ratio.



Public Open Space (Plaza)

# 6.4 Parking

These standards are intended to:

- » Reduce the visual impacts of parking;
- » Regulate appropriate parking supply and location in a manner that prioritizes pedestrian access and multi-modal activity;
- » Encourage change of use and adaptive reuse of existing buildings through parking reductions and exemptions;
- » Promote a more efficient use of space through shared parking among multiple uses; and
- » Increase design standards for parking structures by ensuring habitable floor area and screening between parking and street frontage.

## 6.4.1 MINIMUM PARKING

- A. **Number of Spaces.** Projects shall provide off-street automobile parking spaces per Table 6.4-1 based on general use classifications.
1. Bicycle parking shall be required per PMC 17.46.320.
- B. **Shared Parking.** Parking may be shared among multiple uses per PMC 17.46.050.

### IMPORTANCE OF PARKING

Vehicle parking access, location and supply influences the street environment, multi-modal travel and overall development. Managing the location of vehicular access, such as entries and driveways, can help to promote continuous sidewalk activity and safer travel across modes. Similarly, minimizing surface parking lot size and locations (such as placing lots behind buildings or a landscaped open space), supports the success of street-fronting activity, such as pedestrian travel and commercial frontages. The number of required parking spots is another defining factor that shapes urban travel and development. By establishing an appropriate number of parking spots by land use and size of development, residential and commercial activity can be supported while also attracting a variety of new development. Through tailored standards as well as parking reductions and exemptions for certain uses and conditions, space efficiency and cost savings are promoted.

Table 6.4-1: Minimum Parking by Land Use

Use Classification <sup>1</sup>	Number of Spaces	Exceptions
Residential	<ul style="list-style-type: none"> <li>≤1-bed: 1 per unit</li> <li>≥2-bed: 1.5 per unit</li> <li>Guest: 1 per 10 units</li> </ul>	Guest parking may be shared with commercial parking in mixed-use projects
Recreation, Education & Public Assembly	PMC 17.46.040	
Office, Professional & Business Support	<ul style="list-style-type: none"> <li>2 per 1,000 sq ft in LASP-CG;</li> <li>3 per 1,000 sq ft elsewhere</li> </ul>	No parking required for: <ul style="list-style-type: none"> <li>• First 5,000 sq ft of a project</li> <li>• First 500 sq ft of outdoor dining (per tenant)</li> </ul>
Retail Sales (including Restaurants)		
Services		
Industry, Manufacturing & Processing	PMC 17.46.040	
Transportation, Communications & Utility	PMC 17.46.040	
<b>Other Exceptions</b>		
No new parking required for: <ul style="list-style-type: none"> <li>• Projects within designated historic resources (excluding additions)</li> <li>• Changes of use in structures built prior to 1970</li> </ul>		
<sup>1</sup> Use classifications correspond to general use categories in PMC 17.46.040. The number of spaces listed above shall apply to all uses listed under these general categories, with the exception of specific uses where the parking requirement is lower per PMC 17.46.040.		



- C. **Unbundled Parking.** For any building with new residential units, automobile parking spaces shall be leased or sold separately from the rental or purchase fees, such that renters or buyers have the option of renting or buying the residential unit at a lower price than if the parking was included.
  1. For deed-restricted affordable units, one parking space shall be included in the base rent of each unit. The tenant may choose to receive the parking space or receive a rent discount equivalent to half the amount charged for monthly lease of a parking space. Tenants of affordable units shall not sublease their parking spaces.
  2. Renters or buyers have the right of first refusal to parking built for their unit. Any remaining spaces may be leased to other users on a month-to-month basis. New occupants shall have the opportunity to lease or purchase parking built for their unit.

### 6.4.2 VEHICLE ACCESS

- A. **Driveways.** For Projects with less than 200 feet of primary street frontage, a maximum of one two-way driveway shall be permitted. For Projects with more than 200 feet of primary street frontage, a maximum of two two-lane driveways shall be permitted.
  1. Driveways shall not be not permitted on primary frontages of 200 feet or less where there is access from a secondary street or alley.

### 6.4.3 LAYOUT & DESIGN

- A. **Surface Parking.** Parking lots shall be set back at least 30 feet from the primary frontage, 10 feet from any secondary frontage, and 5 feet from RS zoning. Parking shall be buffered by habitable floor area or landscaped open space, except for access and driveways.
  1. Landscaping shall include hedges or shrubs at least 3 feet in height at the time of planting that form a continuous visual screen.
- B. **Podium Parking.** No more than one story of above-grade parking is permitted within habitable buildings. Multiple stories of above ground parking are permitted within wrap-style developments or parking structures if the project meets the parking structure standards below.
- C. **Parking Structures.** Structures shall be buffered with habitable floor area between the parking and Lincoln Avenue, except for access and driveways.
  1. Parking structures shall not be permitted in the LASP-MU.
  2. Elevators and stairs shall be located adjacent sidewalks or public spaces.
  3. Parking areas shall be screened from the public realm using heavy-gauge metal, precast concrete panels, laminated glass, green walls, photovoltaic panels or other material per review authority approval.
- D. **Underground Parking.** Fully subterranean parking shall be set back at least 5 feet from RS zoning. Otherwise, it may extend up to the property line.

#### DESIGN GUIDELINES



*Entrances to structured parking should be integrated into façade design and shall screen upper portions of the entrance not required for vehicle clearance.*



*Example of parking entrance design without screening or façade integration.*



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