

LINCOLN AVENUE

SPECIFIC PLAN AREA

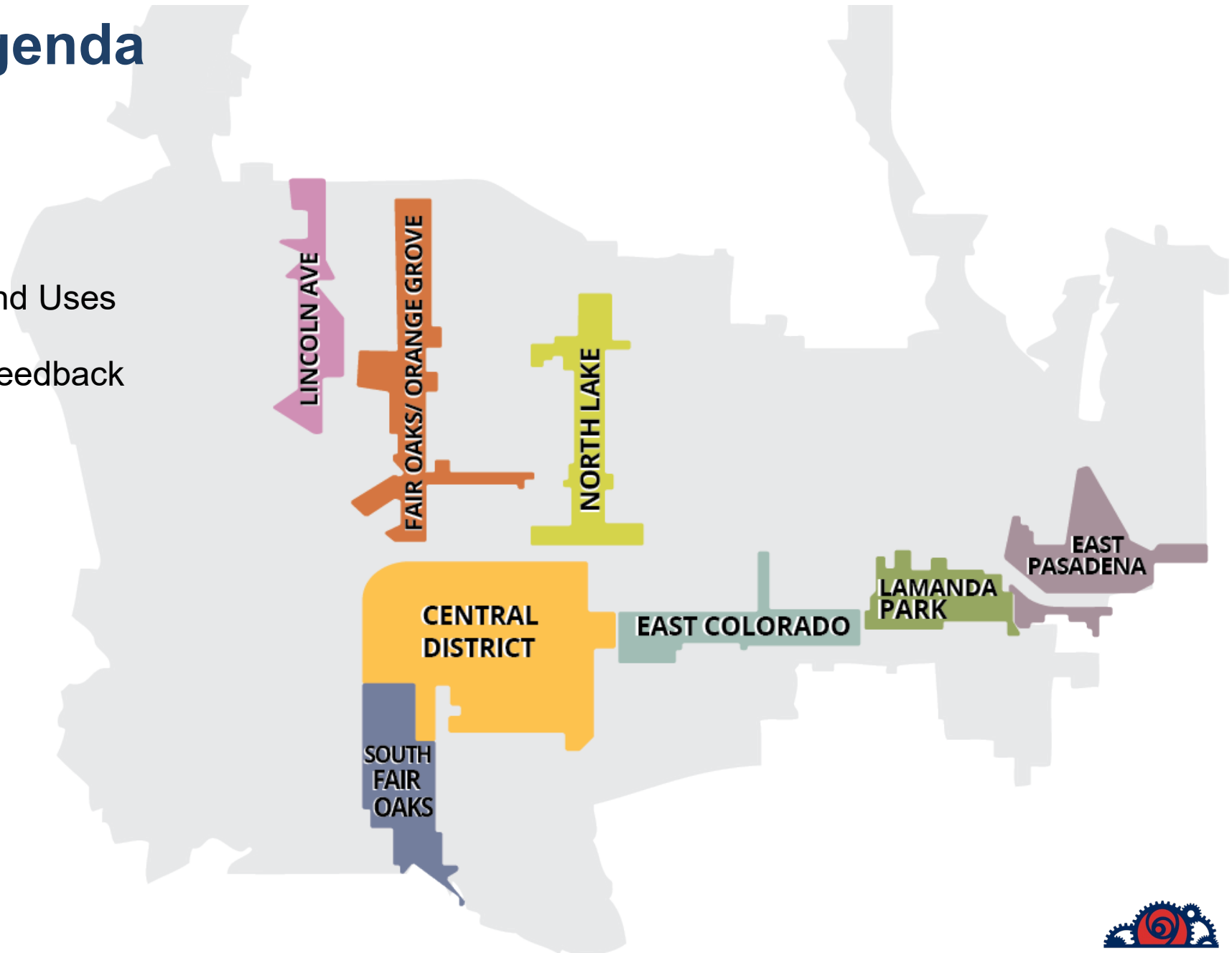
Planning Commission Study Session
April 28, 2021



OUR PASADENA
PUTTING THE PLAN IN MOTION

Study Session Agenda

- Introductions
- General Plan Vision & Land Uses
- Community Outreach & Feedback
- Draft Vision
- Development Standards
- Public Realm Standards
- Commission Comments
- Implementation
- Next Steps



INTRODUCTIONS



Our Pasadena team



David Sanchez
Principal Planner



Anita Cerna
Program Manager



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Plan Lead



Steven Counts Imara
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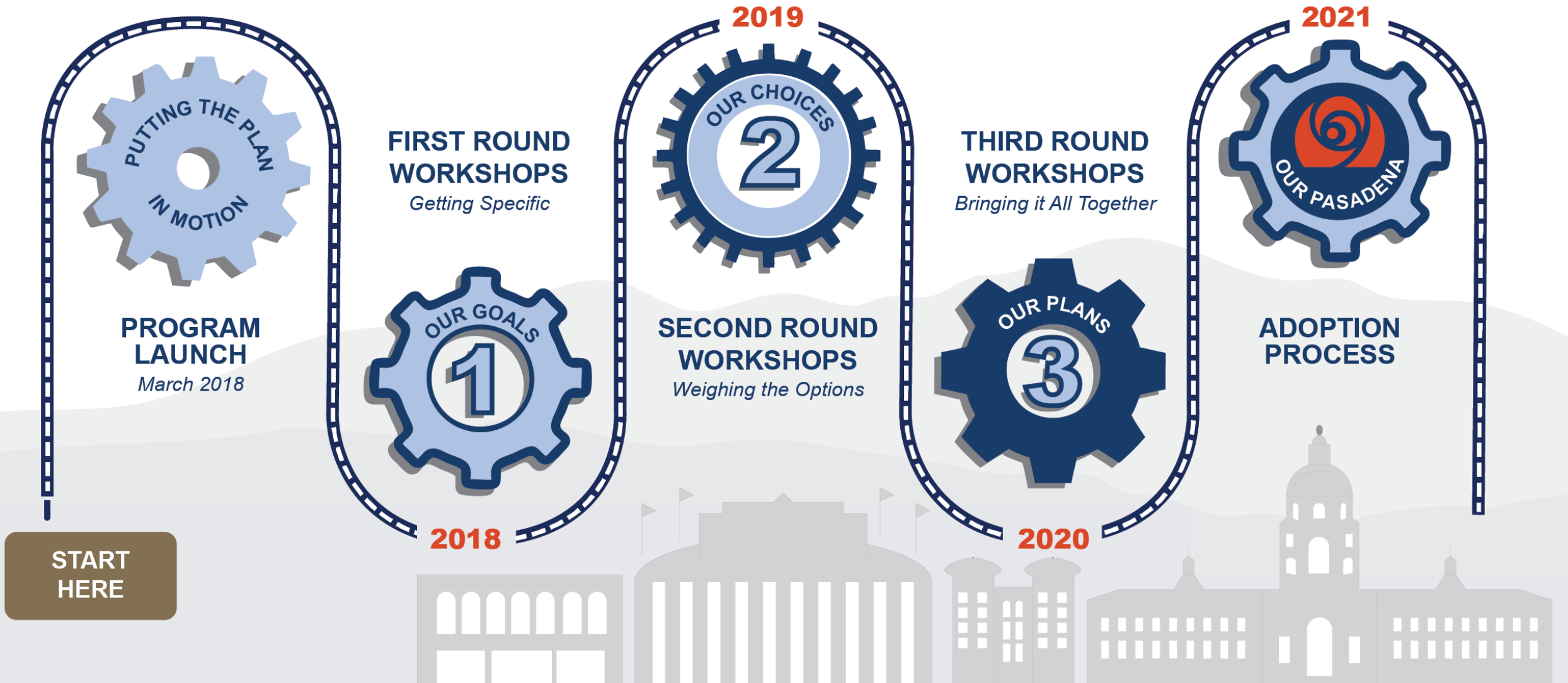


Our Pasadena program



- Implement the General Plan
- Ensure that the adopted General Plan Land Use Diagram, goals and policies are reflected in the updated Specific Plan
- Refine borders, densities and land uses while balancing existing plan area context with future growth
- Standardize toolbox of regulations to reduce confusion and increase equity, using a similar approach across all plans

Our Pasadena timeline



GENERAL PLAN



Context

- Located in Northwest Pasadena
- Bisected by the 210 freeway
- Near John Muir High School
- 10-minute walk to the Arroyo Seco



Lincoln Avenue Plan Area



Lincoln & Montana Intersection



Business Park of Pasadena



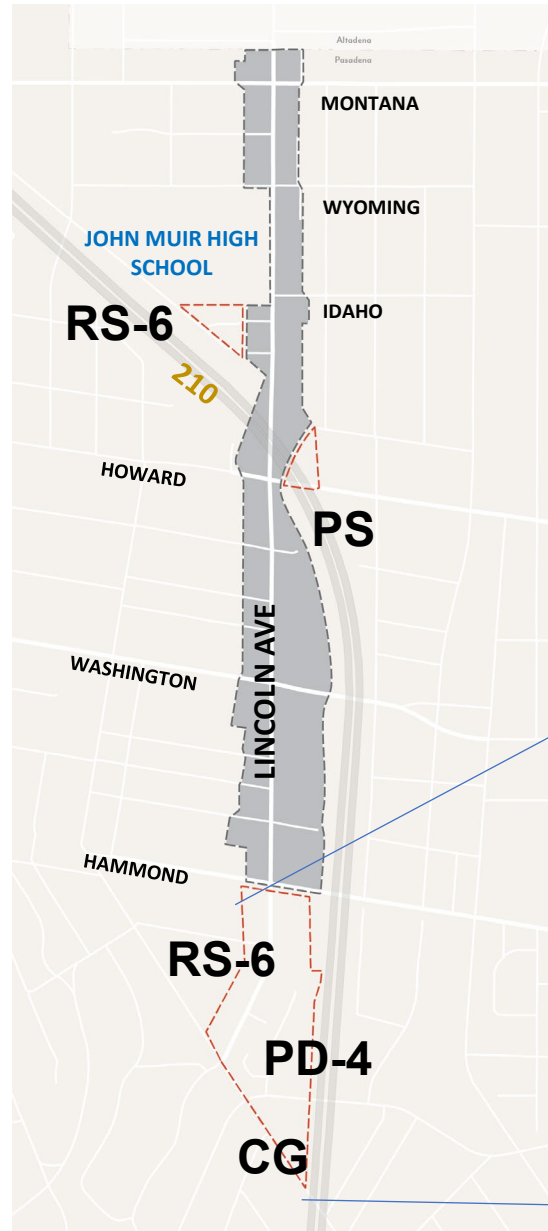
Kettle's Nursery



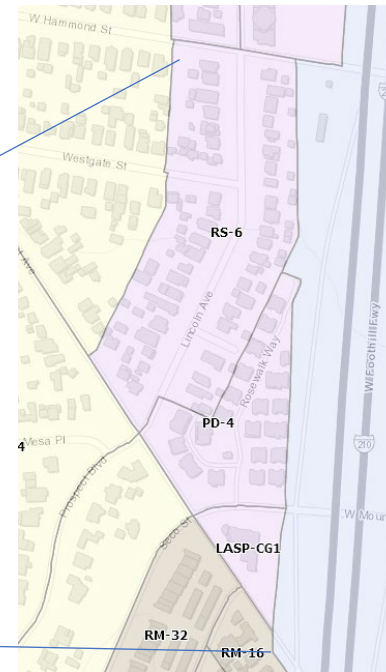
Residential Neighborhoods

Areas Proposed for Removal

- **RS-6:** Two single-family residential zones that currently follow citywide RS-6 zoning
- **PS:** bus facility under the 210 on Caltrans property; this is not a legal parcel but highway right-of-way
- any redevelopment would be subject to a separate CUP that would set development standards



- **PD-4:** A Planned Development with its own standards outside the Specific Plan
- **CG:** A single CG parcel which would revert to citywide CG zoning

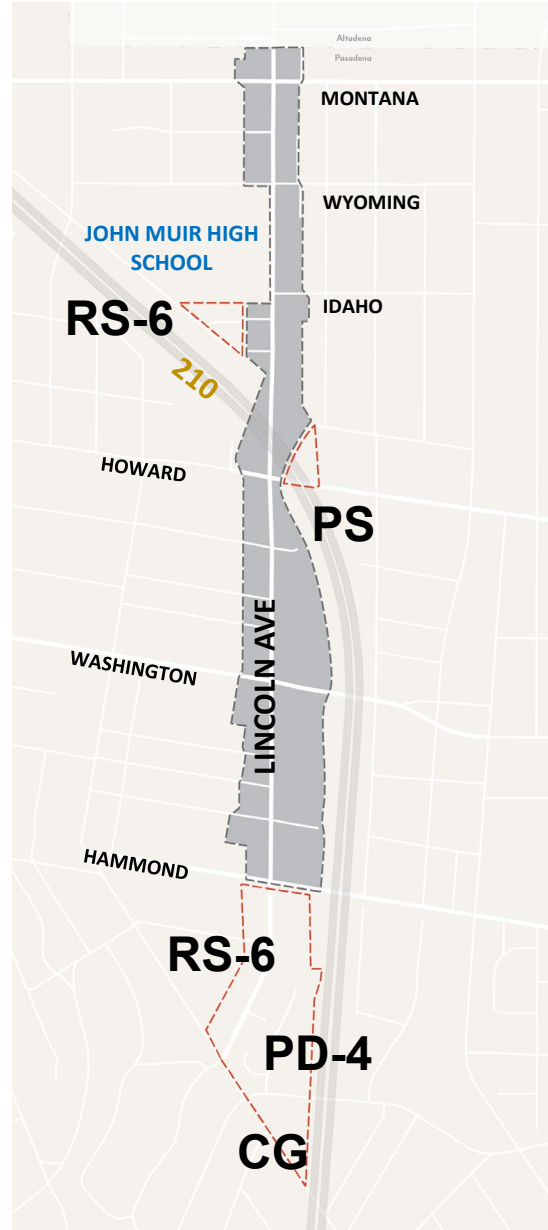


Areas Proposed for Removal

RS-6



PS



RS-6



PD-4



CG



General Plan Land Use

Medium Residential

Maximum 16 du/ac. Multi-family complexes and/or neighborhoods of up to three stories; may be characterized as “City of Gardens” housing

Medium Mixed-Use

Maximum 2.25 FAR and 87 du/ac. Compatible commercial and residential horizontal or vertical mixed use with shared open spaces and pedestrian-oriented streetscapes. Development may be exclusively commercial or exclusively residential

Low Commercial

Maximum 1.0 FAR. Limited range of retail and service uses that foster pedestrian activity and compatibility with residential neighborhoods



General Plan Vision and Goals

- Vibrant neighborhood-oriented district
- New housing opportunities, local-serving retail and service businesses, office spaces, and community uses
- Public improvements that create an enjoyable pedestrian environment
- Economically thriving and well-developed projects



COMMUNITY OUTREACH



Participation

- Initial Online Survey
- Round 1 Workshop
- Round 1 Workshop Online Survey
- Round 2 Workshop
- Virtual Community Walking Tour
- Round 3 Virtual Open House & Webinar
- CD1 Virtual Neighborhood Meeting



Round 1 Workshop – June 14th, 2018



Round 2 Workshop – February 28, 2019



Virtual Open House – August 2020

Community Feedback

- Maintain low-density character with two-to-three story scale
- Create opportunity for affordable, family-sized homes
- Help mom and pop shops and local retailers
- Support clean industry, but beautify buildings with landscaped setbacks



- Create a nicer stroll around the neighborhood and to the Arroyo
- Provide more places within walking distance
- More landscaping and trees
- Continue to prohibit liquor stores and limit alcohol sales

Commission Feedback

Northwest Commission – Nov 10, 2020

- Increasing amount of greenery & open space
- Increasing comfort/safety of sidewalks
- Concerns about lack of shade
- Incorporating public art
- Concerns about freeway underpass
- Discontinuity between north & south
- Making the corridor friendlier to bicyclists

Design Commission – Dec 22, 2020

- Request for similar, cohesive standards even if different uses on either side of Lincoln south of the 210
- Incentivizing new businesses rather than limiting opportunities
- Desire for small-scale, multi-tenant commercial spaces
- Accommodations for outdoor dining and other amenities
- Discontinuity between north & south

DRAFT VISION



Vision

“Lincoln Avenue will be the heart of the greater residential neighborhood where commercial and multi-family uses co-exist in a walkable, vibrant environment with public realm improvements that create a cohesive and well-connected corridor.”

Vision

1. Neighborhood Character



Compatible development that adds to the rich cultural history of the community

3. Housing Choices



A variety of new housing options that complement existing neighborhoods

5. Greening & Open Space



A more livable and sustainable community with rich landscaping and open space

2. Commercial Core



A strong spine of retail and services north of Wyoming Street, supported by reuse of existing buildings and targeted infill development

4. Connected Neighborhood



Enhanced sidewalks that support pedestrian comfort and safety, and create a cohesive sense of place

6. Innovation Hub



Clean industrial and commercial uses that provide future-friendly jobs

Goals & Policies

Public Realm & Community Cohesion

- Enhanced sidewalks and other public spaces that contribute to Lincoln's overall identity
- A comfortable and well-connected corridor that encourages sustainable modes of travel such as walking and biking
- A green corridor with landscaping and shade coverage to support environmental goals and pedestrian mobility

Development & Design

- Complementary building forms that fit the scale of the neighborhood
- Ample access to on-site open space

Economic Development

- A supportive environment for new and local businesses
- Lower barriers to entry for small business owners
- Leverage proximity to events at Arroyo Seco and Rose Bowl

Sub-Areas

- Additional goals and policies reference sub-areas
- Four sub-areas based on use, form, and geography
- Correspond to General Plan and current zoning designations

Subareas

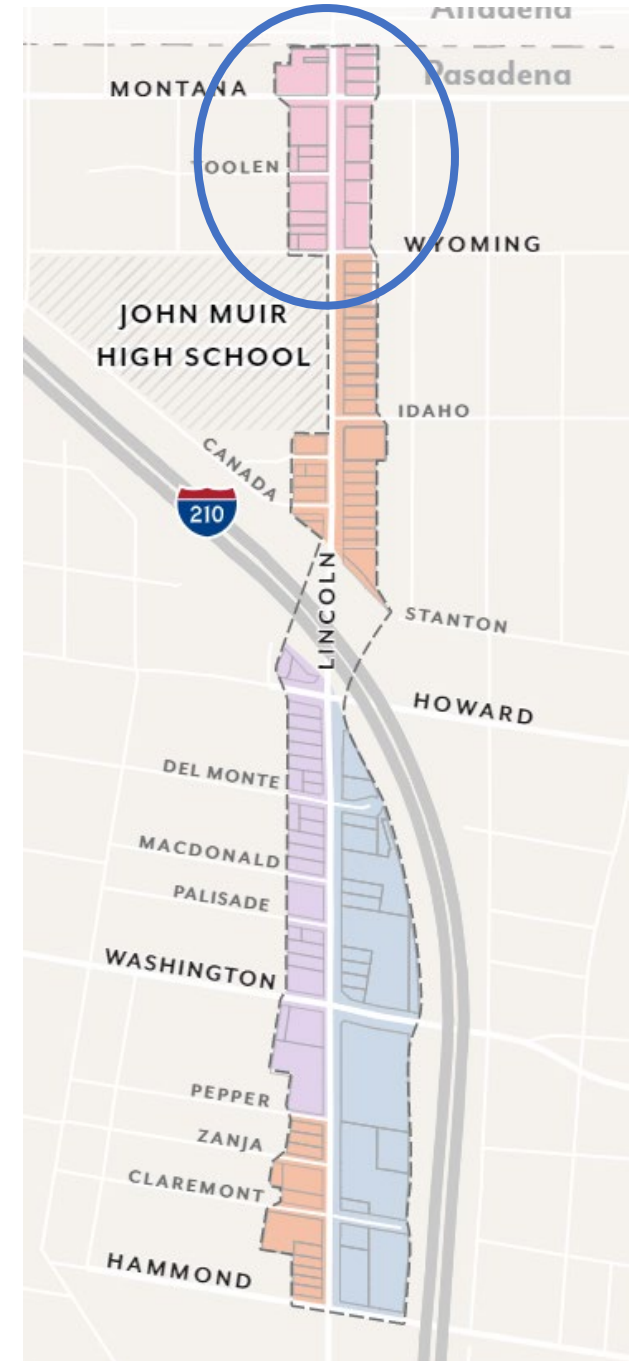
	Lincoln Main Street
	Multi-family Neighborhood
	Mixed-Use Neighborhood
	Commercial Flex



DEVELOPMENT STANDARDS BY SUBAREA



Lincoln Main Street



Goals and Policies

- A small-scale, neighborhood-serving commercial main street
- Foster a vibrant pedestrian atmosphere with historic charm
- Encourage sensitive adaptive reuse of existing buildings
- Allow for businesses that provide everyday shops and services within walking distance
- Incorporate design standards and guidelines for pedestrian-friendly streetscapes



Key Standards

Standard	Current	Proposed	Notes
Floor Area Ratio	0.8	1.0	<ul style="list-style-type: none">Slight increase but not to exceed the General Plan
Height	36' max.	36' max.	<ul style="list-style-type: none">No change
Street Setbacks	1.5-5' range	0-5' range	<ul style="list-style-type: none">Overall, this is a minimal change or slight increase in building setbacksNew 15' sidewalk minimums change how the setback is measured and may require approx. 1-2' to be dedicated for public use (i.e. sidewalk)Range provides flexibility for amenities such as outdoor seating, dining, landscaping

Key Standards

Standard	Current	Proposed	Notes
Ground Floor Height	15' min.	15' min.	<ul style="list-style-type: none">No change
Commercial Depth	40' for 60%, 20' min.	35' min.	<ul style="list-style-type: none">Standardization across SPs
Ground Floor Transparency	50% min.	70% min.	<ul style="list-style-type: none">Clarification on how transparency is measuredNew requirement that it be in the line of sight of pedestrians (between 2 and 10 feet in height)
Shade Structures	Guideline	5-10' for 50% of frontage	<ul style="list-style-type: none">New requirement for awnings, canopies, or similar to increase shading of pedestrian realm

Key Standards

Standard	Current	Proposed	Notes
Parking, Gyms	5 per 1,000 sq ft	3 per 1,000 sq ft	<ul style="list-style-type: none">Standardization with other retail uses to encourage reuse/decrease vacancy of older structures that cannot physically accommodate large amounts of parking on-site10 per 1,000 sq ft requires approx. 75% of land to go to parking
Parking, Restaurants	10 per 1,000 sq ft	3 per 1,000 sq ft	



- Additional design guidelines for commercial storefront buildings and Kettle's Nursery site, relating to siting, massing, and articulation

Multi-family Neighborhood



Goals and Policies



- Attractive, welcoming multi-family district that positively contributes to the neighborhood's sense of place
- Encourage investment in and maintenance of existing properties, as well as construction of new buildings with similar forms
- Allow for a variety of lower densities, including duplexes, townhomes, and small apartments
- Continue to encourage courtyard-style housing types with centralized open space
- Green the corridor with landscaped setbacks and parkways

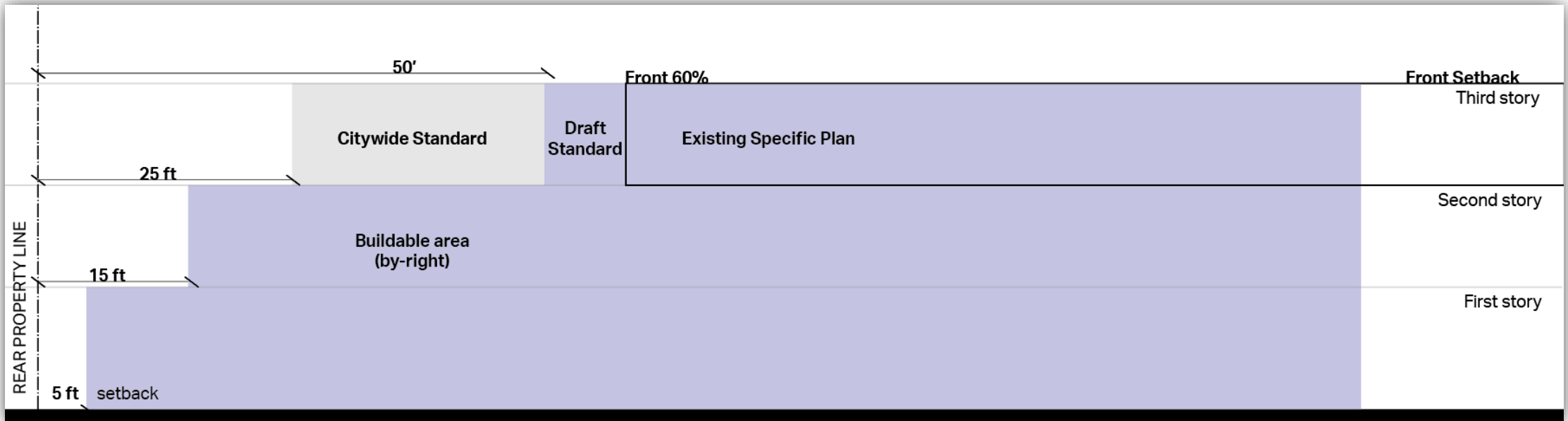
Key Standards

Standard	Current	Proposed	Notes
Density	16 du/ac	16 du/ac	<ul style="list-style-type: none">No change (3 units on a standard 7,000 sq ft lot)
Height	36' max.	36' max.	<ul style="list-style-type: none">No change
Street Setbacks	10' min.	15-20' range	<ul style="list-style-type: none">Increase in setbacks to match existing conditionsSetbacks vary, but in no case less than 15 ft



Key Standards

- Several standards default to citywide RM-16 standards (City of Gardens)
- Rear setbacks designed to mimic citywide standards, except that:
 - Citywide standard is 25' setback at 3rd story
 - Proposed standard is 50'
 - Current Specific Plan allows 3 stories in front 60% of lot

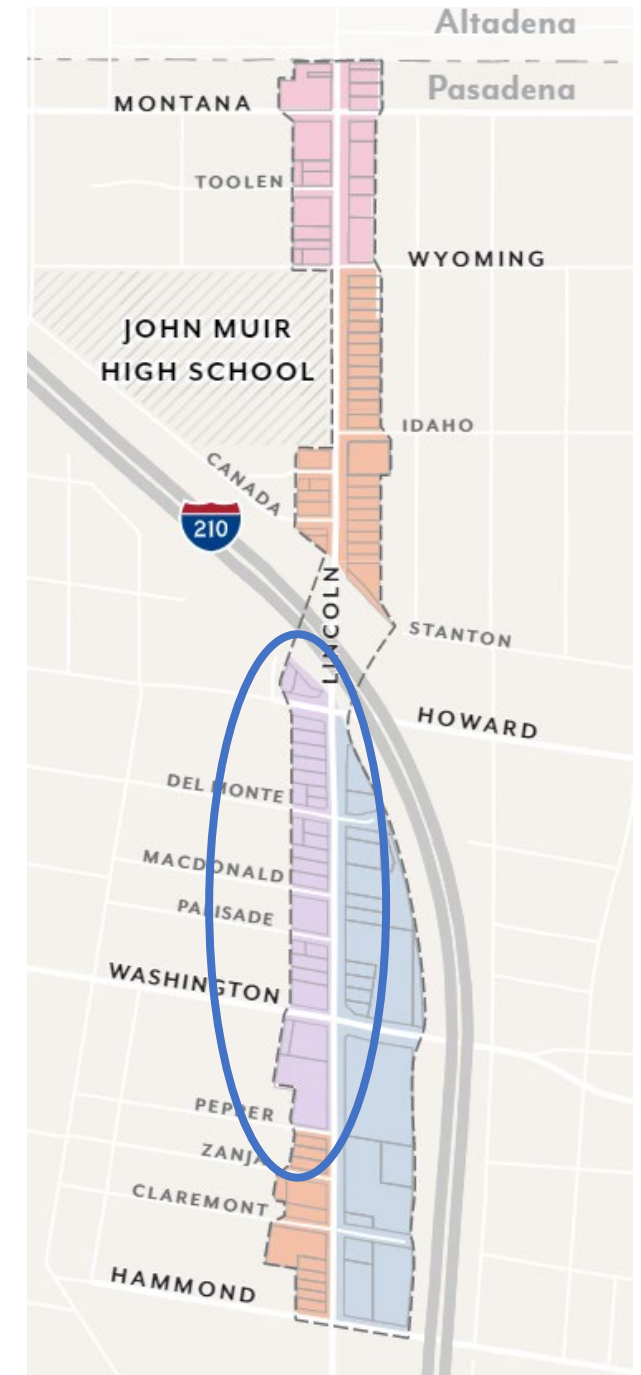


Key Standards

Standard	Current	Proposed	Notes
Fences	48" height 18" setback	42" height 24" setback	<ul style="list-style-type: none">Slight decrease in fence height, and increase in setback to allow for landscaping at sidewalk
Open Space	City of Gardens	City of Gardens	<ul style="list-style-type: none">No changeCity of Gardens standards are most suitable for this scale of residential development



Mixed-Use Neighborhood



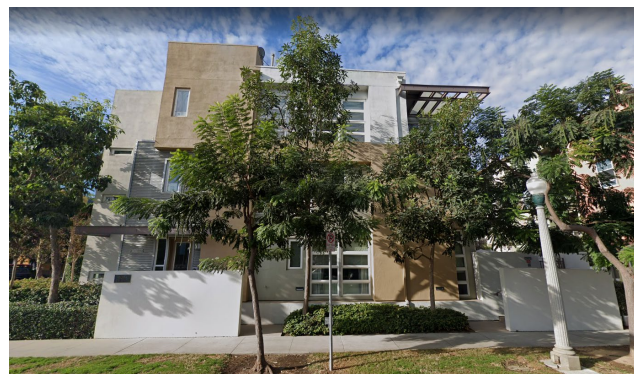
Goals and Policies

- A mix of uses providing new housing opportunities coupled with shopping, amenities, and services within walking distance
- New housing in commercial infill areas, addressing housing needs while protecting existing residential areas and replacing incompatible uses
- Allow flexibility to develop as residential and/or commercial project, but limit upper floors to residential

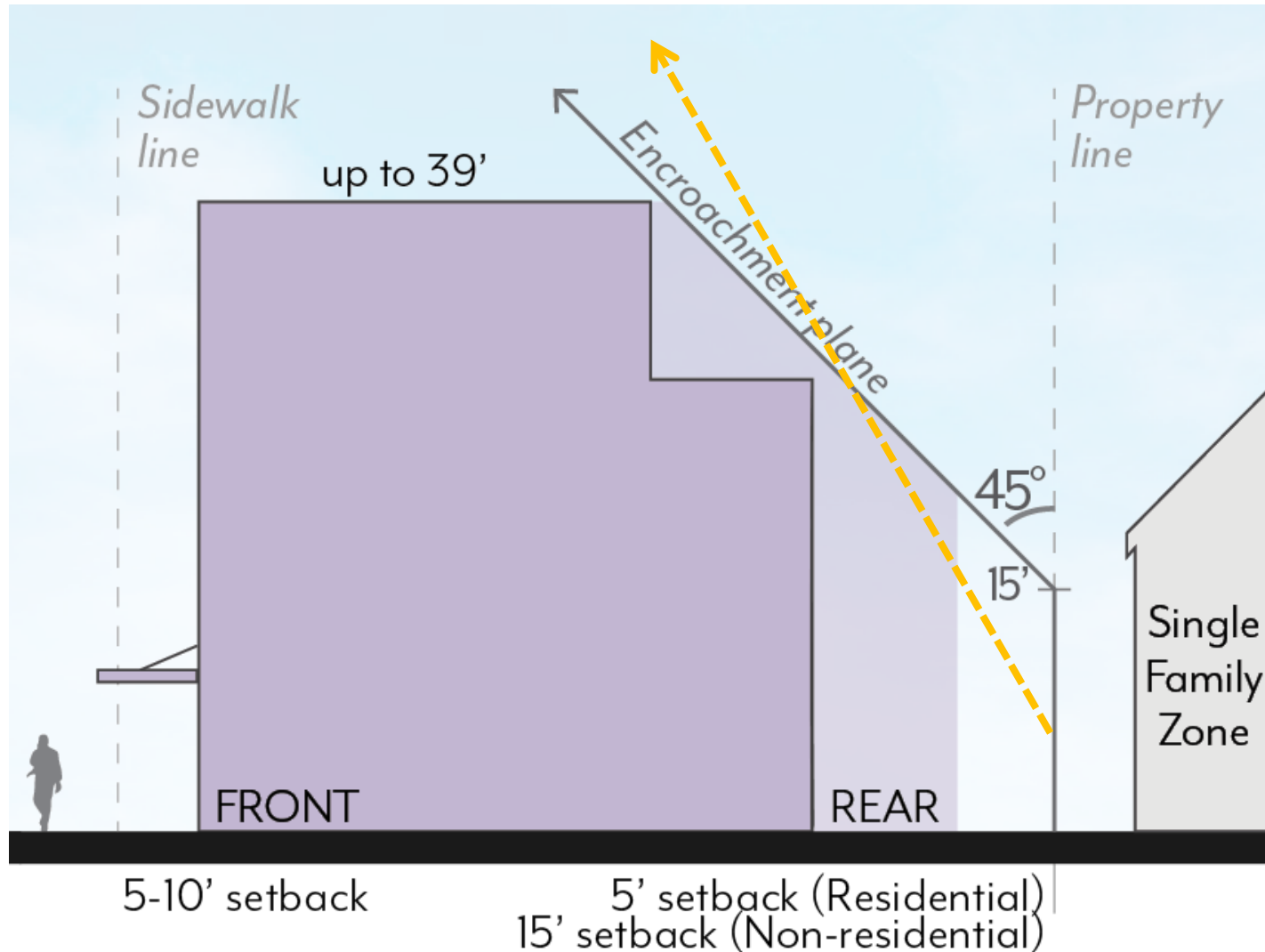


Key Standards

Standard	Current	Proposed	Notes
Density	16 du/ac	48 du/ac	<ul style="list-style-type: none">Reduction from General Plan which allows 87
Floor Area Ratio	0.7	1.5	<ul style="list-style-type: none">Reduction from General Plan which allows 2.25
Height	36' max.	39' max. (3 stories)	<ul style="list-style-type: none">Slight increase to allow for 15' ground floor in mixed-use projects
Street Setbacks	1.5-5' range	5-10' range	<ul style="list-style-type: none">Increase in setbacksRange provides flexibility for amenities such as outdoor seating, dining, landscaping



Key Standards



- Encroachment plane for rear stepbacks, moving development away from adjacent properties
- Steeper angle (45 vs 30), but higher starting point (15' vs 6')

Citywide standard for multifamily adjacent single-family zones (30 degrees starting at 6')

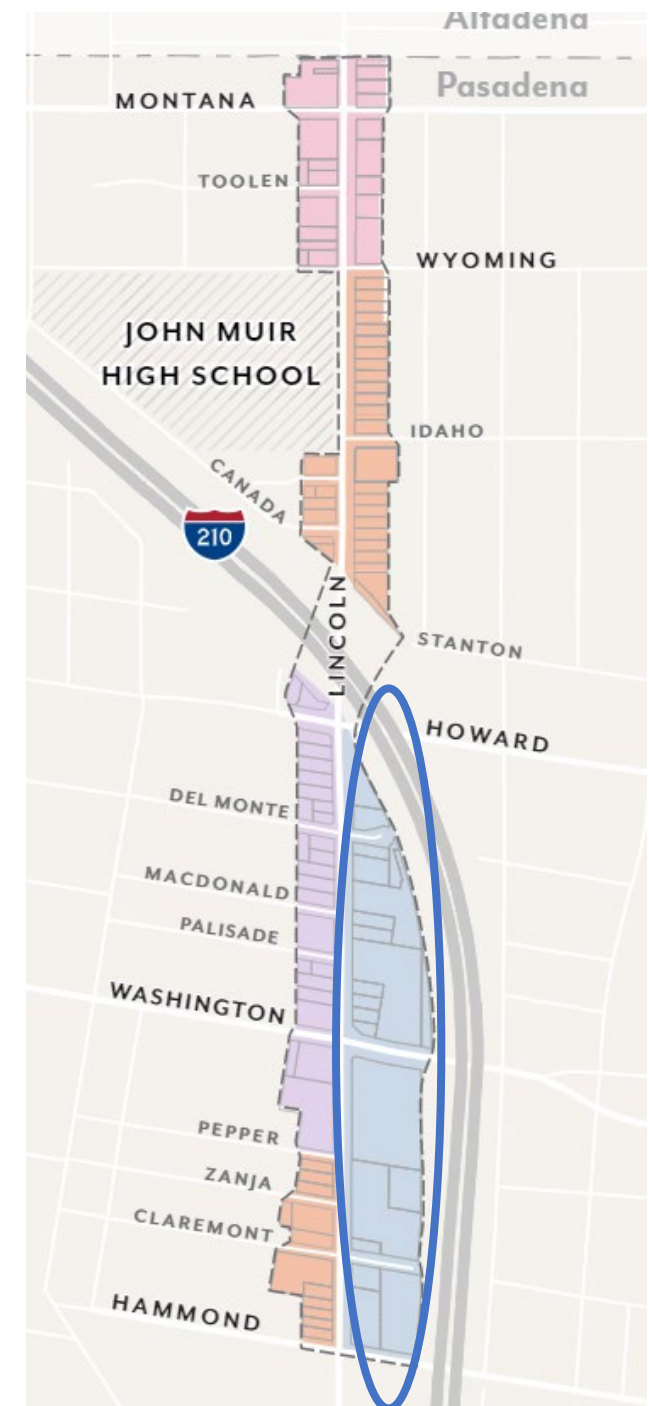
Key Standards

Standard	Current	Proposed	Notes
Ground Floor Height	15' min.	15' min.	<ul style="list-style-type: none">No change
Commercial Depth	40' for 60%, 20' min.	35' min.	<ul style="list-style-type: none">Standardization across SPs
Ground Floor Transparency	50% min.	70% min.	<ul style="list-style-type: none">Clarification on how transparency is measuredNew requirement that it be in the line of sight of pedestrians (between 2 and 10 feet in height)
Commercial Parking	3-10 per 1,000 sq ft	3 per 1,000 sq ft	<ul style="list-style-type: none">Standardization between various retail/business uses

Key Standards

Standard	Current	Proposed	Notes
Open Space	150 sq ft per unit	200 sq ft per studio	<ul style="list-style-type: none">Correlate open space to number of residents and size of building
		225 sq ft per 1-bedroom	<ul style="list-style-type: none">Analysis of recent projects determined projects were providing roughly 250 sq ft of open space per unit
		250 sq ft per 2-bedroom	<ul style="list-style-type: none">Require 60% to be common, shared among tenants (courtyards, pool/bbq areas, roof decks)
		275 sq ft per 3+bedroom	<ul style="list-style-type: none">Up to 40% of the requirement may be private; additional private open space may be built

Commercial Flex



Commercial Flex



- A hub for commercial research and development, and light industrial uses
- Provide flexible spaces for growing businesses and new employment opportunities
- Phase out incompatible uses that conflict with nearby residential areas
- Replace old industrial uses with new buildings for start-ups, incubators and creative office
- Act as a buffer between the I-210 freeway and the neighborhood to the west

Key Standards

Standard	Current	Proposed	Notes
Floor Area Ratio	1.0	1.0	<ul style="list-style-type: none">No change
Height	36' max.	39' max.	<ul style="list-style-type: none">Slight increase to allow for taller floors, buffer freeway, and match district across street
Street Setbacks	12'	5-10' range	<ul style="list-style-type: none">Match district across streetSome existing buildings have 0' setbacks, but most including the Business Park are in the 5-10' range12' in current plan was meant to provide space for a required trellis system that was never implemented

Key Standards

- Allow for a variety of business uses that can be good neighbors, including:
 - Restaurants/retail (but not big box)
 - Offices/banks
 - Research & development/labs
 - Custom manufacturing/artisan production
 - Breweries/distilleries
 - Business services



Key Standards

Standard	Current	Proposed	Notes
Open Space	none	5% of floor area for projects greater than 40,000 sq ft	<ul style="list-style-type: none">• New requirement for commercial open space on largest developments• May be either Common for building tenants or open to the public

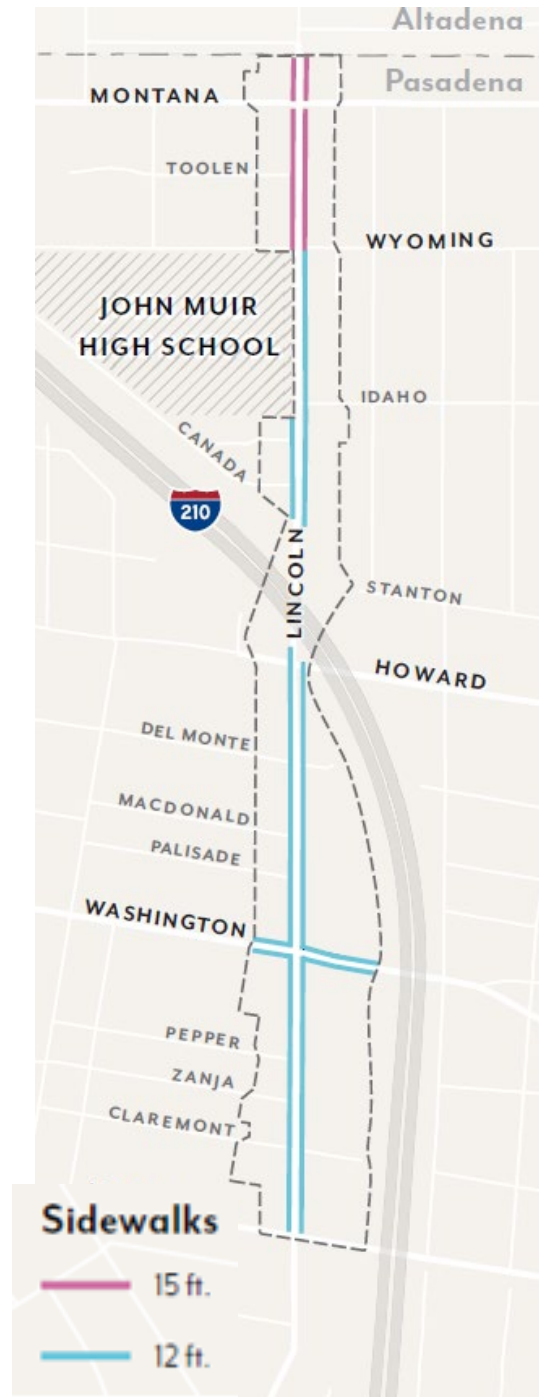


PUBLIC REALM



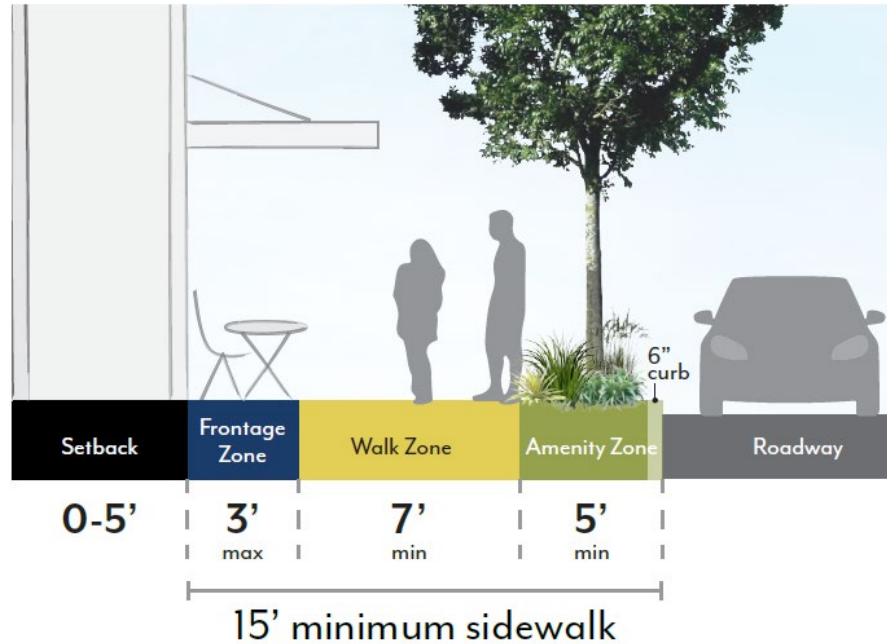
Sidewalks

- Provide **unobstructed path of travel** for users of all abilities
- Designate portion of sidewalk for **public amenities**, like seating, bicycle parking, trash receptacles, bus shelters, and street trees
- Support greening with sufficient **landscaping and shade** to enhance pedestrian comfort, climate resiliency and stormwater capture



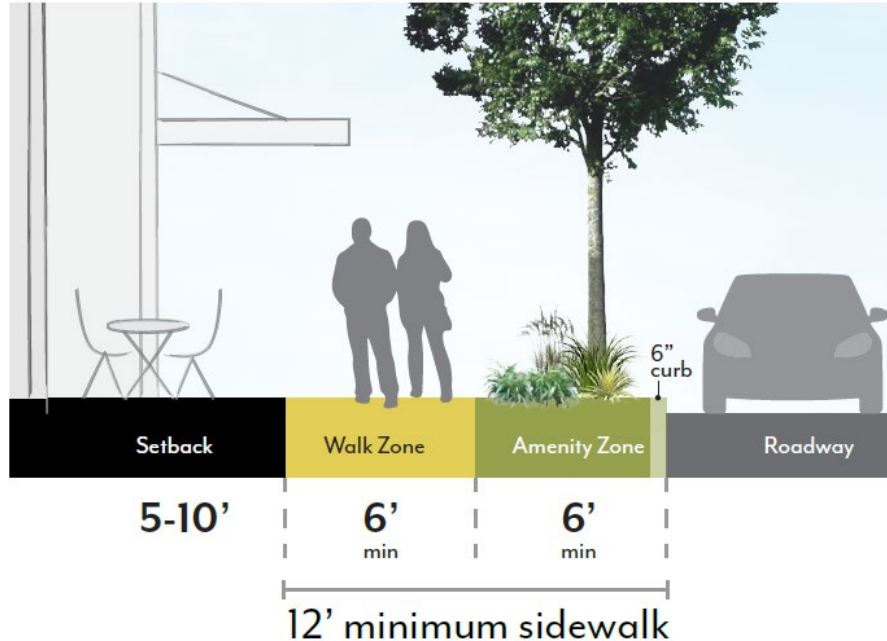
Sidewalks

- Required sidewalk width of 15' north of Wyoming, measured from curb
- Required parkways at 20-30% of frontage to allow for greenery and pedestrian mobility



Sidewalks

- Required sidewalk width of 12' south of Wyoming (all other areas)
- Required parkways at 20-30% of frontage to allow for greenery and pedestrian mobility



Existing Street Trees



*Chitalpa
(in winter)*



*Oak
Mexican Fan Palm in background*



*Crown of Gold
(none currently planted)*

Street Trees

- New standards for street tree planting
 - Tree spacing: at least every 30'
 - Tree well dimension: 6' in length by approx. 5 feet in width (equal to Amenity Zone)
 - Expanded root zone requirement or alternative such as structural soil or suspended pavement system
- Street tree guidance appendix recommends updates to street trees (Appendix A.2)
 - Dominant shade trees
 - Seasonal accent trees



Crown of Gold



Golden Trumpet Tree



Tipu Tree



Gold Medallion Tree

IMPLEMENTATION



Implementation

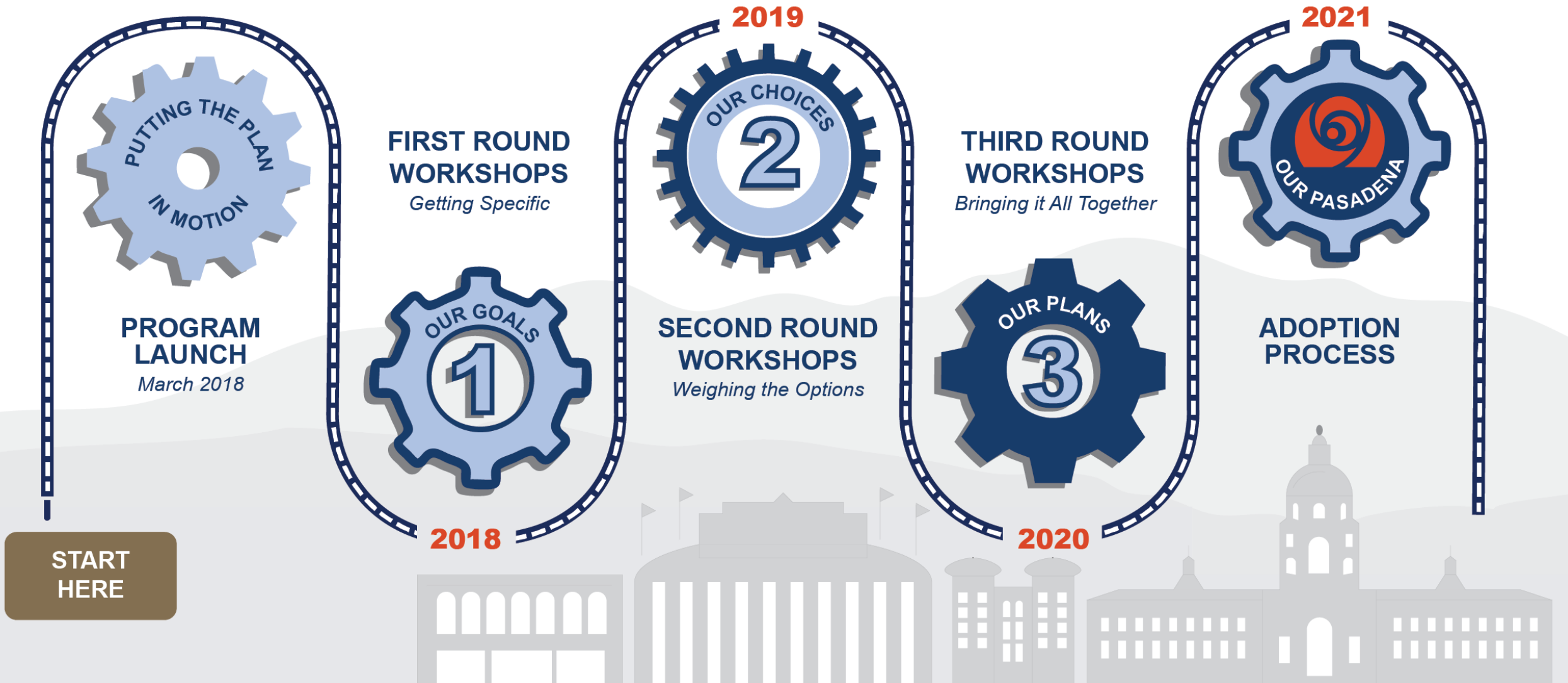
- Regulations apply to *future* development
 - Not a requirement to redevelop any private property
- Targeted actions to guide City departments and policy makers
- Align with other planning documents
- Together they implement the General Plan



NEXT STEPS



Our Pasadena timeline



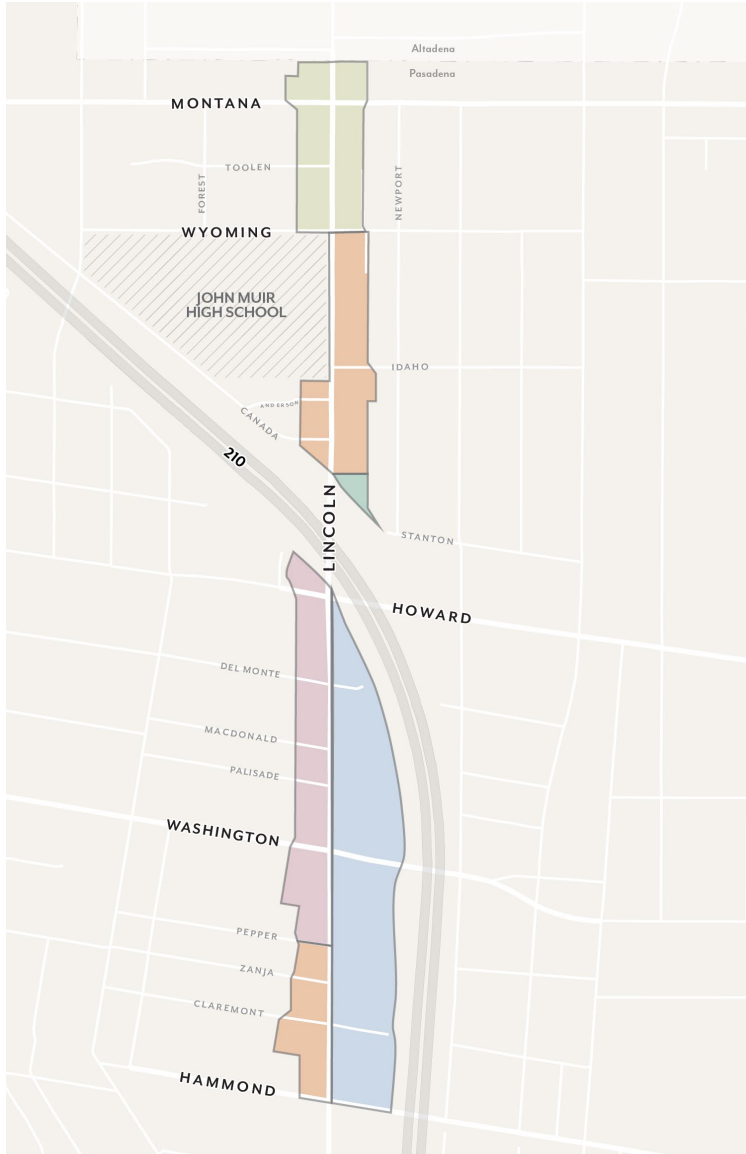
THANK YOU

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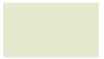




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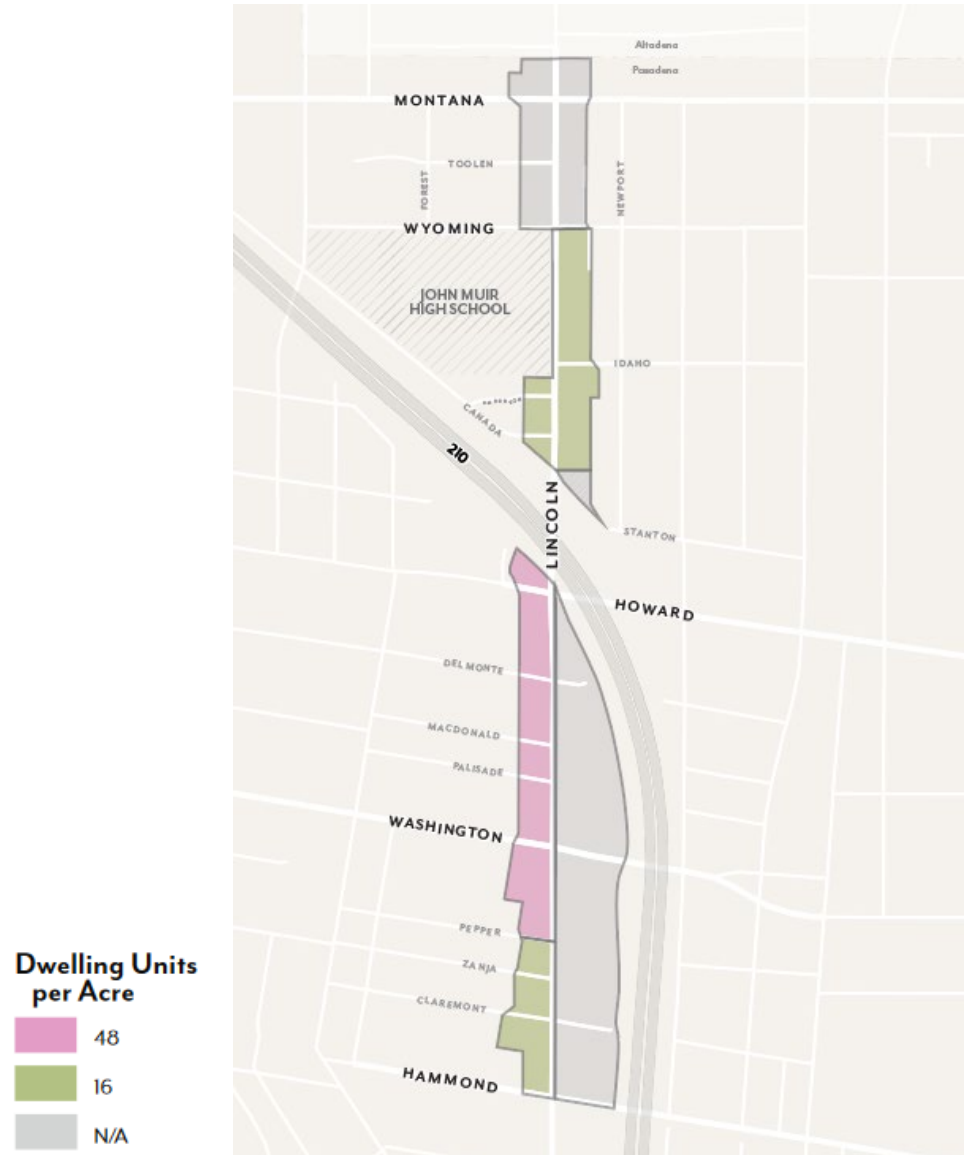
Zoning



Zoning Designations

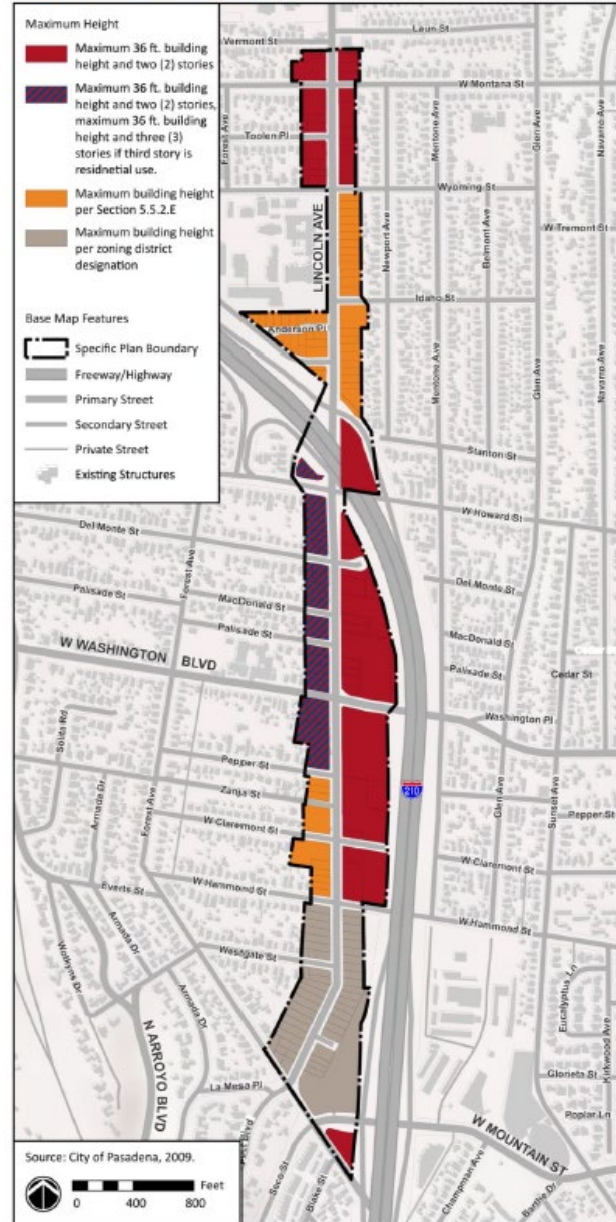
-  LASP-CG (General Commercial)
-  LASP-CL (Limited Commercial)
-  LASP-CF (Flex Commercial)
-  LASP-MU-48 (Mixed-Use)
-  LASP-RM-16 (Multifamily Residential)

Density & FAR



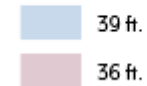
Height

Figure 5-7: Maximum Height



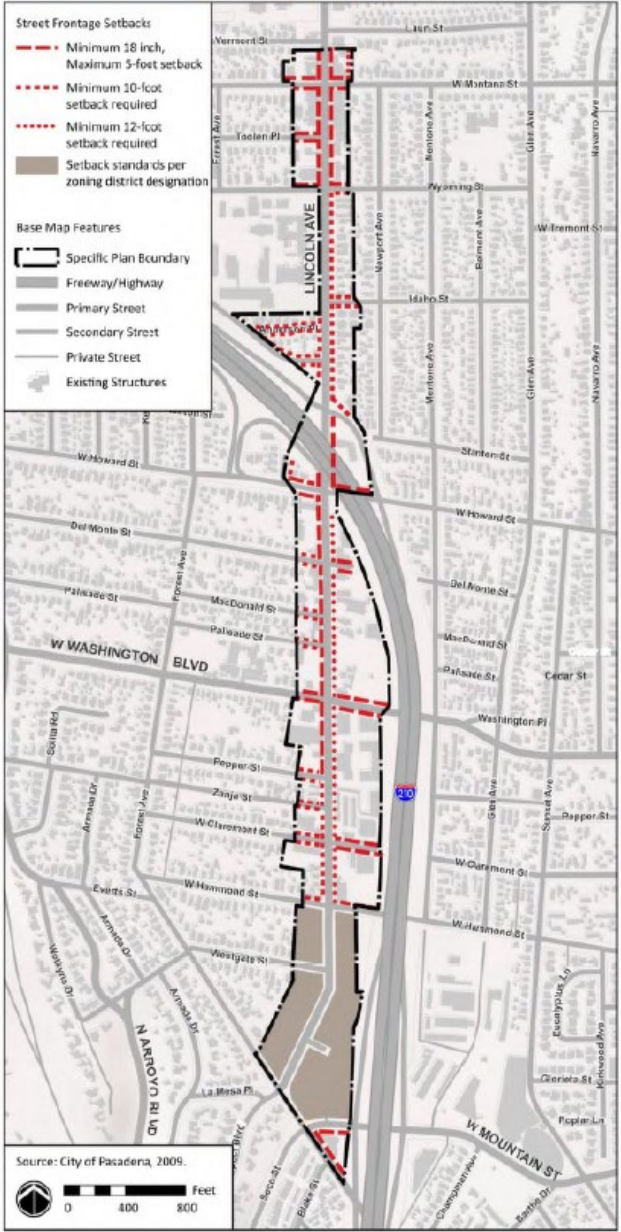
Existing plan

Building Heights



Setbacks

Figure 5-5: Street Frontage Setbacks



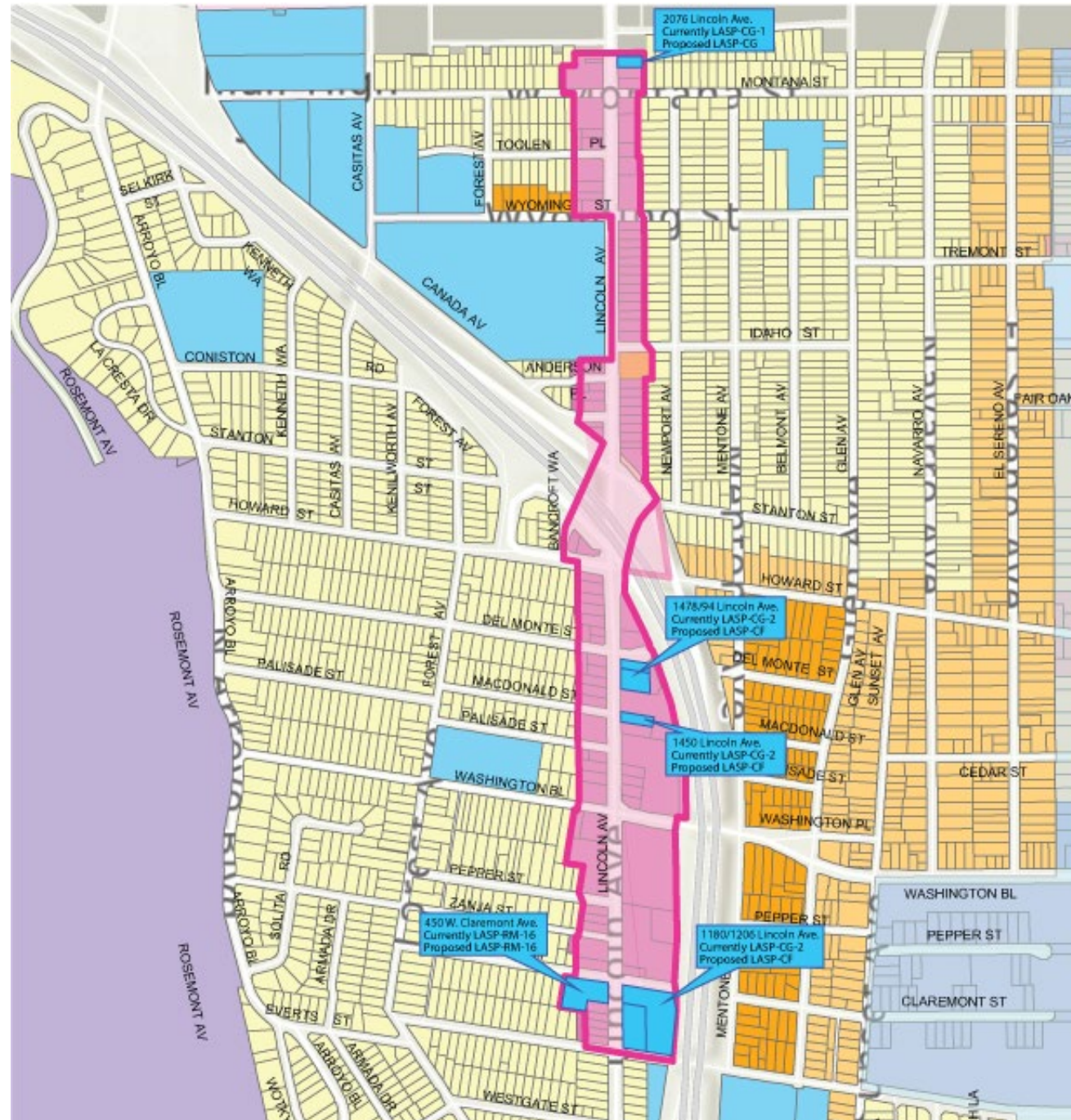
Existing plan

Street Setbacks

- 0-5 ft. for 75%
- 5-10 ft. for 75%
- 5-10 ft. for 50%
- 15-20 ft. for 50%
- 5 ft. minimum

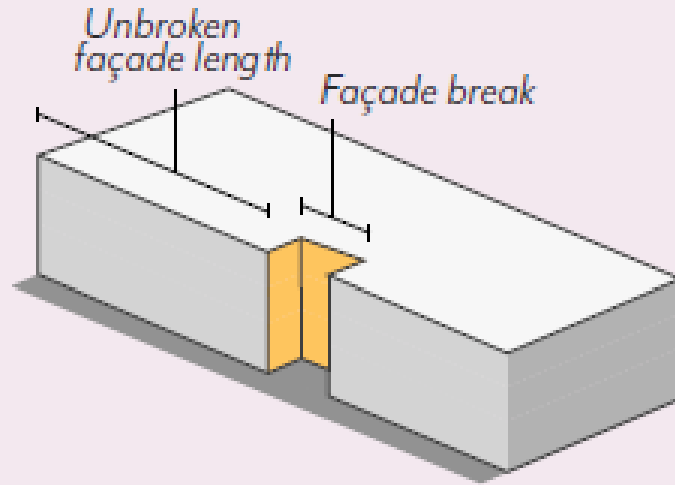


Existing Land Uses



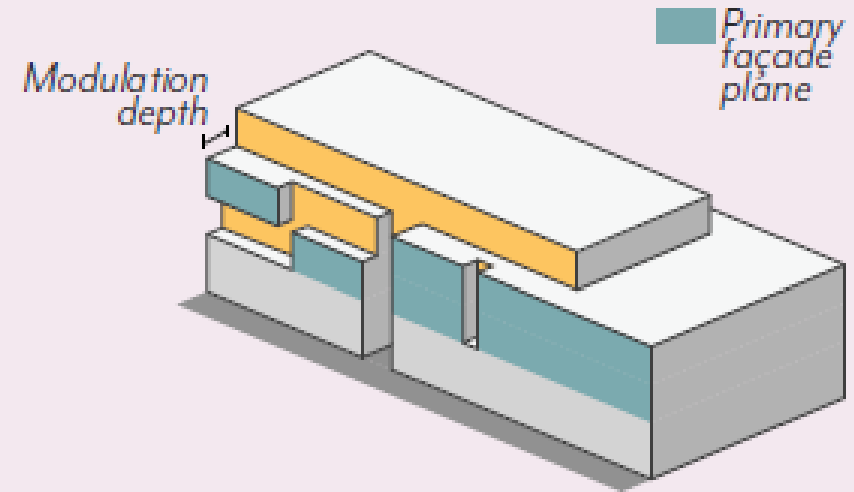
Façade length and modulation

Figure 6.1-8: Façade Length



Façades over the specified length shall include a break at least 20 feet wide and 10 feet deep, open to the sky.

Figure 6.1-9: Façade Area



Façades shall modulate at least 25% of the area above the ground floor between 2 and 12 feet in depth.

Note: Diagrams used for measurement illustration purposes only.

Alcohol

Current Plan

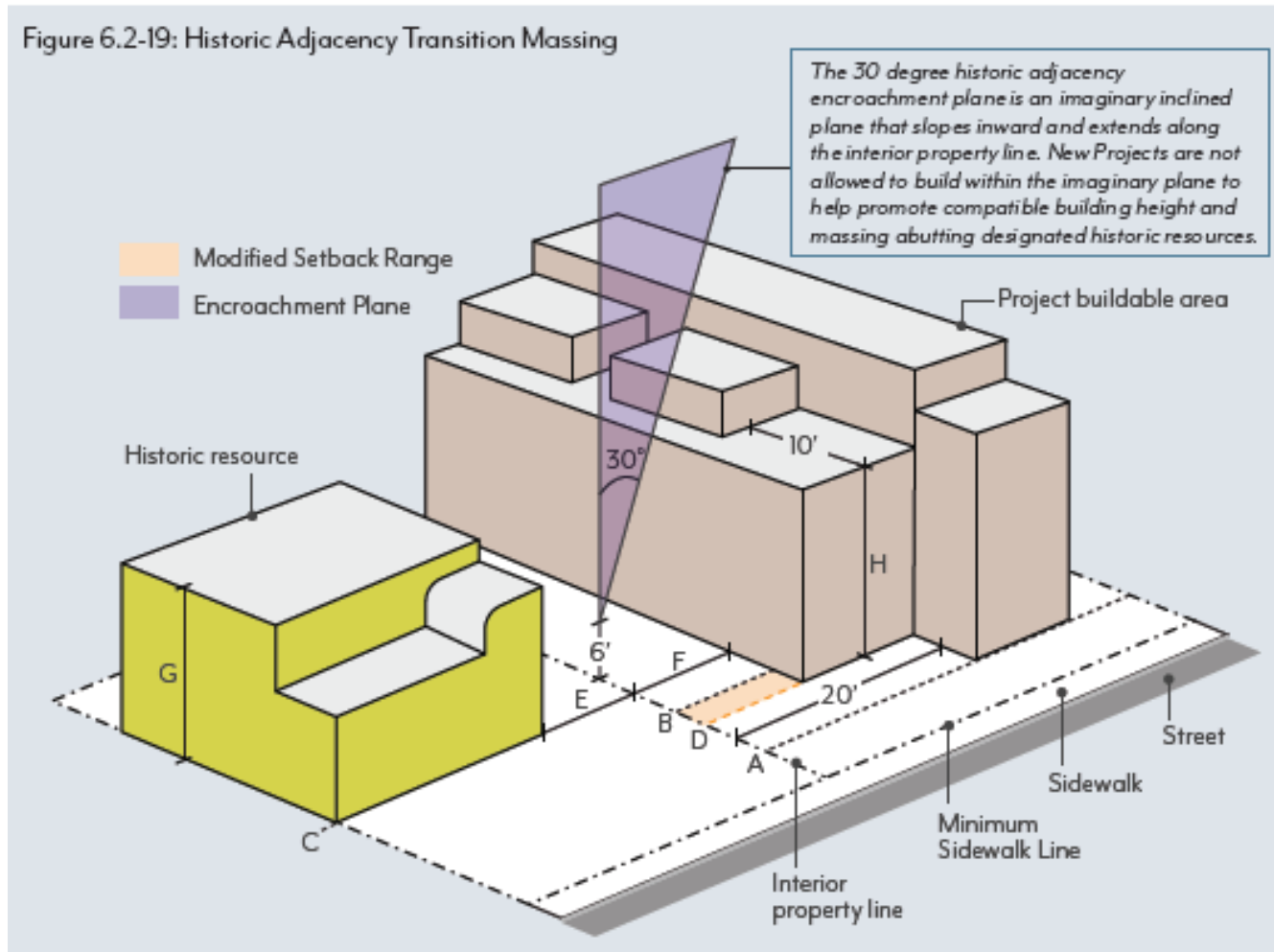
- Beer and wine is conditionally permitted only as an accessory use to:
 - A restaurant (on-site consumption)
 - Retail food sales in buildings >15,000 sq ft and where such alcohol sales occupy no more than 5% of the floor area of such building (off-site consumption)
- Full alcohol is conditionally permitted only as an accessory use to:
 - A restaurant (on-site consumption)
 - Retail food sales in buildings >30,000 sq ft and where such alcohol sales occupy no more than 2.5% of the floor area of such building (off-site consumption)

Draft Plan

- Alcohol is conditionally permitted only as an accessory use to:
 - A restaurant or alcohol beverage manufacturing (on-site consumption)
 - Retail food sales in commercial spaces >15,000 sq ft and floor space shall not exceed 5% of the store's total floor area (off-site consumption)
- *In summary, draft plan uses the existing Beer and Wine numbers for Full Alcohol*
- *For reference, the average Trader Joe's store size is about 15,000 sq ft*

Historic Adjacency

Figure 6.2-19: Historic Adjacency Transition Massing



- New standards to address massing of development projects next to designated historic resources
- Currently, there are no designated historic resources in the plan area but there are eligible buildings, including:
 - Dental Center
 - Kettle's Nursery