

Draft Lamanda Park Specific Plan

Preliminary Development Standards

7 January, 2021



DRAFT



Table of Contents

4. Land Use

4.1 Land Use	5
4.2 Zoning Districts	7

5. Public Realm Standards & Guidelines

5.1 Sidewalks	20
5.2 Parkways and Street Trees	27

6. Development & Design Standards

6.1 Scale	32	6.4 Open space	55
6.2 Massing	37	6.5 Access & Parking	59
6.3 Ground Floor	50		

Note: This Draft Lamanda Park Specific Plan document is intended for public review at the Our Pasadena Public Workshops - Round Three (Virtual Open House). This document includes draft content for the three chapters of the Specific Plan that introduce new regulations, standards, and guidelines for development; this draft does not include introductory and administrative chapters, policies, definitions, or appendices. The draft standards presented in this document are informed by multiple stages of prior community input and extensive technical analysis. This document is made public for the purpose of receiving further community feedback, and contents are subject to change.

DRAFT

Ch. 4 Land Use

Land Use	4
4.1 Land Use	5
4.2 Zoning Districts.	7



LAND USE

IMPORTANCE

The Zoning and Land Use regulations in this chapter are intended to guide development and Land Use decision-making to achieve the Lamanda Park Specific Plan Vision. Permitted uses are intended to “provide for the evolution of the Lamanda Park area, as an incubator of light industrial, research and development, and creative industries creating new job opportunities and supporting a vibrant economy” (Pasadena General Plan Land Use Element, 2015).

Land Use regulations are tools that can be used to maintain the character of a particular neighborhood, or to guide a neighborhood’s evolution toward a character that better supports residents, businesses and employees, and visitors. While broader land use categories are assigned in the General Plan, the Specific Plan establishes a detailed list of allowed land use categories and the permit requirements or limitations for each zoning district within the Specific Plan Area.

CHAPTER OVERVIEW

The Land Use chapter includes a discussion and map on allowed land uses (simplified into commercial, mixed, and R&D flex uses) as they apply to the Specific Plan Area in general, as well as ground floor spaces. Following the land use section, this chapter covers designated zoning districts with a map followed by a detailed table indicating which land uses are allowed within each zoning district of the Specific Plan area. Certain uses may be subject to special conditions or permitting, requiring an application and approval process determining whether the proposed use is permitted, conditionally permitted, prohibited, or allowed as a temporary use.

- » **4.1 Land Use.** Introduces allowed uses and ground floor location requirements for commercial/residential mixed-use areas.
- » **4.2 Zoning Districts.** Introduces the Lamanda Park Specific Plan zoning districts, identified as unique areas in need of tailored standards. Introduces allowed uses and permit requirements by zoning district.

DRAFT



Commercial retail pharmacy use at Colorado Boulevard and Sierra Madre Boulevard



Mixed-use with residential dwelling units above ground floor retail and dining uses



Commercial catering/food production use at the intersection of Nina Street and San Gabriel Boulevard

4.1 LAND USE

The broad land use classifications established by the General Plan shown in Map 4.1-1 provide a framework for use permissions in Lamanda Park, and can be organized into the following general use categories as shown in Map 4.1-2:



» **Commercial** accommodates a variety of uses including retail shopping, personal and financial services, offices, dining, entertainment, and similar uses. Residential is prohibited in commercial land use classifications.

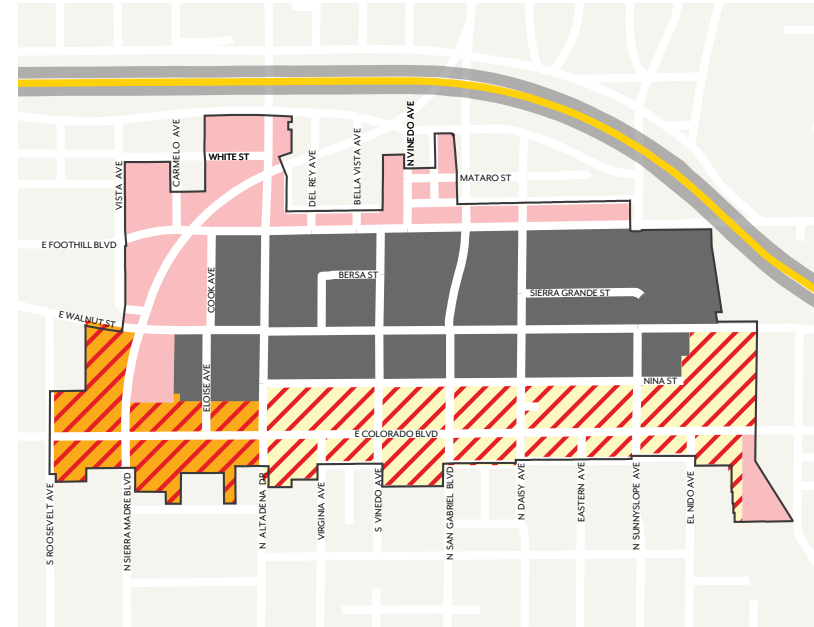


» **Mixed-Use** allows a combination of housing with commercial uses to enable residents to live close to where they work, shop and recreate. Mixed-Use may consist of a mix of housing types horizontally distributed within a district, block, or parcel or housing built above commercial, for example.



» **R&D Flex** allows a wide range of industrial uses such as light manufacturing, research and development, creative office and incubator industries, and limited ancillary commercial and office uses.

Map 4.1-1: General Plan Land Use



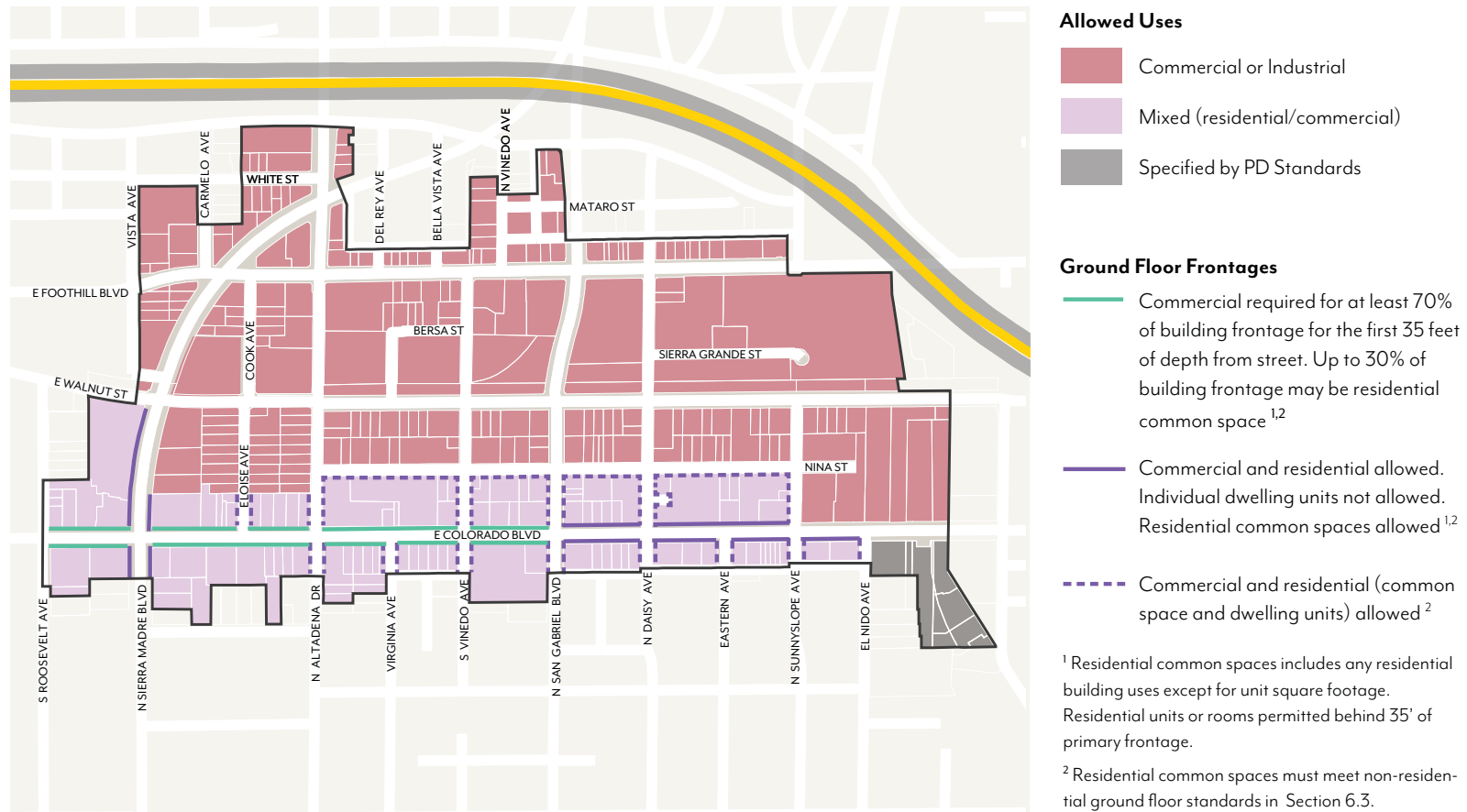
General Plan Land Use Designation

- Low Commercial
- R&D Flex
- Low-Medium Mixed Use
- Medium Mixed Use

DRAFT

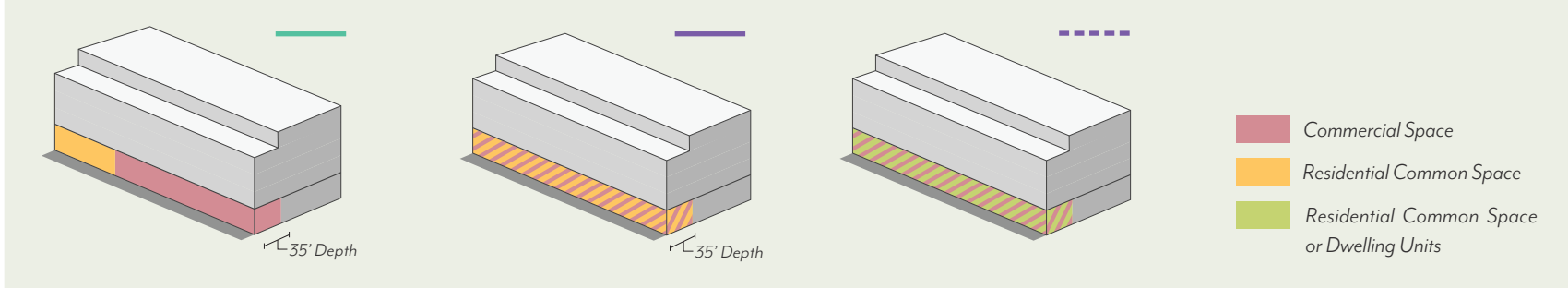
Land Use

Map 4.1-2: Allowed Use and Ground Floor Requirements



DRAFT

Figure 4.1-1: Ground Floor Frontage Requirements for Commercial/Residential Mixed Areas



4.2 ZONING DISTRICTS

The Lamanda Park Specific Plan consists of eight (8) Zoning Districts, identified as unique areas in need of tailored standards. Map 4.2-1 identifies the Zoning Districts for the Specific Plan.

The following zones are established as part of this Specific Plan:

- » LPSP-CL (Commercial Limited)
- » LPSP-MU-1 (Mixed-Use 1 Low)
- » LPSP-MU-2 (Mixed-Use 2 Medium)
- » LPSP-RDCF (R&D Commercial Flex)
- » LPSP-RDIF (R&D Industrial Flex)

The following zones are defined by their respective Planned Developments (PD):

- » PD-3
- » PD-18

DRAFT

Land Use

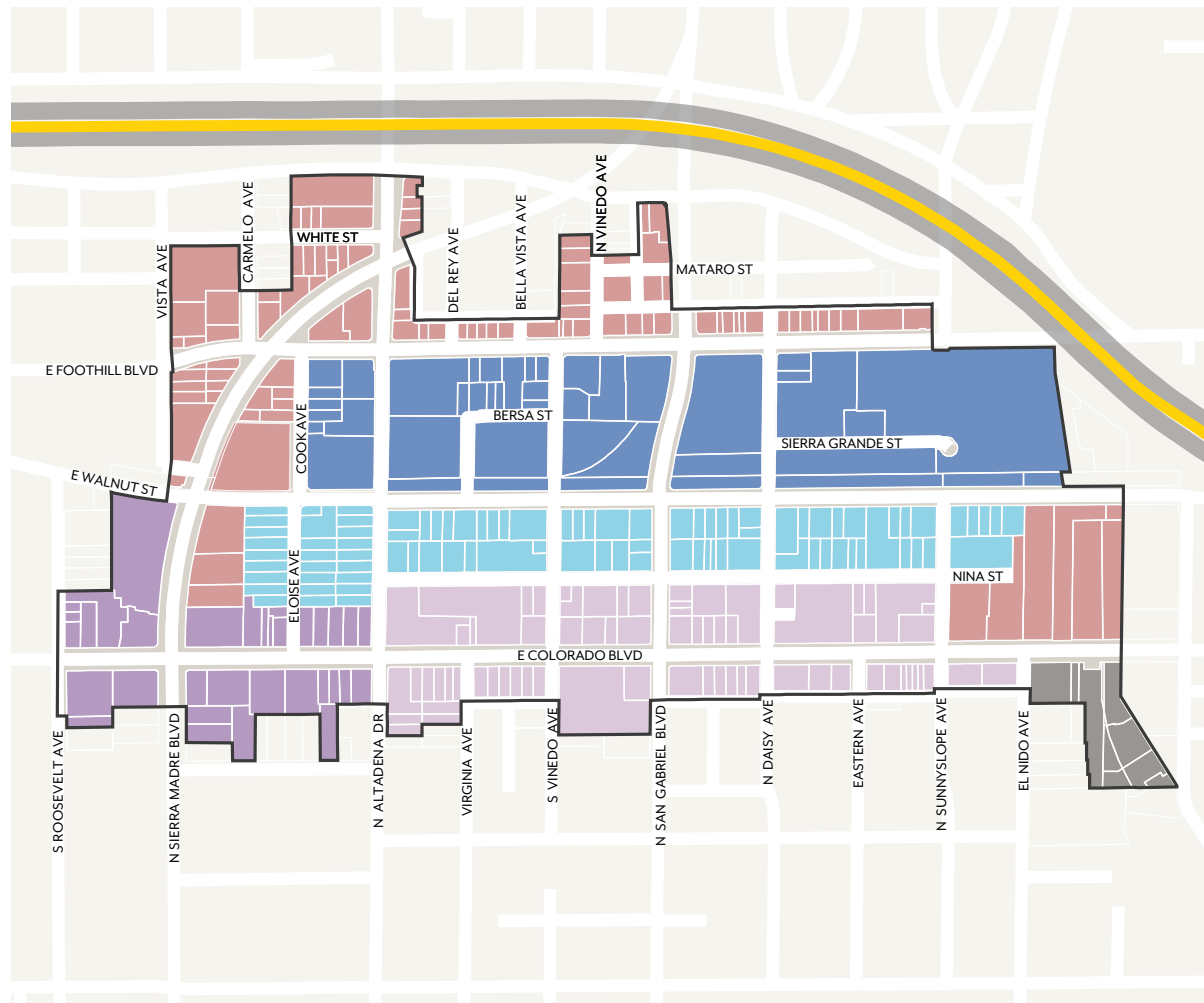


R&D Commercial Flex Zone



Mixed-Use 2 Medium Zone

Map 4.2-1: Lamanda Park Specific Plans Zoning District



Zoning Districts

- CL (Commercial Limited)
- MU-1 (Mixed-Use Low)
- MU-2 (Mixed-Use Medium)
- RDCF (R&D Commercial Flex)
- RDIF (R&D Industrial Flex)
- Planned Development (PD)

DRAFT

Table 4.2-1: Allowed Uses and Permit Requirements

SYMBOL	PERMIT REQUIREMENTS AND USE LIMITATIONS	PROCEDURE IS IN SECTION:
P	Permitted use, Code Compliance Certificate required.	17.61.020
MC	Conditional use, Minor Conditional Use Permit required.	17.61.050
C	Conditional use, Conditional Use Permit required.	17.61.050
E	Conditional use, Expressive Use Permit required.	17.61.060
PD	Subject to a Planned Development or other discretionary review; see standards.	17.26.020.C
A	Use permitted only as accessory to a primary permitted use	
TUP	Temporary use, Temporary Use Permit required.	17.61.040
–	Use not allowed. (See Section 17.21.030.A regarding uses not listed.)	
(L#)	“(L#)” designates limited uses to comply with specific limitations listed at the end of the table.	

DRAFT

Land Use

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS						
LAND USE (1)						Additional Relevant Standards from Zoning Code / Notes
	Mixed-Use Medium 1	Mixed-Use Medium 2	Commercial Limited	R&D Commercial Flex	R&D Industrial Flex	
	MU-1	MU-2	CL	RDCF	RDIF	
RESIDENTIAL USES						
Limitations to uses and conditions on the ground floor are subject to Map 4.1-2 location regulations.						
Family Day Care						
Large	P (L1)	P (L1)	–	–	–	17.50.080
Small	P (L1)	P (L1)	–	–	–	
Group Residential Types						
Congregate Housing	P (L1)	P (L1)	–	–	–	
Senior Group Residential	P (L1)	P (L1)	–	–	–	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS						
LAND USE (1)						Additional Relevant Standards from Zoning Code / Notes
	Mixed-Use Medium 1	Mixed-Use Medium 2	Commercial Limited	R&D Commercial Flex	R&D Industrial Flex	
	MU-1	MU-2	CL	RDCF	RDIF	
Residential						
Accessory dwelling unit	P (L1)	P	P	—	—	17.50.275
Live/Work Units	P (L1)	—	—	P	—	17.50.370
Multi-family Residential	P (L1)	P	P (L1)	—	—	17.50.350
Home occupations	P (L1)	P	P	—	—	17.50.110
Residential Accessory Uses and Structures	P (L1)	P	P	—	—	17.50.250
Residential Care Facilities						
General	C	C	—	—	—	17.50.250
Limited	P	P	—	—	—	
Senior	C	—	—	—	—	
Supportive Housing						
Emergency Shelters	MC	MC	MC	MC	MC	
Supportive Housing	P (L1)	P (L1)	—	—	—	
Transitional Housing	P (L1)	P (L1)	—	—	—	Maximum area for provision of which support services (interior or exterior) shall not exceed 250 sf.
RECREATION, EDUCATION & PUBLIC ASSEMBLY USES						
Limitations to uses and conditions on the ground floor are subject to Map 4.1-2 location regulations.						
Cultural & Public Assembly						
Religious Facilities	C	C	P	P	C	17.50.230
Mortuary, Funeral Home	—	—	—	C	—	
Cremation/Interment Services	—	—	—	MC	—	
With Temporary Homeless Shelter	P	P	C	C	C	17.50.230

DRAFT

Land Use

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS						
LAND USE (1)						Additional Relevant Standards from Zoning Code / Notes
	Mixed-Use Medium 1	Mixed-Use Medium 2	Commercial Limited	R&D Commercial Flex	R&D Industrial Flex	
	MU-1	MU-2	CL	RDCF	RDIF	
Assembly Facilities	C	C	P	P	C	17.50.230
Cultural Institution and Facility	P (L1)	P (L1)	P	—	—	
College or Educational Institution						
Nontraditional campus setting	P (L1)	P (L1)	P (L1)	P	P	
Recreation						
Commercial Recreation - Indoor	—	—	P	P	C	17.50.130
Commercial Recreation - Outdoor	—	—	—	C	—	17.50.130
Gardens (Neighborhood / Community)	P	P	P	P	P	
Park and Recreation Facilities	P	P	P	P	P	
Schools						
Schools - Public and Private	C	—	—	C	—	17.50.270
Schools - Specialized Education and Training	P (L1)	P (L1)	P	P	P	17.61.050.J ; CUP required for new construction over 25,000 s.f.
BUSINESS, COMMERCIAL, AND RETAIL SERVICES Limitations to uses and conditions on the ground floor are subject to Map 4.1-2 location regulations.						
Alcohol Sales						
Beer and wine	C	C	C	C	C	17.50.040
Full alcohol sales	C	C	C	C	C	17.50.040
Animal Sales and Services						
Animal Boarding	—	—	—	—	P	
Animal Clinic/Hospital	P	—	P	P	P	17.50.050
Animal Grooming	P	—	P	A	A	
Animal Retail sales	—	—	P	—	—	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS						
LAND USE (1)						Additional Relevant Standards from Zoning Code / Notes
	Mixed-Use Medium 1	Mixed-Use Medium 2	Commercial Limited	R&D Commercial Flex	R&D Industrial Flex	
	MU-1	MU-2	CL	RDCF	RDIF	
Auto/Vehicle Sales and Services						
Alternative Fuels/Recharging Facilities	—	C	P	—	A	17.40.070; 17.61.050.J; CUP required for new construction over 25,000 s.f.
Automobile Rental	—	—	P	—	—	17.61.050.J; CUP required for new construction over 25,000 s.f.
Automobile Showrooms	P	P	P	—	—	
Vehicle Services - Repair	—	—	—	C	—	17.40.070; 17.61.050.J; CUP required for new construction over 25,000 s.f.
Vehicle Services - Washing/Detailing	—	—	—	C	—	17.40.070; 17.61.050.J; CUP required for new construction over 25,000 s.f.
Vehicle Services - Washing/Detailing, Small-Scale	—	—	P	P	—	17.50.290
Vehicles Services -Sales/Leasing	—	—	P	—	—	17.40.070; 17.61.050.J; CUP required for new construction over 25,000 s.f.
Vehicles Services - Sales/Leasing, Limited	—	—	P	—	—	17.50.360
Vehicle Services - Service Stations	—	—	—	C	C	17.40.070; 17.61.050.J; CUP required for new construction over 25,000 s.f.
Vehicle Storage	—	—	—	C	C	17.40.070; 17.61.050.J
Banks and financial Institutions						
All Uses and Zones						17.61.050.J; CUP required for new construction over 25,000 s.f.
Automated Teller Machines (ATM)	P	P	P	—	—	17.50.060
Banks and Credit Unions (Retail)	P	P	P	—	—	
Banks and Credit Unions (Non-Retail)	P (L1)	P (L1)	P	—	—	
Day Care Facility						
Adult Day-Care - General	C (L1)	—	C	—	—	Performance standards required

DRAFT

DRAFT

Land Use

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS						
LAND USE (1)	Mixed-Use Medium 1	Mixed-Use Medium 2	Commercial Limited	R&D Commercial Flex	R&D Industrial Flex	Additional Relevant Standards from Zoning Code / Notes
	MU-1	MU-2	CL	RDCF	RDIF	
	Adult Day-Care - Limited	P (L1)	—	P	P	
Child Day Care	P	P	P	C	A	17.50.080
Eating and Drinking Establishments						
All Uses and Zones						17.61.050.J; CUP required for new construction over 25,000 s.f.
Bar, Night Club, or Tavern	C	C	C	—	—	17.50.040
Restaurants, Full Service	P	P	P	P	C*	17.50.260 *Restricted to existing legal lots of 7,500 SF or smaller; new subdivisions to allow this use are prohibited.
Restaurant, Limited Service	P	P	P	P	C*	
Restaurant, Take-Out Only	P	P	P	P	—	
Restaurants with Limited Live Entertainment	P	P	P	P	—	Performance standards required
Restaurants with Walk-Up Window	C	C	C	C	A	17.50.260
Entertainment						
Commercial Entertainment	E	E	E	E	—	17.50.130
Electronic Game Centers	P	P	P	—	—	17.50.100
Food and Beverage Sales						
Convenience Stores	P	P	P	C	—	
Farmers' Market	P	P	P	P	—	
General Market	P	P	P	P	—	
Liquor Stores	C	C	C	—	—	17.50.040
Group Housing						
Single-Room Occupancy *	P	P	P	—	—	Commercial use, prohibited in residential zones. 17.50.300 *For areas with ground floor requirements, SRO is not counted toward a commercial requirement.

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS						
LAND USE (1)						Additional Relevant Standards from Zoning Code / Notes
	Mixed-Use Medium 1	Mixed-Use Medium 2	Commercial Limited	R&D Commercial Flex	R&D Industrial Flex	
	MU-1	MU-2	CL	RDCF	RDIF	
Hospitals, Clinics and Care Facilities						
Clinic	P	P (L1)	P	P	P	
Extended Care	MC (L1)	—	—	—	—	
Life/Care Facilities	MC (L1)	—	—	—	—	17.50.120
Hospitality House	MC (L1)	MC (L1)	MC (L1)	—	—	
Skilled Nursing Facility	C (L1)	—	—	—	—	
Offices						
All Uses and Zones						17.61.050.J; CUP required for new construction over 25,000 s.f.
Accessory	P	P (L1)	P	P	P	
Administrative Business Professional	P	P (L1)	P	P	P	
Government	P	P (L1)	P	P	P	
Laboratories	P (L1)	P (L1)	P (L1)	P	P	
Medical and Dental	P	P	P	P	—	
Walk-In Clientele	P	P	P	P	—	
Research and Development - Offices	P (L1)	P (L1)	P	P	P	
Personal Services						
All Uses and Zones						17.61.050.J; CUP required for new construction over 25,000 s.f.
Personal Improvement Services	P	P	P	—	P	
Personal Services	P	P	P	—	P	
Massage Establishments	C	C (L1)	C (L1)	—	—	17.50.155
Tattoo and Body Modification	—	P	P	P	—	

DRAFT

DRAFT

Land Use

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS						
LAND USE (1)						Additional Relevant Standards from Zoning Code / Notes
	Mixed-Use Medium 1	Mixed-Use Medium 2	Commercial Limited	R&D Commercial Flex	R&D Industrial Flex	
	MU-1	MU-2	CL	RDCF	RDIF	
Printing and Publishing						
General	—	—	—	P	P	17.61.050.J; CUP required for new construction over 25,000s.f.
Limited	P (LI)	P (LI)	P (LI)	P	P	17.61.050.J; CUP required for new construction over 25,000s.f.
General Services						
Business Services	P	P	P	P	P	
Catering Services / Shared Kitchens	P (LI)	P (LI)	P	P	—	
Charitable Institutions	P	P	P	P	—	
Commercial Growing Areas	—	—	—	C	C	
Maintenance or Repair Services	—	—	—	P	P	17.61.050.J; CUP required for new construction over 25,000s.f.
Public Safety Facilities	C	C	C	C	C	
Transient Lodging						
Bed and breakfast inns	—	—	C	—	—	17.50.140
Hotels, motels	—	C	C	—	—	17.50.150
Retail Sales						
Big Box Retail	—	—	—	—	C	
Building Materials, and Supplies Sales	—	—	P	C	C	
Firearm Sales	—	—	—	C	C	
General Retail	P	P	P	P	—	
Significant Tobacco Retailers	C	C	C	—	—	17.50.330; 17.61.050.J; CUP required for new construction over 25,000s.f.

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS						
LAND USE (1)						Additional Relevant Standards from Zoning Code / Notes
	Mixed-Use Medium 1	Mixed-Use Medium 2	Commercial Limited	R&D Commercial Flex	R&D Industrial Flex	
	MU-1	MU-2	CL	RDCF	RDIF	
INDUSTRY, MANUFACTURING, AND PROCESSING USES Limitations to uses and conditions on the ground floor are subject to Map 4.1-2 location regulations.						
Industrial Services						
Construction and Material Yard	—	—	—	—	P	
Custom Manufacturing / Artisan Production	P	P	P	P	P	
Industry, General	—	—	—	—	P	
Industry, Limited	—	—	MC	P	P	
Maintenance and Service Facilities	—	—	—	P	P	
Research and Development - Laboratories	P (L1)	P (L1)	P	P	P	17.50.240
Wholesaling						
Wholesaling, Commercial	—	—	—	P	P	
Distribution and Storage	—	—	—	—	P	
Distribution and Storage, Small Scale	—	—	—	P	P	
Communications facilities (2, 3)						
Accessory Antenna Arrays	A	A	A	A	A	
Antennas and Transmission Towers	C	C	C	C	C	
Equipment Within Buildings	C	C	C	C	C	
Wireless Telecommunications Facilities - Minor	MC	MC	MC	MC	MC	17.50.310
Wireless Telecommunications Facilities - Major	C	C	C	C	C	17.50.310
Wireless Telecommunications Facilities - SCL	P	P	P	P	P	17.50.310

DRAFT

DRAFT

Land Use

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS						
LAND USE (1)	Mixed-Use Medium 1	Mixed-Use Medium 2	Commercial Limited	R&D Commercial Flex	R&D Industrial Flex	Additional Relevant Standards from Zoning Code / Notes
	MU-1	MU-2	CL	RDCF	RDIF	
	Transportation					
Commercial Off-Street Parking	A	A	A	A	A	17.40.070
Heliports	—	—	—	—	C	
Mobility Hub	P	P	P	P	P	
Transit Stations or Terminals	C	C	—	—	—	
Transportation Dispatch Facilities	—	—	—	MC	MC	
Truck and Freight Terminals	—	—	—	—	MC	A minor conditional use permit is required to establish a new use; an existing use is a permitted (P) use.
Utilities						
Major	C	C	C	C	C	
Minor	P	P	P	P	P	
TEMPORARY USES						
Filming, long-term	MC	MC	MC	MC	MC	
Filming, short-term	P	P	P	P	P	
Street fairs	P	P	P	P	P	
Tents	TUP	TUP	TUP	TUP	TUP	17.50.320
Personal Property Sales	P	P	—	—	—	Permit required: 17.50.190
Seasonal Merchandise Sales	P	P	P	P	—	17.50.180; 17.61.050.J; CUP required for new construction over 25,000s.f.
Swap Meets	TUP	TUP	TUP	TUP	TUP	17.61.050.J; CUP required for new construction over 25,000s.f.
Other Temporary Uses	TUP	TUP	TUP	TUP	TUP	

TABLE 4.2-1 NOTES:

(1) See Section 17.80.020 for definitions of the listed land uses.

TABLE 4.2-1 SPECIFIC LIMITATIONS:

(L1) Use listed is limited to upper floors and subterranean levels, or allowed on the ground floor behind the first 35 feet from the minimum sidewalk line.

Ch. 5 Public Realm Standards & Design Guidelines

Public Realm Standards & Design Guidelines	19
5.1 Sidewalks	20
5.2 Parkway and Street Trees	27



PUBLIC REALM STANDARDS & DESIGN GUIDELINES

IMPORTANCE

The public realm standards and design guidelines in this chapter serve to implement the General Plan vision for Lamanda Park Specific Plan Area and achieve objectives of the Pasadena Street Design Guide and Pasadena Master Street Tree Plan. To improve the public realm for users of all abilities, and to provide enough space for simultaneous uses of the sidewalk, these standards and guidelines ensure that new developments contribute to the safety, accessibility, and connectivity of their surrounding streetscape network. Many features that are critical to ‘walkability’ depend on the width and organization of the sidewalk, and the frequency of connections between amenities and nodes of activity. For example, consistent street trees provide shade and other aesthetic and environmental benefits, and sidewalk seating for restaurants and cafés activate the public realm and boost business. However, the success of both relies on the sidewalk offering ample and well-organized space to prevent conflicts with pedestrians. Walkable neighborhoods also have convenient and intuitive connections, which can reduce walking distance while adding additional amenities for pedestrians.

CHAPTER OVERVIEW

The public realm standards and guidelines in this chapter address and regulate pedestrian infrastructure and amenities to support a safe, accessible, and comfortable pedestrian experience. The standards and guidelines are presented in the following pages as follows:

- » **5.1 Sidewalks.** Addresses minimum sidewalk widths and sidewalk zones.
- » **5.2 Parkway and Street Trees.** Addresses parkway dimensions, amenities, and materials. Addresses street tree placement and preferred species.

Each section includes rationale for the standard followed by sub-sections for individual standards, if applicable. Each standard is introduced in text, table, and/or map format. Diagrams are included for the purpose of communicating measurements, while images are included to illustrate potential outcomes of the standards; neither are suggestive of regulated architectural styles. Supplementary text boxes are provided for additional context on most standards and diagrams.



5.1 SIDEWALKS

The following sidewalk standards are intended to:

- » Ensure a minimum sidewalk width is achieved, appropriate to support future development densities, intensities, uses, and pedestrian volumes;
- » Provide sufficient sidewalk width to support dedicated amenity zones, walk zones and frontage zones; and
- » Increase shade and stormwater capture through increased street trees and parkways.

The following standards are covered in detail in this section:

- » 5.1.1 Sidewalk Zones
- » 5.1.2 Minimum Sidewalk Width

IMPORTANCE OF SIDEWALKS

Sidewalks play an important and multi-faceted role in the built environment, serving as spaces for pedestrian travel, entryways, sidewalk dining, street trees and landscaping, as well as a variety of amenities, such as benches, bus shelters, bicycle racks and trash receptacles. Sidewalk width standards correlate to the level of activity and surrounding densities, intensities, and uses. Ensuring sufficient widths and establishing distinct zones help to ensure that the sidewalk environment can support all functional activities.



Sidewalks with sufficient width can support pedestrian travel as well as space for various amenities, including landscaped parkways and street trees

DRAFT

5.1.1 SIDEWALK ZONES

PASADENA STREET DESIGN GUIDE

Pasadena's Street Design Guide provides a framework for understanding the way sidewalks are used, and organizes sidewalks into zones to avoid conflict between various uses and amenities. Requirements vary based on the level of activity, land uses, intensities, and densities, as well as special conditions. Through designating specific zones, the Lamanda Park Specific Plan can help enhance the pedestrian experience by increasing sidewalk widths, enabling more shade coverage and opportunities for amenities such as sidewalk seating and landscaping.

The Pasadena Street Design Guide organizes sidewalks into the following three sidewalk zones, which provide a basis for standards in the Specific Plan:

- » **Amenity / Curb Zone.** The Amenity / Curb Zone is the portion of the sidewalk directly adjacent to the street right-of-way. This zone typically includes street trees, street lights, parkways, street furniture, and bus shelters.
- » **Walk Zone.** The Walk Zone is the portion of the sidewalk dedicated to pedestrian travel and should be free of obstruction.
- » **Building Frontage Zone.** The Building Frontage Zone is adjacent to private property and allows for door openings from buildings, bicycle parking, and sidewalk seating.

Figure 5.1-1: Sidewalk Zones



DRAFT

SIDEWALK ZONE EXAMPLE IMAGES

The images below reflect examples of appropriate conditions for the three sidewalk zones. These examples are illustrative and may not reflect all applicable development standards.

BUILDING FRONTAGE ZONE



Frontage zones may be used to accommodate outdoor dining



Frontage zones may include planters or in-ground landscaping to enhance the ground floor

WALK ZONE



Walk zones of 5 feet allow two people to walk together comfortably



Wider walk zones of at least 6 feet are appropriate for commercial retail areas

AMENITY/CURB ZONE



Amenity zones may include tree wells and bicycle parking



Amenity zones may include landscaping and permeable paving techniques

DRAFT

DRAFT

5.1.2 MINIMUM SIDEWALK WIDTH

Consistent with the Pasadena Street Design Guide, sidewalks shall be organized into three sidewalk zones subject to the following standards.

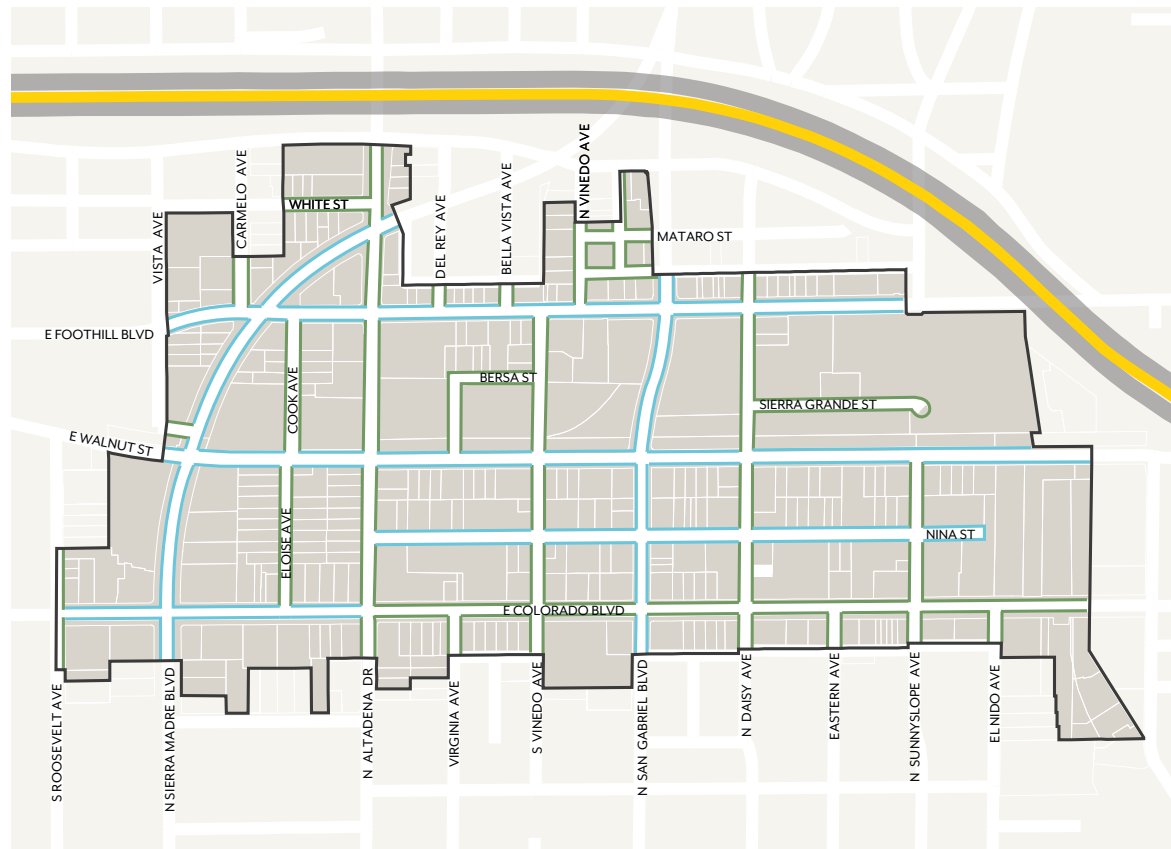
- A. **Sidewalk Width.** Projects shall provide sidewalks that meet the minimum sidewalk width requirements per Map 5.1-1, as measured from the primary curb line, as illustrated in Figure 5.1-2.
 - 1. Where the existing sidewalk right-of-way is less, the Project shall accommodate the additional width required to meet the minimum sidewalk width with private property through an easement or dedication.
 - 2. This area shall be paved for use by the general public to the standards specified by Public Works, except for landscaped parkways per Section 5.2.1.
 - 3. Within the sidewalk width, sidewalk zones shall be provided to the dimensions set in Table 5.1-1.
 - 4. Improvements and minimum parkway requirements shall be installed and maintained by the property owner.
- B. **Amenity Zone.** The Amenity Zone is the portion of the sidewalk directly adjacent to the street right-of-way. Sidewalks shall maintain a minimum furnishing and landscaping area at the width indicated in Table 5.1-1 and illustrated in Figures 5.1-3 and 5.1-4. See Minimum Parkway Requirements, Section 5.2.1.
 - 1. Parkway and street trees shall be provided to meet the minimum requirements set in Section 5.2.1.
 - 2. The Amenity Zone may be used for the following; only parkway and street trees are subject to a minimum requirement. Provision of pedestrian and mobility supporting features is encouraged.
 - a. parkways/street trees,
 - b. stormwater management features,
 - c. seating/street furniture,
 - d. parking meters,
 - e. bicycle parking subject to DOT approval,
 - f. bus shelters,
 - g. designated pick up/drop off areas,
 - h. driveway curb cuts,
 - i. or similar pedestrian or mobility serving features as determined by the Public Works Director.

- C. **Walk Zone.** The Walk Zone is the portion of the sidewalk dedicated to pedestrian travel and should be free of obstruction; it is separated from the street right-of-way by the Amenity Zone. Sidewalks shall maintain a minimum continuous path of travel for pedestrians at the width indicated in Table 5.1-1 and illustrated in Figures 5.1-3 and 5.1-4.
 - 1. This area shall be free of all furnishings, landscaping, or obstructions, and compliant with ADA standards.
- D. **Frontage Zone.** The Frontage Zone is adjacent to private property, allowing for door openings from buildings, outdoor restaurant/café seating, bicycle parking, and sidewalk seating. The Frontage Zone is optional and can be accommodated by private property within the front setback to provide improve public realm functionality. Where no Frontage Zone is provided the minimum required Walk Zone shall be maintained free from obstruction. Sidewalks may include a building frontage zone between the Walk Zone and the minimum sidewalk line. The minimum required width is indicated in Table 5.1-1.
 - 1. The Frontage Zone may only be used for:
 - a. pedestrian travel,
 - b. seating/street furniture,
 - c. outdoor dining (with a public sidewalk occupancy permit),
 - d. landscape planters (to accentuate building entrances only),
 - e. bicycle parking, and/or
 - f. shade structures,
 - g. or similar pedestrian serving features subject to Review Authority approval.

Table 5.1-1: Minimum Sidewalk Zone Widths by Street

	Amenity (min.)	Walk (min.)	Frontage (min.)	Total (min.)
E. Colorado (west of Altadena)	6'	6'	0'	12'
E. Colorado (east of Altadena)	5'	5'	0'	10'
Sierra Madre	6'	6'	0'	12'
Walnut / E. Foothill / San Gabriel	6'	6'	0'	12'
Nina	6'	6'	0'	12'
Other streets	5'	5'	0'	10'

Map 5.1-1: Minimum Sidewalk Widths



Minimum Sidewalk Dimensions¹

10 ft.

12 ft.

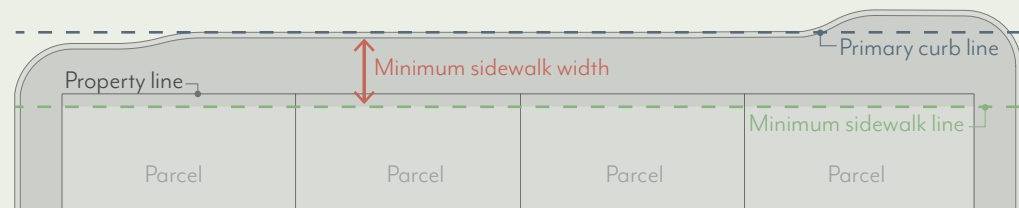
¹ Minimum parkway requirements as set in Section 5.2.1 are required of all sidewalks.

DRAFT

Figure 5.1-2: Minimum Sidewalk Width Measurement

The minimum sidewalk line is the line created by measuring the minimum sidewalk width (as shown in Figure 5.1-2) from the Primary Curb Line. The Primary Curb Line is the predominant back of curb line of a given block, and shall not include “bulb outs” or reductions in sidewalk width at intersections.

As illustrated here, some parcels may not currently provide sufficient width to meet the minimum sidewalk requirement. In these cases, the property owner must provide additional paved area through an easement. FAR shall be calculated based on full parcel area, not the reduced area if required to meet sidewalk width minimum.



MINIMUM SIDEWALK WIDTH | CROSS-SECTIONS

Figure 5.1-3: 12' Sidewalk

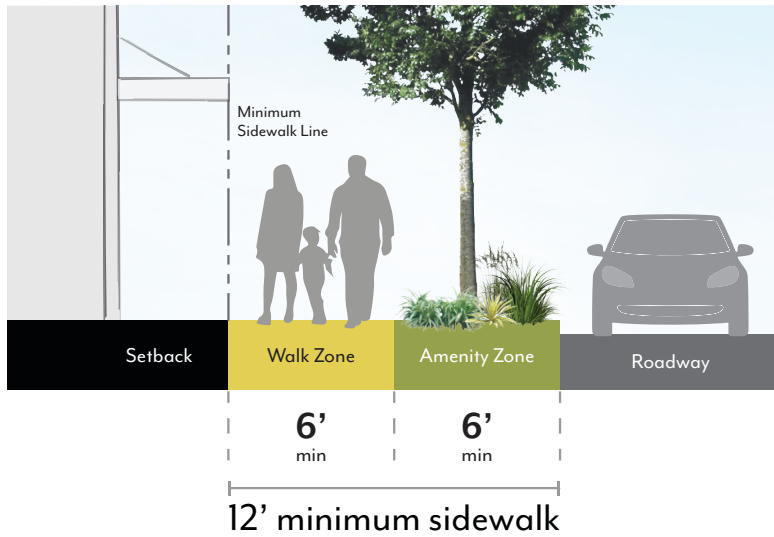
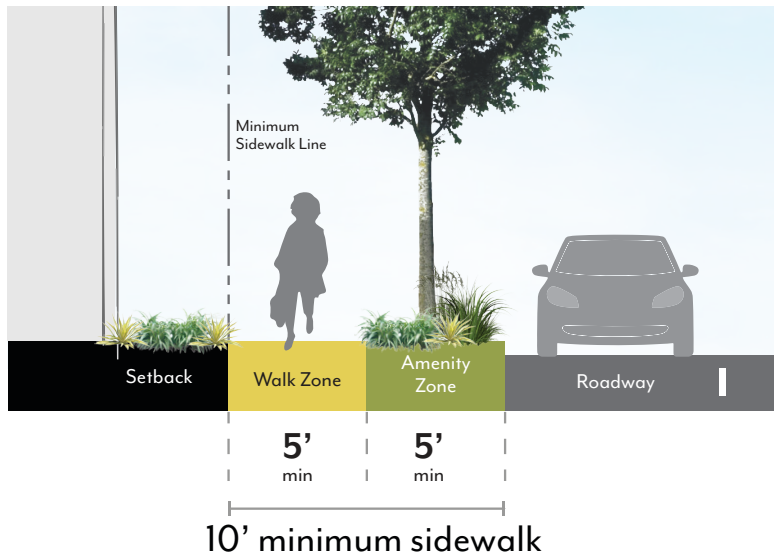


Figure 5.1-4: 10' Sidewalk



DRAFT

SIDEWALK WIDTH EXAMPLE IMAGES

Sidewalk widths of at least 10' are required throughout the Specific Plan Area to provide space for a clear walk zone and basic amenities such as landscaping, lighting, signage, and bicycle parking. Sidewalks of 12' are required where feasible to increase flexibility of amenity placement and clear paths of travel.



Example of approximately 12 foot sidewalk



Example of approximately 12 foot sidewalk



Example of approximately 10 foot sidewalk



Example of approximately 10 foot sidewalk

5.2 PARKWAY AND STREET TREES

The following Parkway standards and guidelines are intended to:

- » Enhance pedestrian conditions through increased landscaping at sidewalk level
- » Provide a visual buffer between parking lane and sidewalk
- » Improve stormwater capture and increase permeability of sidewalk zone
- » Improve street tree health

The following standards and guidelines are covered in detail in this section:

- » 5.2.1 Parkways
- » 5.2.2 Street Trees (section under development)



IMPORTANCE OF PARKWAYS

Parkways are landscaped or permeable areas within the sidewalk that play an important role in today's urban landscape by improving pedestrian comfort, increasing sustainability, and enhancing the aesthetic character of the public realm. Parkway are encouraged in the Pasadena Street Design guide, and are suitable for implementing several green infrastructure strategies included in the City's Green Streets policy. By expanding the permeable area around street trees, parkways increase rain and stormwater capture, leading to improved street tree health and larger tree canopies, which creates cooler temperatures for pedestrians and reduces pollution in our nearby waterways. Parkway also provide a visual buffer between the pedestrian and moving or parked vehicles, which further improves pedestrian comfort and creates a more attractive sidewalk environment. Typically residential neighborhoods can accommodate long, uninterrupted areas of parkways within the sidewalk. In commercial and mixed use areas, available space for parkways may be constrained by bus shelters, street lights, and the need to accommodate higher levels of pedestrian traffic; however, significant parkway opportunities still exist on these corridors.

IMPORTANCE OF STREET TREES

Street trees play an important role in keeping cities livable, sustainable and resilient. Trees improve air quality, increase urban biodiversity, and help reduce carbon emissions. In addition to environmental benefits, trees provide health, social, economic, and aesthetic benefits to communities. Requirements based on guidance from the City's Master Street Tree Plan will increase street tree coverage and require the preservation or introduction of certain tree species. In adherence with these street tree standards and guidelines, new development will contribute to an enhanced shade canopy that helps to reduce the urban heat island effect, decrease sidewalk temperatures, enhance pedestrian comfort, and improve the visual experience of the street.

DRAFT

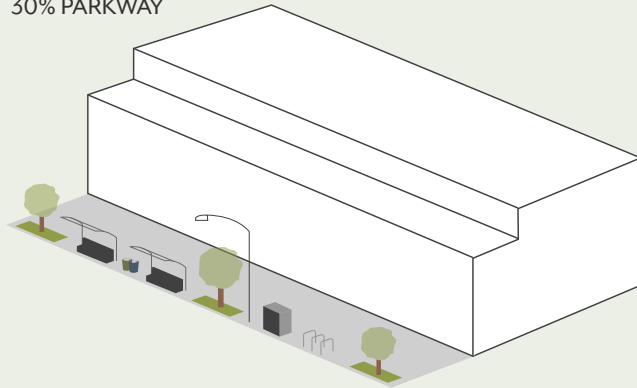
5.2.1 PARKWAYS

- A. **Minimum parkways.** Projects shall provide parkways for at least 30% of the parcel frontage. Parkway are measured as a percentage of parcel frontage, as illustrated in Figure 5.2-1.
1. Parkway shall be permeable. At least 50% of the parkway area shall be comprised of planting, including street trees, shrubs, and groundcover.
 2. No more than 50% may be comprised of cover materials such as rock, decomposed granite or permeable pavers. Mulch or porous concrete is not permitted.
 3. Reduction in the required parkway as a percent of parcel frontage may be allowed subject to presence of other permanent features such as bus shelters; reduction shall be subject to Review Authority approval.

- B. Parkway shall be designed to capture and retain or treat runoff from the sidewalk. The center 2 inches of the parkway shall be depressed 3-4 inches to form a shallow swale that collects stormwater. Alternative means of storing runoff may be approved by Public Works.

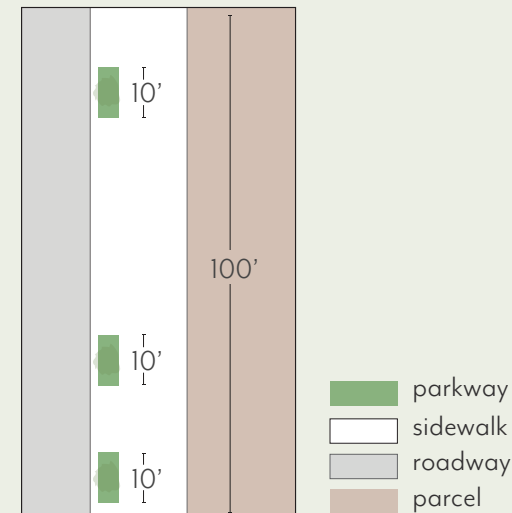
Figure 5.2-1: Minimum Parkway

30% PARKWAY



30% minimum parkway requirement provides room for landscaping and street trees while allowing for other amenities or utilities that may be found in a commercial or mixed-use environment, including seating, waste receptacles, bicycle parking, bus shelters, and driveways.

EXAMPLE OF 30% PARKWAY MEASUREMENT



PARKWAY EXAMPLE IMAGES

The images below reflect examples of appropriate conditions for parkways. These examples are illustrative and may not reflect all applicable development standards.



Commercial or mixed-use parkway



Commercial or mixed-use parkway



Commercial or mixed-use parkway



Residential Parkway



Residential Parkway



Residential Parkway

DRAFT

Ch. 6 Development & Design Standards

Development & Design Standards	31
6.1 Scale	32
6.2 Massing	37
6.3 Ground Floor	50
6.4 Open space	55
6.5 Access & Parking	59

DRAFT



DEVELOPMENT & DESIGN STANDARDS

IMPORTANCE

The development and design standards in this chapter serve to implement the General Plan vision for Lamanda Park Specific Plan Area:

“Provide for the evolution of the Lamanda Park area, as an incubator of light industrial, research and development, and creative industries creating new job opportunities and supporting a vibrant economy.”

Development and design standards can both regulate and stimulate development to achieve this vision. The standards identified for the Lamanda Park Specific Plan facilitate a range of light industrial and commercial R&D office uses, and aim to strengthen economic vitality by supporting existing businesses and infill commercial development, and by providing opportunities for new housing along Colorado Boulevard. While the standards in this chapter are focused on achieving a forward-thinking vision, they also serve to guide development with contextual sensitivity to historic landmarks and neighboring residential communities.



CHAPTER OVERVIEW

The development and design standards in this chapter address and regulate new development, working together to facilitate high-quality, context-sensitive buildings which support a Lamanda Park’s business community, encourage creative industries and office spaces, and provide opportunities for mixed-use development with housing along Colorado Boulevard, while preserving the corridor’s historic resources and Route 66 character. The following standards are presented in this chapter:

- » **6.1 Scale.** Addresses residential density, commercial intensity, and building heights.
- » **6.2 Massing.** Covers a series of development and design standards which work together to shape development.
- » **6.3 Ground Floor.** Focuses on the street level of developments.
- » **6.4 Open Space.** Introduces standards for private, common, and public use.
- » **6.5 Access & Parking.** Addresses vehicle access and parking standards, as well as standards which address parking garages.

Each section includes rationale for the standard followed by sub-sections for individual standards, if applicable. Within each standard, introductory text is provided for additional context, followed by standards in text and/or table format with diagrams and images to illustrate regulations. Note that diagrams and images are provided to communicate measurement and intent of the standards; neither are intended to suggest the use of particular architectural styles.

DRAFT

6.1 SCALE

The General Plan Land Use Element designates a range of intensities and densities in the Lamanda Park Specific Plan Area to support economic vitality through commercial, R&D, and mixed-use development while preserving and complementing the area's existing scale.

The standards in this section are intended to:

- » Implement the General Plan densities (du/ac) and floor area ratios (FAR)
- » Support mid-scale development in key areas to allow a broader range of uses, while maintaining lower-scale commercial character along Foothill Boulevard.
- » Provide scale to accommodate the clustering of pedestrian-oriented retail, office, and multi-family housing uses to reduce driving, contributing to reductions in vehicle trips, energy consumption, and GHG emissions.

The following standards are covered in detail in this section:

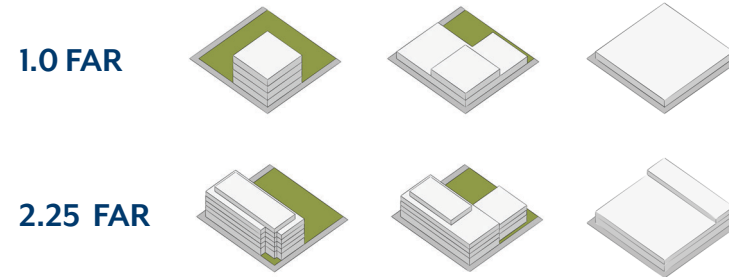
- » 6.1.1 Density and Intensity
- » 6.1.2 Height



Example of 3-story residential townhome of approximately 32 dwelling units/acre

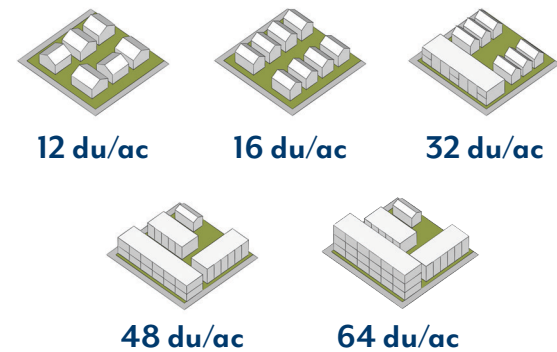
FLOOR AREA RATIO (FAR)

FAR is the calculation used for measuring non-residential or mixed-use development intensity, describing the total permitted floor area in relation to the total area of the development site. The diagrams below demonstrate how each FAR value can apply to a variety of building forms.



DWELLING UNITS PER ACRE (DU/AC)

Dwelling Units per Acre (du/ac) is the calculation used for measuring residential density, describing the number of residential housing units permitted in relation to 1 acre of land. The diagrams below reflect how various densities take shape on a 0.5 acre plot of land.



6.1.1 DENSITY AND INTENSITY

- A. Maximum density and intensity are based on gross parcel size; a reduction in buildable area due to dedications/easements or setbacks shall not reduce allowable maximums.
 1. **Dwelling Units per Acre.** Projects that include any dwelling units, including mixed-use, shall not exceed the allowable dwelling units per acre (du/ac) set in Table 6.1-1 and Map 6.1-2.
 2. **Unit mix.** For Projects with 50 dwelling units or more, a minimum of 20% of the total number of units allowed consistent with Table 6.1-1 maximum density shall have three bedrooms or more.
 3. **Floor Area Ratio.** Projects that include any non-residential space, including mixed-use, shall not exceed the allowable floor area ratio (FAR) set in Table 6.1-1 and Map 6.1-1.

1. Multiple buildings with an above-grade connection shall be treated as one building with a combined proposed footprint area. Buildings connected only through subterranean parking shall be considered separate when calculating proposed footprint area; (partially above ground or partially subterranean shall not qualify as subterranean for this purpose)
2. This allowance is not applicable to other development standards relating to building scale and massing, such as stepbacks.
3. This allowance may not be used with the height concession set in PMC17.43.055.
4. Other exceptions, including for appurtenances and railings, allowed per PMC17.40.060.

6.1.2 HEIGHT

- A. **Building Height.** Projects shall comply with the allowable height limits set in Table 6.1-1 and Map 6.1-3.
 1. Height is measured from the existing grade of the site to an imaginary plane located above but parallel to the existing grade.
 2. Exceptions allowed for projecting features such as appurtenances and railings per PMC17.40.060.
 - a. Existing buildings that exceed the maximum height shall be considered conforming for the purposes of expanding or remodeling. All new construction shall be required to comply with the maximum building height of the applicable zone consistent with the current code; see PMC 17.71 Nonconforming Uses, Structures, and lots.
- B. **Varied Roof Lines.** The maximum allowable height of each building measured to the top of a projection may exceed the maximum building height by up to 12 feet for no more than 30% of the proposed footprint of that respective building.

SCALED DEVELOPMENT & HOUSING NEEDS

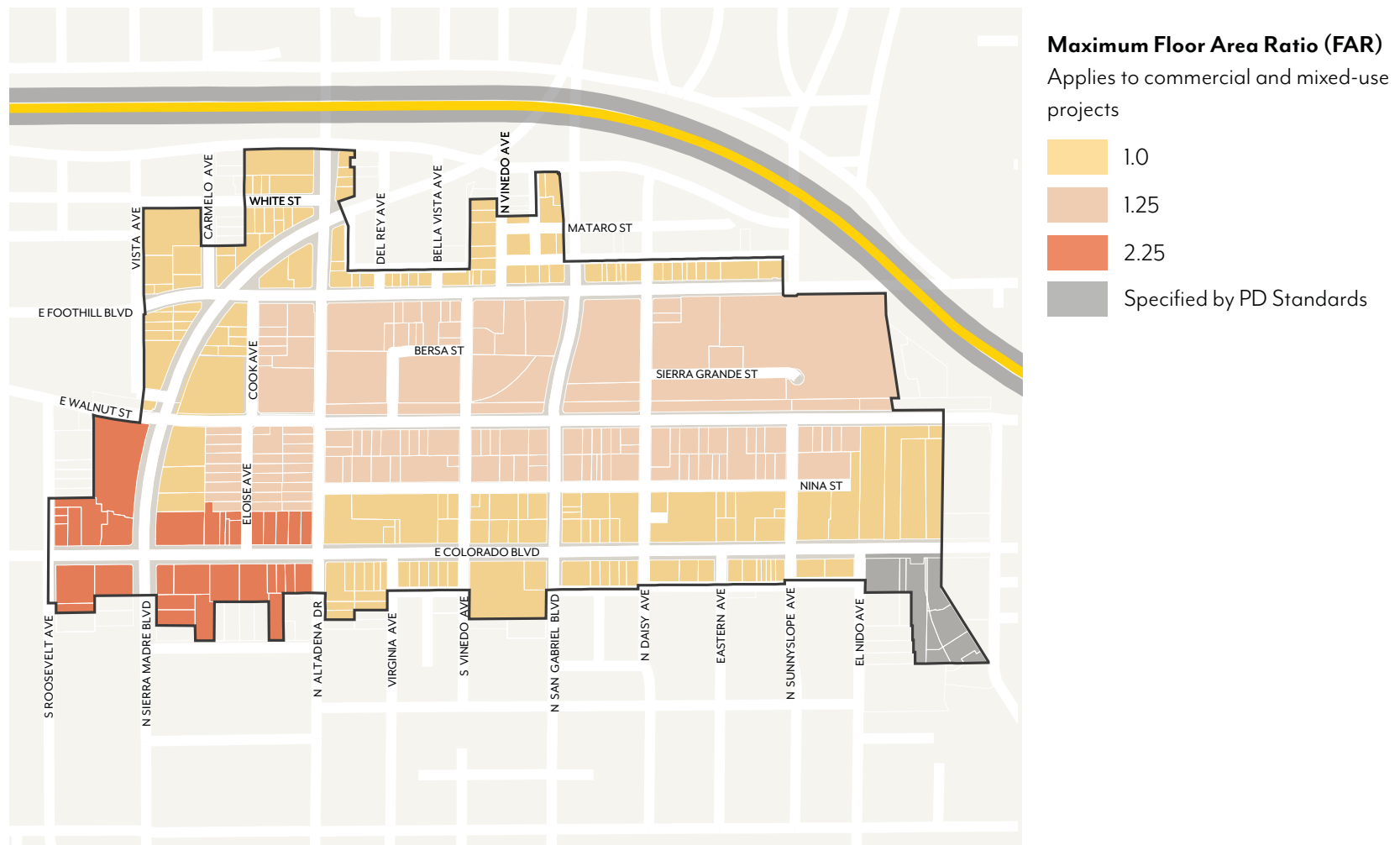
Density, FAR, and height maximums aim to concentrate higher-scale development and housing in the MU-2 zone surrounding the intersection of Colorado Boulevard and Sierra Madre Boulevard, and larger industrial uses in the RDIF zone between Foothill Boulevard and Walnut Street. Lower maximums in other zones help to maintain eclectic commercial and light industrial environments while allowing for infill development up to three stories in height.

Table 6.1-1: Density/Intensity by Zoning

“—” = Not Applicable

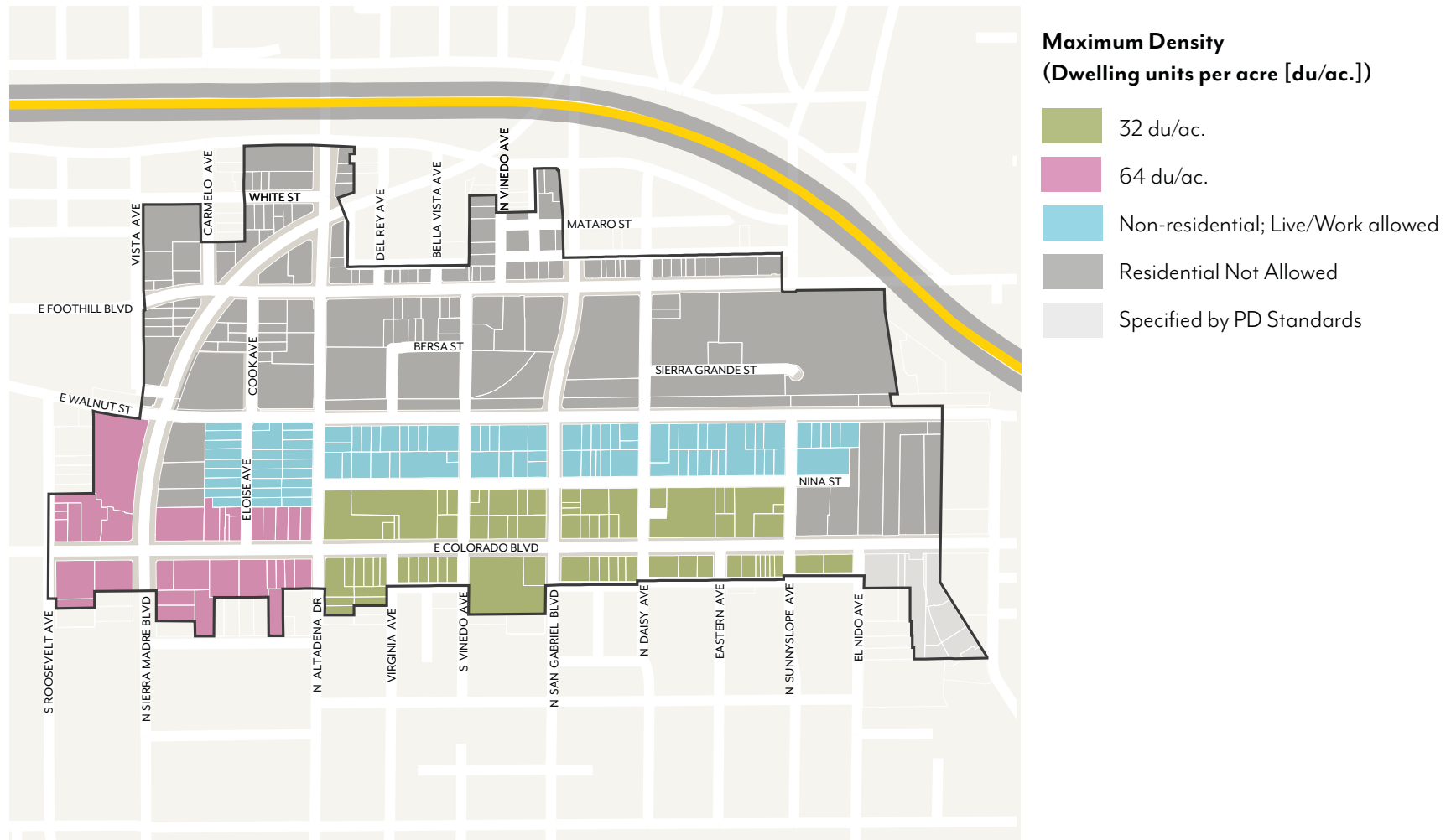
	CL	RDCF	RDIF	MU-1	MU-2
Maximum du/ac	—	—	—	32	60
Maximum FAR	1.0	1.25	1.25	1.0	2.25
Maximum Height	36'	35'	45'	39'	51'

Map 6.1-1: Maximum Floor Area Ratio (FAR)



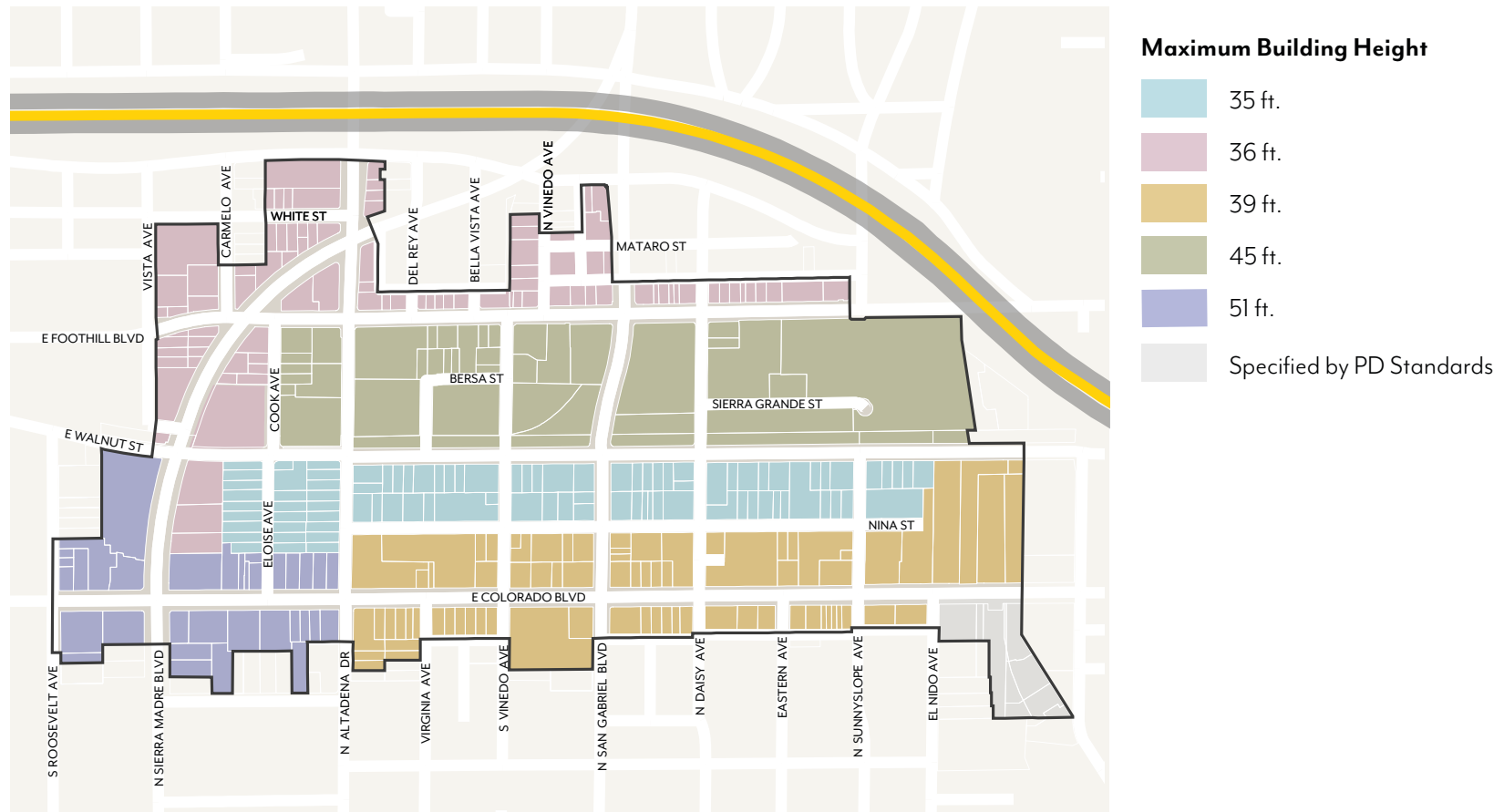
DRAFT

Map 6.1-2: Maximum Density (du/ac)



DRAFT

Map 6.1-3: Maximum Building Height

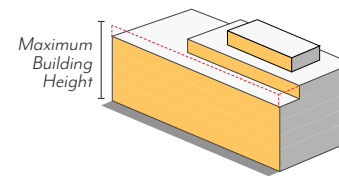


DRAFT

BUILDING HEIGHTS

The building height standards of this plan are based on the type of development anticipated for each area. For example, the 39-foot height maximum reflects an appropriate building height to achieve 2 stories of employment or residential use over ground floor commercial use, and the 51-foot height maximum reflects 3 stories of employment or residential over ground floor commercial.

Figure 6.1-1: Maximum Height



Height is measured from the existing grade of the site to an imaginary plane located above but parallel to the grade. Diagram reflects a varied roof line condition, including additional height for up to 30% of building footprint.

Note: Diagram used for measurement illustration purposes only.

6.2 MASSING

The standards in this section are intended to:

- » Shape development in a manner that creates a defined public realm and appropriate scale of buildings for a visually appealing community.
- » Reduce building massing adjacent RS zones through setback and stepback requirements that create appropriate transitions to residential neighborhoods.
- » Require appropriate transitions to registered historic structures and districts.
- » Support high-quality architecture and urban design with articulation and modulation requirements.

The following standards are covered in detail in this section:

- » 6.2.1 Street Setbacks
- » 6.2.2 Alley Setback
- » 6.2.3 Interior Setback
- » 6.2.4 Freeway Separation
- » 6.2.5 Upper Story Stepback
- » 6.2.6 Historic Adjacency
- » 6.2.7 Façades

SHAPE & DESIGN OF DEVELOPMENT

Building massing contributes to the overall shape and design of development. Through building setbacks, developments can allow for landscaping, seating and shade structures, as well as public plazas and open space. Between buildings, development can step back from the property line to help ensure context-sensitive massing transitions, including transitions to residential neighborhoods or historic properties. Streetwall height and façade modulation work together with the range of massing tools listed above to contribute to attractive and pedestrian-scaled buildings by balancing linear visual consistency with interest and variety.



6.2.1 STREET SETBACKS

- A. **Street Setback.** Projects shall comply with the setback ranges and minimums set in Table 6.2-1 and illustrated in Map 6.2-1. Setback ranges shall be met for at least the percent of street frontage in Table 6.2-1 and illustrated in Map 6.2-2. While the remaining percentage of street frontage may exceed the identified range; setbacks less than the minimum are prohibited.
1. Street setbacks are measured from the minimum sidewalk line.
 2. Openings such as arcades and recessed ground floors up to 15 feet in depth are permitted if structural elements (i.e. columns, upper stories) meet the specified setback ranges.
 3. Projects are required to meet Street Setback Frontage requirements consistent with Map 6.2-2, and Upper Story Stepback requirements consistent with Section 6.2.4.

4. Exceptions allowed per PMC17.40.160.
5. Parking and loading spaces or areas are prohibited in all required setbacks.

STREET SETBACKS

Street setbacks refer to the space between the public sidewalk and a building. Setback standards create a consistent streetwall and help achieve an appropriate level of interaction between the public realm and private properties. Setbacks can enhance the building frontage zone by providing room for landscaping and outdoor dining. Wider setbacks may also provide a buffer between the sidewalk and residential properties.

Table 6.2-1: Setbacks by Zoning District

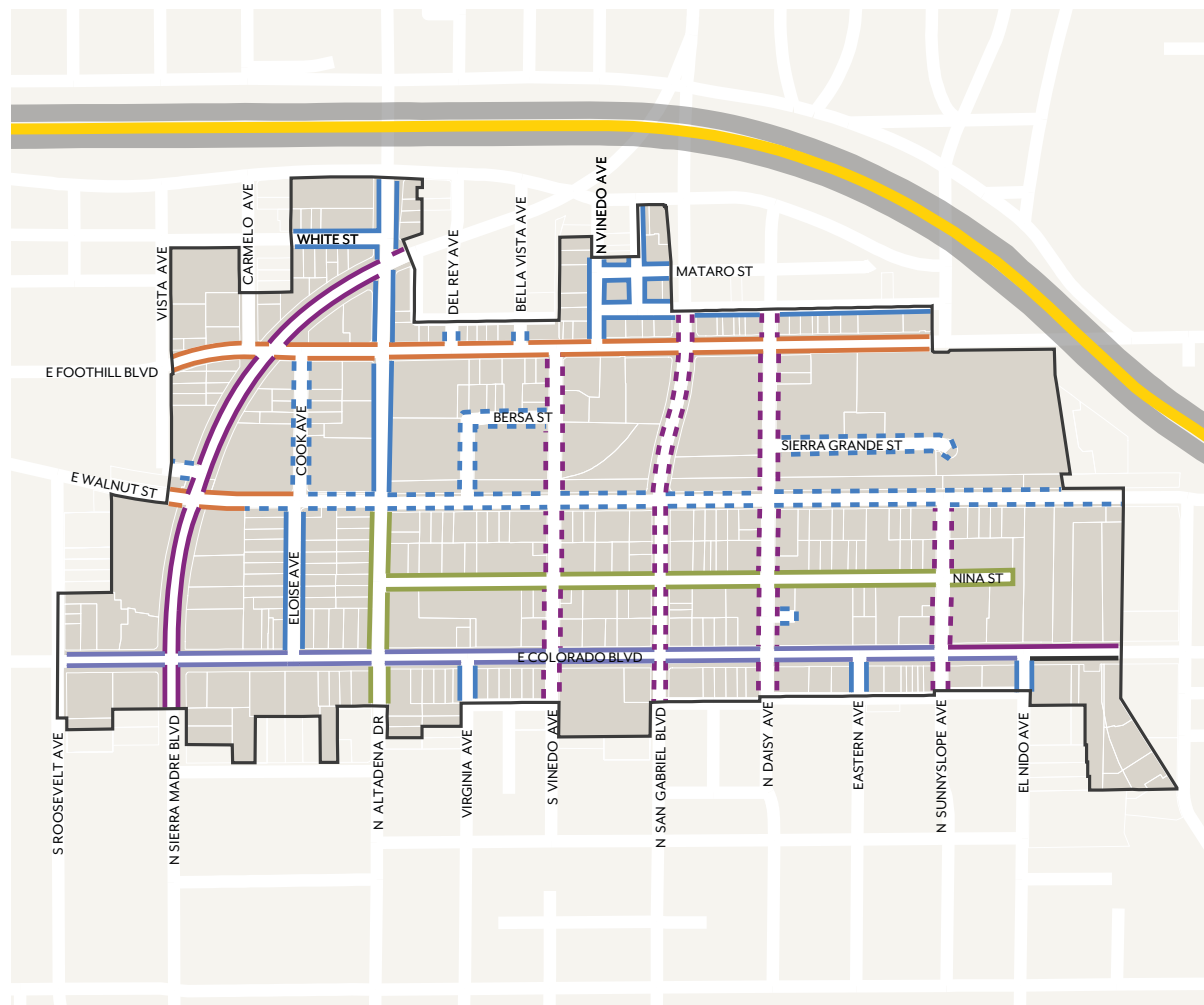
“—” = Not Applicable

Adjacent street or property line	CL	RDCF	RDIF	MU-1	MU-2
Street frontage	40%	30%	—	50%	60%
Foothill Blvd	5'-10'	—	5'-10'	—	—
Walnut St	5'-10'	None Required	None Required	—	—
Nina St / Altadena Dr	—	2'-5'	0'-5'	2'-5'	2'-5'
E. Colorado Blvd	3'-10'	—	—	2'-7'	2'-7'
Sierra Madre Ave	3'-10'	—	—	—	3'-10'
San Gabriel Blvd / Vinedo Ave / Daisy Ave / Sunnyslope Ave	3' min.	3' min.	3' min.	3' min.	—
Adjacent to existing single-family unit*	15' min.	—	—	—	10' min.
All Other Streets	None Required or 0'-5'; See Map 6.2-1				
Interior Property Line	None Required				

*Stepbacks to residential shall also apply; see Table 6.2-2 Stepback by Zoning District

DRAFT

Map 6.2-1: Street Setbacks



Street Setbacks

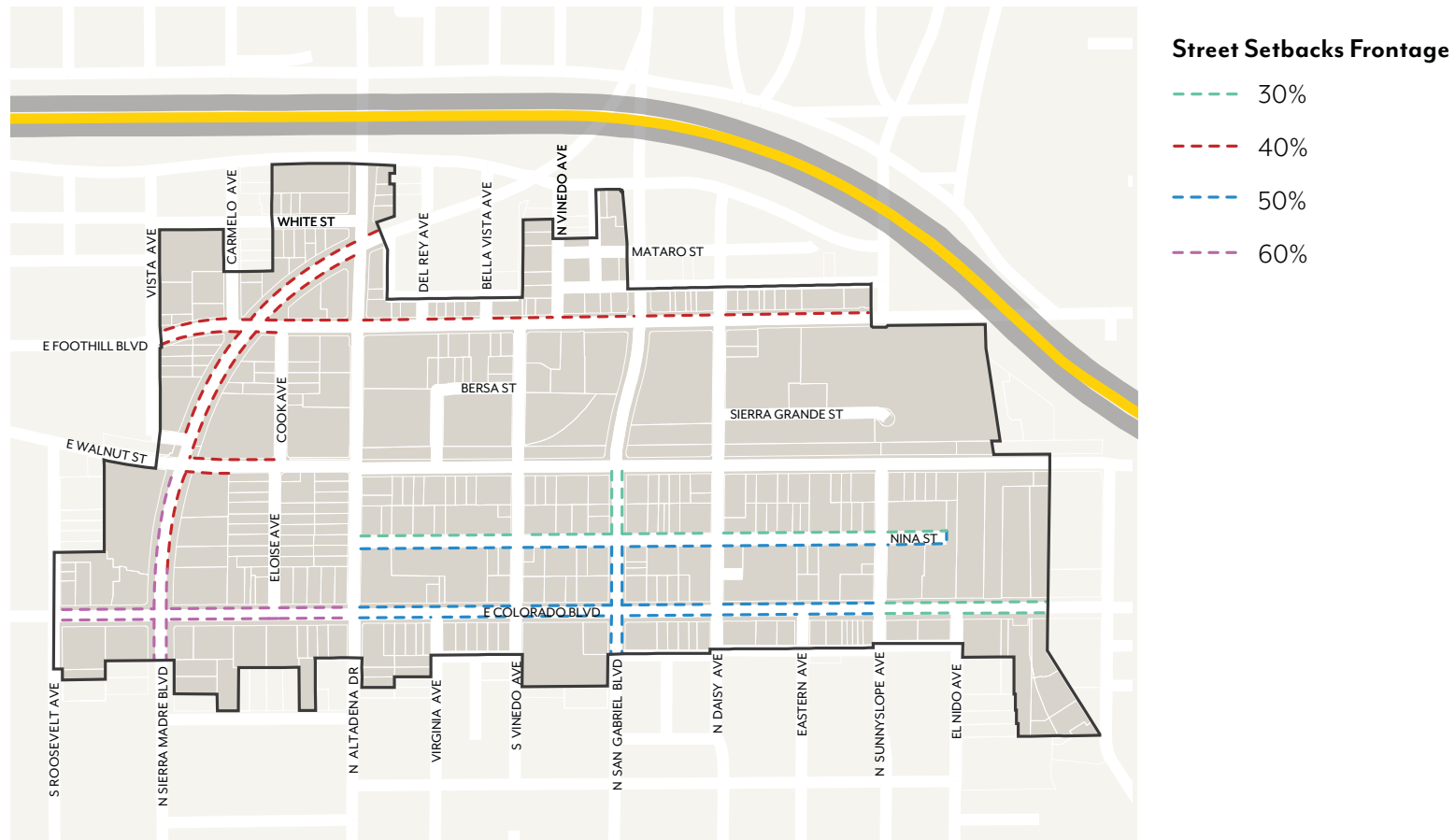
Minimum-Maximum setback range from minimum sidewalk line

- 0-5 ft.
- 2-5 ft.
- 2-7 ft.
- 3-10 ft.
- 5-10 ft.
- - - 0 ft. (None Required)
- - - 3 ft. minimum
- Specified by PD Standards

Note: Residential units on the ground floor shall have a minimum 5 ft. setback

DRAFT

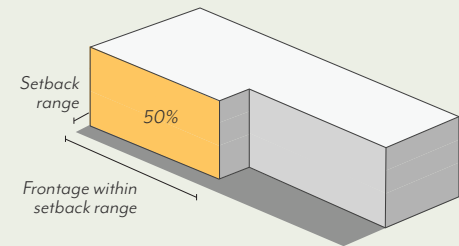
Map 6.2-2: Street Setbacks Frontage



DRAFT

Figure 6.2-1: Street Setback Frontage Measurement

Between 40-70% of primary frontage can be setback farther than the required range (setback range and frontage percentage requirement varies by zoning district and street: see Table 6.2-1 and Map 6.2-2).



6. Industrial systems (mechanical equipment, machinery, exhaust, processing, etc.) and equipment are prohibited in the street setback; see PMC 17.40.150.
7. **Fencing and Screening.** Fences, raised planters, screening and freestanding walls (fences) are permitted within the required street setback subject to the following conditions.
- a. **All Zones.**
 - i. Any decorative railing or grille work that is placed in front of or behind street-level windows shall be at least 75% open to perpendicular view. Exceptions allowed for guardrails, which may exceed the maximum height to the extent required by the Building Code. The guardrail shall be at least 50% transparent.
 - ii. Screening of all mechanical equipment shall be subject to PMC 17.40.150.
 - iii. Chain link fences are prohibited.
 - b. **Residential Units.** Fences are permitted within the required street setback in front of individual dwelling units, subject to PMC17.40.180.
 - c. **CL and MU Zones.**
 - i. Fences shall be located a minimum of 3 feet from the required minimum sidewalk line; landscaping shall be provided between the minimum sidewalk line and the feature.
 - ii. Maximum fence height shall not exceed 72 inches.
 - iii. Portions of fences greater than 42 inches in height shall be at least 50% transparent; portions 42 inches in height or lower are permitted to be solid walls.
 - d. **RDIF and RDCF Zones.** Fences enclosing permitted outdoor activities, storage, parking, or for security purposes within the street setback are permitted subject to the following conditions:
 - i. Fences and walls shall not be permitted between the building and minimum sidewalk line where the building is setback 5 feet or less; fence/wall shall return to the building where used to enclose parking or other non-building uses. Fences and walls shall be permitted between the building and minimum sidewalk line where the building is setback greater than 5 feet.
 - ii. Minimum setback of 18 inches is required for fences located within the required setback to provide landscaping between the fence and the minimum sidewalk line.
 - iii. Maximum fence height shall not exceed 96 inches.
 - iv. Portions of fences greater than 48 inches in height within the street setback shall be at least 50% transparent; portions 48 inches in height or lower are permitted to be solid walls.

8. Other features allowed within the street setback include:
- a. Landscaping/planters,
 - b. Hardscape (e.g. stoops, patios, pedestrian access),
 - c. Seating furniture,
 - d. Lighting features,
 - e. Shade structures, and
 - f. Other open space amenities per review authority approval.

6.2.2 ALLEY SETBACK

- A. Setbacks are not required along alleys.

6.2.3 INTERIOR SETBACK

- A. Setbacks are not required along interior property lines.
1. Interior setbacks adjacent to existing single-family residential units shall not project within the encroachment plane (17.40.160.D.3)
 2. Parking areas adjoining residential use lots shall be subject to screening requirements of PMC 17.46.210.
 3. Exceptions allowed per PMC17.40.160 (Table 4-1).
 4. Parking areas serving a nonresidential use. A parking area for five or more vehicles serving a nonresidential use shall be screened from an adjoining residential zoning district or a ground floor residential use by a solid concrete or masonry wall six feet in height.
 - a. Exception: The height of a wall adjoining a required front setback in a residential zoning district shall not exceed four feet.



Example of approximately 2-foot setback with landscaping



Example of approximately 5-foot setback with landscaping



Example of approximately 5-foot setback with landscaping



Example of approximately 7-foot setback with landscaping and bike parking

DRAFT

6.2.4 UPPER STORY STEPBACKS

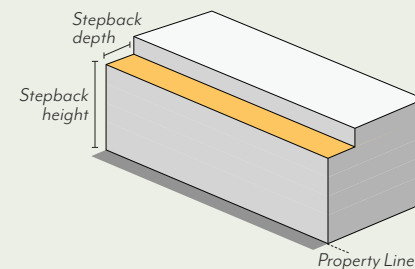
- A. **Upper Story Stepback.** Projects shall not exceed the height specified in Table 6.2-2 and Map 6.2-3 before stepping back the specified depth. Stepbacks are measured from the finished grade of the sidewalk; all portions of the building above the identified height shall be required to stepback the minimum depth identified.
1. Stepback height is established in Table 6.2-2 and shall be measured from the lowest elevation of the existing grade on the minimum sidewalk line. Stepback depth is measured from the minimum sidewalk line.
 2. Allowed uses within the Stepback include balconies, patios, trellises, green roofs, and other open space features per Review Authority approval

NEIGHBORHOOD TRANSITIONS

Stepbacks help ensure that building mass and height is distributed appropriately, creating transitions between the highest point of a building and neighboring structures. Interior stepbacks from adjacent residential properties create scale transitions between zones.



Figure 6.2-2: Minimum Stepbacks

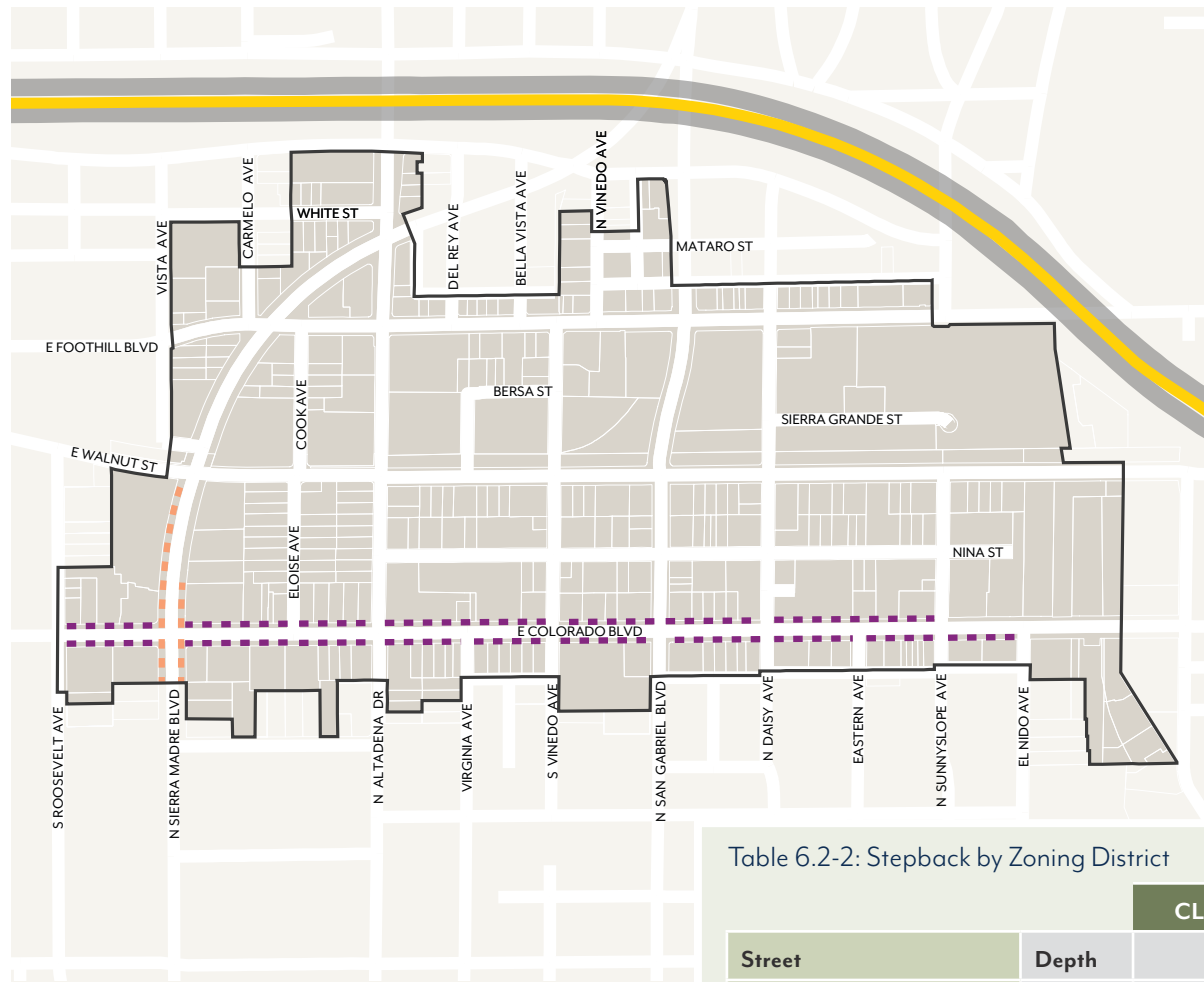


Projects shall step back the depth from the property line at the height set in Table 6.2-2.

Note: Diagram used for measurement illustration purposes only.

DRAFT

Map 6.2-3: Upper Story Stepbacks



Stepback Depth and Height

Measured from minimum sidewalk line

— 8 ft. (above 15')

— 15 ft. (above 36')

DRAFT

Table 6.2-2: Stepback by Zoning District

“—” = Not Applicable

Street	Depth	CL	RDCF	RDIF	MU-1	MU-2
		Height				
Colorado Blvd	8'	—	—	—	15' / 39'	15'
Sierra Madre Blvd	15'	—	—	—	—	36'
All Other Streets	—	None Required				
Interior adjacent to RM/RS	25'	24'	—	—	39'	39'
Other Interior	—	None Required				

6.2.5 HISTORIC RESOURCE ADJACENCY AND HISTORIC SIGNAGE

- A. **Landmark Properties.** Projects on parcels with a designated historic resource shall comply with the Secretary of the Interior’s Standards for Rehabilitation.
- B. **Transition Massing.** Projects sharing a property line with a designated historic resource are subject to the following standards.
 1. A **minimum street setback** shall be an average of the minimum setback in Table 6.2-1 and that of the resource for at least 20 feet from the shared property line.
 - a. If between two resources, the street setback shall be an average of the setbacks of the two resources.
 2. A **maximum streetwall height** shall be no higher than the height of the historic resource for at least 20 feet from the shared property line. A stepback at least 10 feet in depth is required above this height, measured from the modified minimum street setback.
 3. A **maximum stepback height** on the interior property line adjacent the resource shall not exceed an encroachment plane sloping upward and inward at a 30-degree angle measured from the vertical, commencing 20 feet above the existing grade at the property line.
 - a. This stepback is waived where the adjacent historic resource is built to the shared property line.

DRAFT

HONORING HISTORIC SIGNIFICANCE

In addition to preserving historic landmarks throughout the district, modified standards for adjacent properties ensure that historic structures do not appear diminished or incongruous with new developments that take form in the surrounding area.

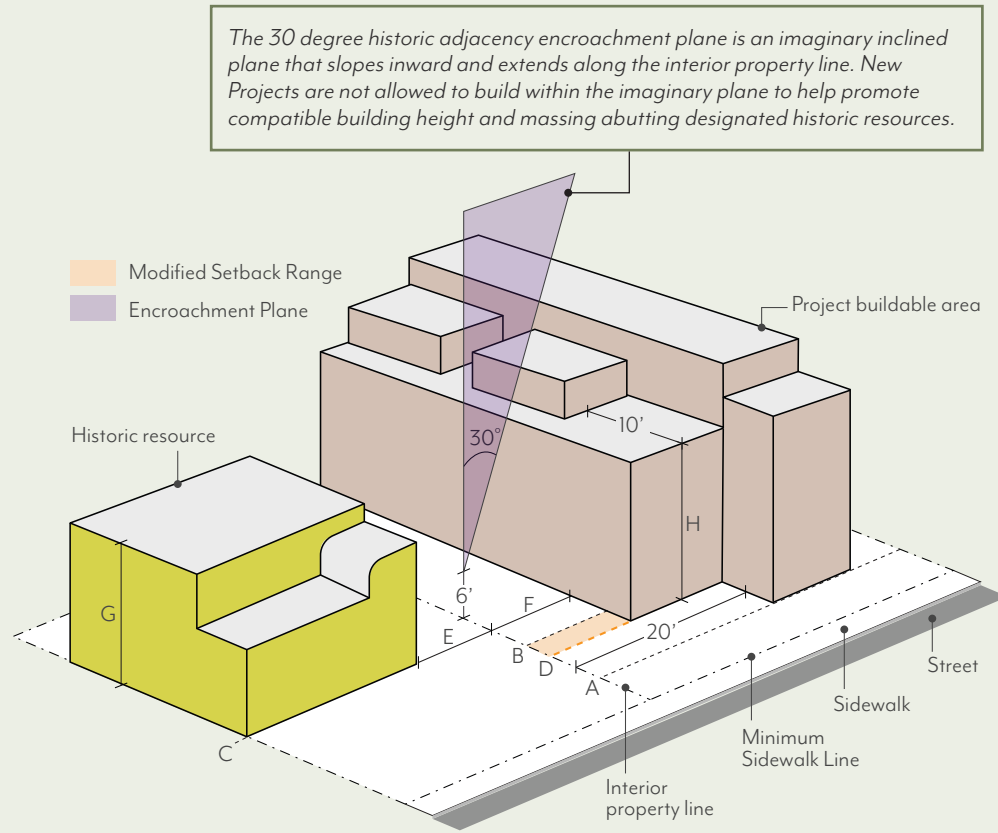


Fedde Furniture Building, 2350 E Colorado Boulevard

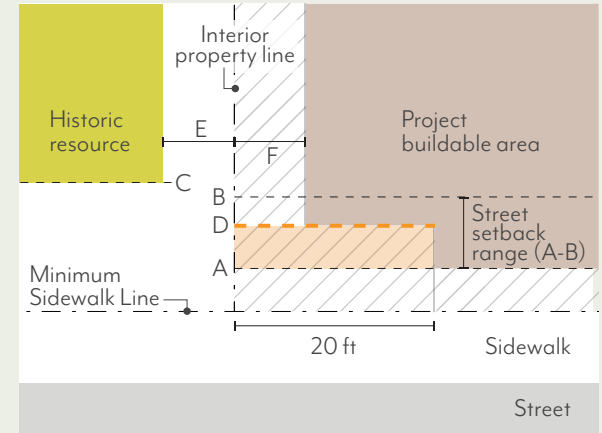


Foothill Liquor Building, 2547 E Foothill Blvd

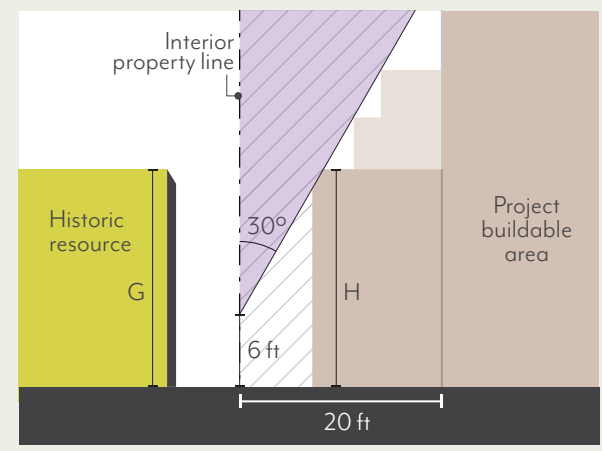
Figure 6.2-3: Historic Adjacency Transition Massing



PLAN VIEW



ELEVATION VIEW

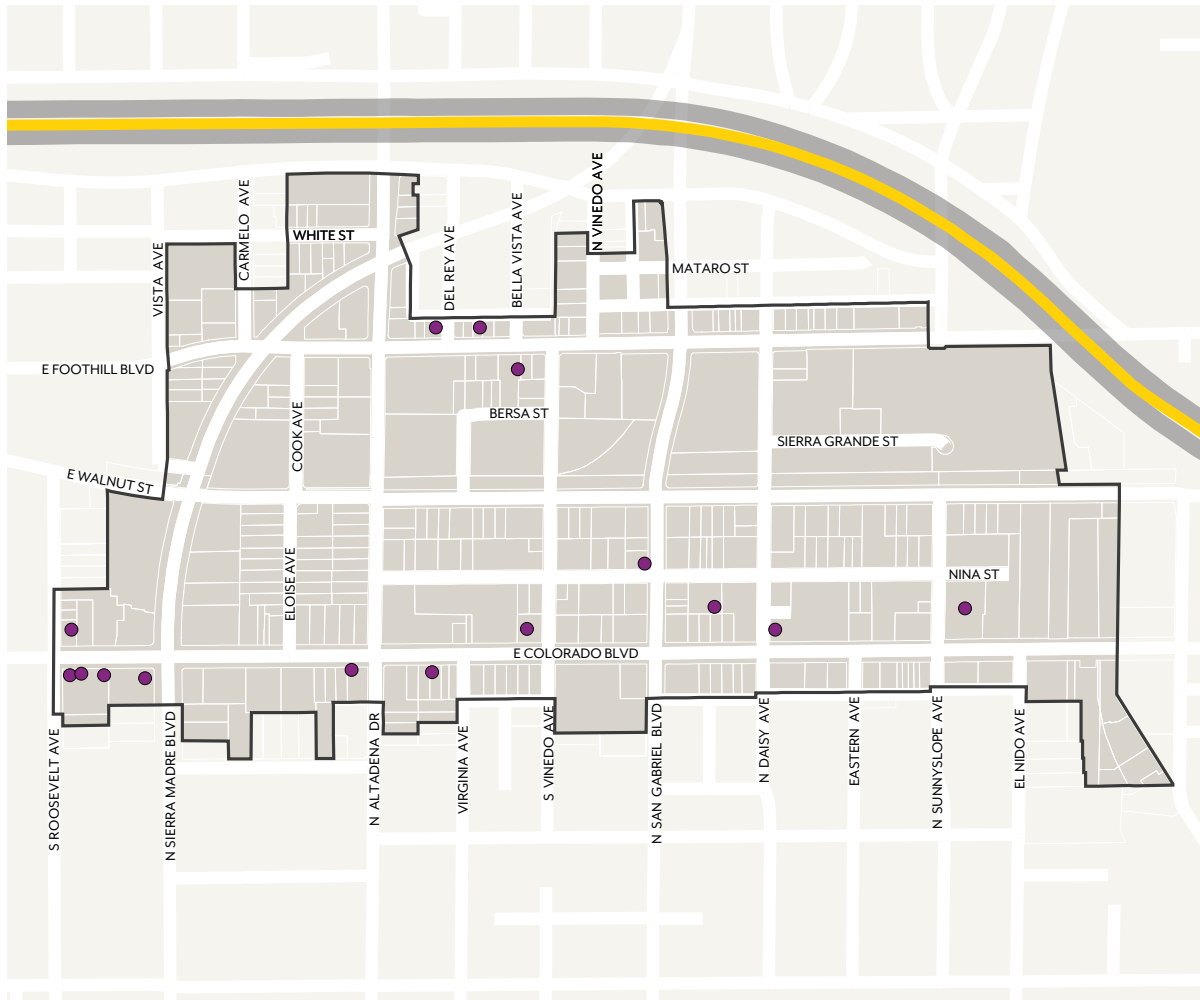


- | | |
|---|---|
| <p>A: Minimum street setback from setback range
 B: Maximum street setback from setback range
 C: Street setback of historic resource
 D: Modified minimum street setback (average of A & C) within 20' of Interior property line</p> | <p>E: Interior setback of historic resource
 F: Interior setback of project
 G: Height of historic resource
 H: Maximum height before stepback of 10' in depth within 20' of Interior property line</p> |
|---|---|

Note: Diagrams used for measurement illustration purposes only.

DRAFT

Map 6.2-4: Historic Signage



Historic Signage

- Historic Sign Location

HISTORIC REFERENCE SIGNAGE

To preserve the historical Route 66 corridor signage that exists in the area, existing historic signage (neon, designated historic, or signage design to reference the historic sign style of the Route 66 corridor including existing roof signage) is encourage to be maintained and/or reincorporated as part of infill or new development. See Map 6.2-4 for existing historic signage. All other signage is subject to PMC 17.48.

DRAFT

6.2.6 FAÇADES

- A. Dimensions.** For CL, MU, and RDCF zones, street facing façades over 150 feet in length shall include a break of at least 10% of the building length or 20 feet wide, whichever is more. This break shall be at least 10 feet deep, open to the sky.
- Exceptions allowed for residential buildings with individual unit entrances up to 200 feet in length before a break is required.
 - All features and landscaping permitted in the Frontage Zone or setback shall be permitted in in the break area.
- B. Modulation.** Street facing façades over 50 feet in length and at least 2 stories in height shall modulate a minimum of 25% of the area above the ground floor at least 2 feet in depth. Buildings with less than 2 stories and buildings in RDIF Zone are exempt from this standard.
- The Primary Façade Plane is defined as the vertical plane with the greatest surface area above the ground floor.
 - Modulation is not required to be continuous or open to the sky and may be recessed or projected.
 - Projected balconies do not count toward modulation requirement.
- C. Transparency.** At least 20% of each façade facing a public street shall be comprised of transparent openings. Façade transparency is inclusive of ground floor requirements set in Section 6.3.3, though each shall be measured independently. In RDIF zone, 10% of each façade facing a public street shall be comprised of transparent openings.
- Transparent openings may include windows and doors with clear glass or façade openings with a minimum depth of 4 feet.
 - Windows shall be recessed by at least 2 inches from the façade; flush windows may be allowed subject to Review Authority approval. RDIF Zone shall be exempt from this standard.
 - The use of mirrored or highly reflective glazing is prohibited.
 - Semi-transparent or frosted treatments are permitted to shield up to 50% of the transparent opening to manage privacy or security needs.

D. Materials.

- At least 5% of each façade shall consist of a secondary material, excluding those used in windows, doors, and railings. RDIF and RDCF Zone shall be exempt from this requirement.
- For RDIF and RDCF zones, where industrial systems and equipment are required to be exposed, they shall be located on a non-street-facing façade or screened with landscaping (where feasible) and integrated in the building architecture using heavy-gauge metal, precast concrete panels, laminated glass, green walls, photovoltaic panels or other material per Review Authority approval.

DRAFT

FAÇADES & MODULATION

The images below reflect examples of appropriate façade and modulation treatments. These examples are illustrative and may not reflect all applicable development standards or existing conditions in the Lamanda Park Specific Plan Area.



Façade modulation and transparency increase visual interest for R&D office buildings



Façade modulation complements other design elements such as material and color

CREATING VISUAL INTEREST AND BREAKING UP MASS

Façade modulation refers to variations in depth of a building's façade. Modulation can be achieved through architectural elements such as fenestration patterns and window bays, stepbacks, balconies, and full façade breaks. Modulation breaks up building massing, creates visual interest, and provides opportunities for open space.

Figure 6.2-4: Façade Length

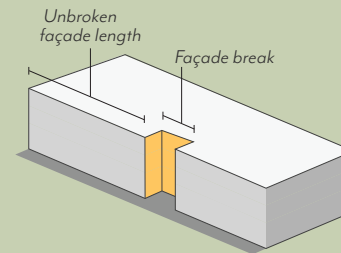
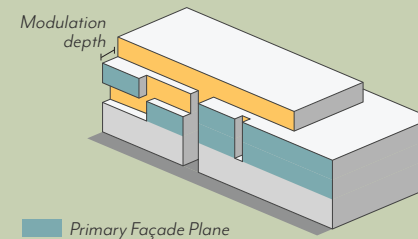


Figure 6.2-5: Façade Modulation



Note: Diagrams used for measurement illustration purposes only.

DRAFT

6.3 GROUND FLOOR

The standards in this section are intended to:

- » Prioritize pedestrian access by ensuring doorways are open to a public sidewalk or public open space
- » Promote shade through arcades and shade structures
- » Increase visibility into ground floor uses to create visual interest for pedestrians
- » Limit blank walls on the ground floor to enhance visual interest and pedestrian comfort

CREATING A VIBRANT STREET ENVIRONMENT

Successful ground floor design contributes to a vibrant built environment to create an inviting, visually engaging, shaded sidewalk and pedestrian environment that supports commercial activity. Altogether, ground floor treatments increase visual interest and physical access across all building uses to create active frontages.



The following standards are covered in detail in this section:

- » 6.3.1 Dimensions
- » 6.3.2 Entrances
- » 6.3.3 Transparency
- » 6.3.4 Arcades
- » 6.3.5 Shade Structures
- » 6.3.6 Blank Walls
- » 6.3.7 Security Bars
- » 6.3.8 Fences

Note: Residential lobbies and common spaces in mixed-use Projects shall follow the non-residential requirements.

Ground floor standards in Lamanda Park promote walkability through comfort, design, and safety, and allow for flexibility in future development.

DRAFT

6.3.1 DIMENSIONS

Note: Residential lobbies and common spaces in mixed-use Projects shall follow the non-residential requirements. Residential only projects shall follow the RM-48 standards per PMC.

- A. **Residential units.** Ground floor heights shall be a minimum 10 feet measured from finished floor to finished floor.
- B. **Non-residential and mixed-use buildings.** Ground floor heights shall be a minimum 15 feet measured floor-to-floor. Commercial spaces shall have a minimum average depth of 35 feet; at no point shall the depth of the space be less than 15 feet.
- C. **RDIF Zone buildings.** Ground floor heights shall be a minimum 24 feet measured floor-to-floor; higher interior clear height of up to 32 feet is encouraged to allow for adaptation of use and space over time. Buildings on lots smaller than 10,000 square feet shall be exempt from this standard.

ACCESSIBLE AND ENGAGING FAÇADES

Entrance standards ensure that ground floor spaces are accessible, inviting, and easy to locate for both intentional visitors and passersby. Transparency standards create visual interest and engagement between ground floor uses and the public realm.

6.3.2 ORIENTATION AND ENTRANCES

- A. **Residential units.** Where residential is permitted on the ground floor facing the street, primary entries shall be located on the primary frontage for ground level dwelling units adjacent the street.
 - 1. Primary entrances shall be distinguished through architectural features such as front porches, overhead projections, or recessed planes.
 - 2. Pathways from the sidewalk to any required pedestrian entrances shall be at least 3 feet in width and separated from parking and driveways by 12 inches of landscape; direct or common connection to the public right-of-way is required.
- B. **Non-residential uses.** Primary entrances shall be oriented toward the primary street frontage and open into the public realm (e.g. a sidewalk or public open space); secondary entrances at the side or rear of a building are permitted.
 - 1. Doorways shall be distinguished by architectural features such as overhead projections (e.g. a canopy or awning) or recessed planes.
- C. **RDIF and RDCF Zones.** Entries are not required to be oriented toward the primary frontage.
 - 1. Where primary entrances do not face the primary frontage, the primary entry shall be connected to the public right-of-way by a clearly delineated ADA-accessible pathway.

6.3.3 TRANSPARENCY

- A. Residential units.** At least 15% of the building façade facing the street shall consist of transparent openings, such as windows and doors with clear glass. The use of mirrored or highly reflective glazing is prohibited.
- B. Non-residential uses.** At least 60% of each public-facing façade between a height of 3 and 8 feet above finished sidewalk elevation shall be transparent openings.
1. Transparent openings are defined as glazing that provides views into work, display, sales, lobby, or similar active areas with a minimum interior depth of 4 feet.
 2. Blinds, drapes, posters, signage, and shelving for product displays visible to the public right-of-way shall obscure no more than 10 percent of the transparent areas of each respective storefront.
 3. The use of mirrored or highly reflective glazing is prohibited.
 4. Exceptions:
 - a. RDCF and RDIF zones shall be exempt from this requirement.
 - b. Medical office, fabrication, and laboratory space (in any zone) may obscure up to 50% of transparent opening to provide additional screening for visitors or environmental management.



Example of appropriate ground floor transparency for a residential common area



Example of appropriate entrance with awnings and a recessed plane

DRAFT

6.3.4 ARCADES

A. Residential and non-residential uses. Arcades are allowed but not required. Depth of arcades shall be at least 8 feet from back of column to building façade. Buildings with ground floor arcades shall also meet transparency requirements per Section 6.3.3. Arcades may be used for:

1. pedestrian travel,
2. seating/street furniture,
3. outdoor dining,
4. landscape planters, and/or
5. bicycle parking.

6.3.5 SHADE STRUCTURES

A. Shade structures are permitted to encroach up to 8 feet into the public right-of-way so long as they do not conflict with existing trees. Shade structures shall allow at least 8 feet of vertical clearance.



Example of an appropriate commercial arcade treatment



Example of an appropriate shade structure

DRAFT

TRANSITIONAL OUTDOOR SPACES

Arcades and galleries create a shaded, transitional outdoor space between the public realm and ground floor interior. Shade structures contribute to a comfortable pedestrian experience and serve as inviting design features for ground floor uses.

6.3.6 BLANK WALLS

- A. **CL and MU Zones.** Windowless expanses of walls on street-facing façades shall not exceed 20 feet in length. These areas shall be mitigated by architectural treatments (e.g. articulation, change in materials) or public art per Review Authority approval.
- B. **RDIF and RDCF Zones.** When street facing blank walls of more than 20 feet in length occur, landscape screening of vertical vines or tall shrubs shall be required within the setback.

6.3.7 SECURITY BARS

- A. **Residential and non-residential uses.** Exterior and interior security bars are prohibited unless they are designed to be fully hidden from sidewalk view during business hours with devices such as concealed side pockets and ceiling cavities.



Example of a blank and windowless ground floor wall (Prohibited treatment)



Example of exterior security bars (Prohibited treatment)

6.4 OPEN SPACE

The following standards are intended to:

- » Provide a variety of open space types for gathering, recreation and respite that contribute to enhanced livability within an urban setting
- » Improve building design and site planning through the integration of open space throughout development
- » Correlate open space requirements with number of residents and size of buildings

The following standards are covered in detail in this section:

- » 6.4.1 Open Space Minimum Area Requirements
- » 6.4.2 Private Open Space
- » 6.4.3 Common Open Space
- » 6.4.4 Public Open Space



Public Open Space (Plaza)



Private Open Space (Balconies)



Common Open Space (Pool Area)

IMPORTANCE OF OPEN SPACE

High quality, usable and accessible open space across a variety of types contributes to an active public realm and successful building design. A combination of **Private Open Space**, such as balconies and patios, **Common Open Space**, such as shared courtyards, gardens, and pools as well as indoor community rooms and gyms, and **Public Open Space**, such as plazas and paseos, altogether serve a range of purposes, including spaces for informal dining, relaxation and community gathering for residents, employees, and visitors within an urban setting. Open spaces either on the ground floor or on upper level stories, correlated to the building use and size, can also help to break down building massing creating effective site and building design.

OPEN SPACE CATEGORIES

- » **Private.** Private Open Spaces, e.g. patios and balconies, are not freely open to the public and are only accessible from individual units.
- » **Common.** Common Open Spaces are shared among residents within a building and often take the form of courtyards, plazas, or other amenities, such as pools. Common Open Space can also include shared indoor open space, such as community rooms or gyms.
- » **Public.** Public Open Spaces, e.g. plazas, pocket parks, and paseos, are freely available to the public to use and typically include amenities such as seating, landscaping, fountains, and public art.

DRAFT

6.4.1 MINIMUM AREA

- A. **Private and Common Open Space.** Projects shall provide the minimum area of Open Space based on use and size per Table 6.4-1 below. Areas used for parking, loading or storage do not count towards minimum Open Space requirements.
 - 6. **Residential** projects shall provide a minimum area of Open Space based on unit types set in Table 6.4-1.
 - 7. **Non-residential** projects with more than 40,000 square feet of non-residential uses shall provide 5% of the gross non-residential floor area as Open Space. Open space may be any mix of Public, Common, or Private space. Projects with 40,000 square feet or less of non-residential space are exempt from this requirement.
 - 8. **Mixed-use** projects comprised of residential and non-residential uses shall comply with requirements applicable to each type of use.
 - 9. **Industrial** projects with more than 55,000 square feet of non-residential uses shall provide 5% of the gross floor area as Open Space. Open space may be any mix of Public or Common space. Projects with 55,000 square feet or less of uses in the RDCF and RDIF zones are exempt from this requirement.
- B. **Public Open Space.**
 - 1. MU-2 Zone Projects shall provide a minimum area of Public Open Space based on a percentage of GFA set in Table 6.4-2.

- D. **Dimensions.** A minimum area of 36 square feet with a dimension of at least 5 feet in width and 8 feet in depth is required for Private Open Space.
- E. **Balconies and patios.** Balconies and patios may be located within a street setback.
 - 1. Balconies may project from the façade encroaching into the required setback; encroachment past the property line into the public ROW is prohibited.
- F. **Roof decks.** Private roof decks shall cover no more than one-third of the roof area.



Private Open Space (Front Patio)

6.4.2 PRIVATE OPEN SPACE

- A. Projects shall provide the minimum area of Private Open Space based on use and size. Areas used regularly for parking, loading or storage do not count toward minimum Private Open Space requirements.
- B. Residential Projects shall provide a minimum area of Open Space based on unit types in Table 6.4-1.
- C. **Distribution.** No more than 40% of the required residential Open Space shall be private to individual tenants.
 - 1. All Private Open Space shall be outdoors.

Table 6.4-1: Residential Open Space by Unit Type

	Studio	1-BR	2-BR	3+ BR
Square Feet (per unit)	200	225	250	275

Table 6.4-2: MU-2 Zone Public Open Space by Project Size

80k-119k	120k-159k	160k- 199k	≥200k
2% GFA	3% GFA	4% GFA	5% GFA

DRAFT

6.4.3 COMMON OPEN SPACE

- A. Distribution.** At least 60% of the required residential Open Space shall be common or shared among the tenants.
1. At least 70% of Common Open Space shall be outdoors, and at least 80% of outdoor Common Open Space shall be open to the sky.
 2. No more than 30% of Common Open Space may be indoors. Indoor Common Open Space may include a shared community room, fitness center, or similar but does not include spaces used primarily for circulation.
 3. No more than 60% of Common Open Space may be on a building's rooftop, defined as any exposed roof area above the top floor(s) of the structure.
- B. Dimensions.** A minimum area of 400 square feet with a dimension of at least 15 feet in each direction is required for Common Open Space.
- C. Hardscape.** A maximum of 25% of Common Open Space may be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate, and/or other alternative paving per Review Authority approval.
- D. Landscape.** A minimum of 25% of Common Open Space shall be planted area at least 30 inches in each dimension. Plant materials shall be selected in compliance with PMC17.44.050 - Water Efficient Landscape: Incorporation of Model Water Efficient Landscape Ordinance.
- E. Trees.** Within the Common Open Space trees shall be planted at a minimum ratio of one 24-inch box tree per each 500 square feet of Common Open Space or per project, whichever is greater. For projects with 2 or more trees, a minimum 50% of trees planted shall be shade trees as identified by the Pasadena Master Street Tree Plan.
- F. Roof decks.** Common roof decks shall be set back 5 feet from the building edge on all sides and cover no more than one-third of the roof area.

- G. Water features.** A maximum of 5% of Common Open Space may be fountains, reflecting pools, or other water features which shall be counted toward the hardscape area.
1. Swimming pools are not considered water features for the purposes of this standard and may fully count towards Common Open Space.
- H. Access.** Common Open Spaces may be accessible to the public if desired but is not required to meet Public Open Space requirements, though the same area shall not count towards both Common and Public Open Space.

COMMON OPEN SPACE

Common open spaces provide areas for gathering, recreation, and respite within a property that contribute to enhanced livability within an urban setting.



Landscaping, seating options, and pedestrian-scaled lighting

DRAFT

6.4.4 PUBLIC OPEN SPACE

- A. Dimensions.** A minimum area of 400 square feet with a dimension of at least 20 feet in each direction is required for Public Open Space.
- B. Signage.** Public Open Space shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and including opening hours.
- C. Hours.** At a minimum, Public Open Space shall be open to the public from 8am to 8pm or subject to modification of hours through Zoning Administrator approval.
 1. Public Open Space is permitted to be closed to public access up to 2 times per month for private events subject to temporary use conditions.
 2. Publicly accessible programming is encouraged within Public Open Space and may be subject to temporary use conditions.
- D. Elevation.** A majority of Public Open Space shall be provided at ground level.
 1. For Projects requiring less than 3,000 square feet of Public Open Space, all required space shall be provided at ground level with a primary entrance at sidewalk elevation.
 2. For Projects requiring more 3,000 square feet of Public Open Space, at least 3,000 square feet of Public Open Space shall be provided at ground level with a primary entrance at sidewalk elevation.
- E. Hardscape.** A maximum of 25% of Public Open Space may be paved in standard concrete. Remaining paved areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate, and/or other alternative paving per Review Authority approval.
- F. Landscape.** A minimum of 25% of Public Open Space shall be planted area at least 30 inches in each dimension. Plant materials shall be selected in compliance with PMC17.44.050 - Water Efficient Landscape: Incorporation of Model Water Efficient Landscape Ordinance.
 1. Vertical landscaping may substitute for planted area, in which case the area requirement is halved. Green walls shall consist of their own substructure and dedicated hydration system; green façades, composed of climbing vines or other plants, are not considered vertical landscaping for the purposes of this standard.
- G. Trees.** Within the Public Open Space trees shall be planted at a minimum ratio of one 24-inch box tree per each 750 of Public Open Space or per project, whichever is greater. For projects with 2 or more trees, at least 50% of trees planted shall be shade trees as identified by the Pasadena Master Street Tree Plan.
- H. Seating.** A minimum of 1 bench or seating feature shall be provided per 300 square feet.
- I. Credit.** Public Open Space in excess of the minimum may apply towards up to 30% of a Common Open Space requirement.



PUBLIC OPEN SPACE

Public open spaces create a livable urban environment and provide community gathering spaces supportive of the commercial uses. Paseos break up building massing and increase pedestrian access.

DRAFT

6.5 ACCESS & PARKING

The access and parking standards in this section are intended to:

- » Reduce the visual impacts of parking
- » Regulate appropriate parking supply and location in a manner that prioritizes pedestrian access and multi-modal activity
- » Encourage change of use and adaptive reuse of existing buildings through parking reductions and exemptions
- » Promote a more efficient use of parking spaces through shared parking among multiple uses within a project
- » Increase design standards for parking structures through ensuring habitable floor areas between parking and street frontage and screening

The following standards are covered in detail in this section:

- » 6.5.1 Driveways
- » 6.5.2 Vehicle Parking Minimums
- » 6.5.3 Vehicle Parking Layout and Design

IMPORTANCE OF PARKING STANDARDS

Vehicle parking access, location and supply influences the street environment, multi-modal travel and overall development. Minimizing vehicular access, such as entries and driveways, can help to promote continuous sidewalk activity and safer travel across modes. Similarly, minimizing surface parking lot size and locations (such as placing lots behind buildings or a landscaped open space), supports the success of street-fronting activity, such as pedestrian travel and commercial frontages. The number of required parking spots is another defining factor that shapes urban travel and development. By establishing an appropriate number of parking spots by land use and size of development, residential and commercial activity can be supported while also attracting a variety of new development. Through tailored standards as well as parking reductions and exemptions for certain uses and conditions, space efficiency and cost savings are promoted.

DRAFT



Decorative masonry walls and landscaping screen parking areas from the street



Surface parking in the rear of building helps to maintain an active streetwall

6.5.1 DRIVEWAYS

- A. Number.** For Projects with less than 200 feet of primary street frontage, only one two-lane driveway shall be permitted. Two two-way driveways shall be permitted on Projects with more than 200 feet of primary street frontage.
- B. Location.** Driveways are not permitted on primary frontages of less than 200 feet when there is access from a secondary street or alley.

6.5.2 VEHICLE PARKING.

- A. Number of Spaces.** Projects shall provide the minimum number of parking spaces based on use and size as set forth in Table 6.6-1. A maximum number of parking spaces apply per PMC17.46040 and 17.50.340.
1. Exemptions allowed for:
 - a. Non-residential uses less than 5,000 square feet. For Projects with less than 5,000 square feet of non-residential uses, no parking is required.

- b. Outdoor dining and food service up to 2,000 square feet. For the first 2,000 square feet of outdoor dining area, no parking is required.
- c. Historic resources and adaptive reuse: Any Projects on a parcel with a designated historic resource or buildings constructed prior to 1960 that involve new construction or enlargement of an existing structure shall only be required to provide 25% of the minimum parking requirement for new square footage.
- d. Changes of use. Projects in RDCF zone involving changes of use that would result in an increased parking requirement shall be exempt from providing the additional parking subject to the following standards:
 - i. Change of use is to a permitted use
 - ii. Structure was built prior to 1960
 - iii. Expansion of the structure includes a restaurant or cafe
 - iv. Expansion of the structure does not exceed 35% additional square footage
 - v. Expansion exceeding 35% additional square footage shall only be required to provide 25% of the minimum parking requirement for new square footage.

Table 6.5-1: Parking by Land Use

	Minimum	Notes
Retail Sales		
Services (except Lodging)	3 per 1,000 sf*	For Medical Offices >5,000 sf, refer to PMC17.46
Office, Professional and Business Support		
Lodging (Hotels & Motels)	0.5 per room	First 15,000 sf of banquet/restaurant space excluded
Residential	≤1-bed: 1 per unit ≥2-bed: 1.5 per unit	Residential guest parking can be shared with commercial parking in mixed-use developments
Live/work	1.5 per unit	
Other uses	Refer to PMC17.46	*Lower minimums specified by PMC for specific use categories shall supersede this requirement.

2. Reductions allowed for:
 - a. Transit-oriented development. Reductions in parking requirements shall be available to Projects within half-mile of rail stations per PMC17.50.340.
 - b. Shared parking. Parking may be shared among multiple uses per PMC17.46.050.

B. Unbundled parking. For any building with new residential units, parking shall be unbundled from the rents, sale prices, or other fees charged for occupying living space. Automobile parking spaces shall be leased or sold separately from the rental or purchase fees, such that renters or buyers have the option of renting or buying the space at a lower price than if automobile parking was included.

1. Affordable units are not subject to this provision and are required to include one parking space for the unit in the base rent or sales price.

6.5.3 VEHICLE PARKING LAYOUT & DESIGN

A. Prohibited in Setbacks. Parking and loading spaces or areas are prohibited in all required setbacks.

1. **RDIF and RDCF zones.** Parking/loading/logistics is not allowed between the building and the street (except for existing or adaptive reuse buildings) facing any of the following streets. Parking/loading/logistics is permitted adjoining the street adjacent to a building; landscape standards shall apply.

a. **RDIF Zone:**

- i. E. Foothill Boulevard
- ii. San Gabriel Boulevard

b. **RDCF Zone:**

- i. Nina Street
- ii. San Gabriel Boulevard

B. Loading and Logistics

1. **Screening of loading spaces.** In the MU zoning districts, any loading spaces or areas visible from a street shall be screened on three sides by a fence, hedge, or wall a minimum of 6 feet in height.

2. All other loading shall be subject to PMC 17.46.260 - Number, Location, and Design of Off-Street Loading Spaces.

a. **Exception.** Adaptive reuse in the RDCF shall not be subject to the concealment and screening required standards of PMC 17.46.260.

3. **RDIF Zone.**

- a. A maximum of 50% of the site shall be utilized for vehicular purposes, including parking areas, driveways, ramps, and loading areas.
- b. Locate loading facilities to the rear of buildings where possible. If not possible, use screening to reduce visual prominence of loading facilities near the front entrance.
- c. Reduce interference with pedestrians and vehicles by separating commercial loading facilities from public entrances and parking areas.

C. **Surface parking setback.** Where parking lots are located adjacent to the street, a 5-foot landscape buffer is required between the minimum sidewalk line and the parking.

1. Fences/walls are permitted in the parking setback consistent with section 6.2.1.
2. Landscaping shall include hedges or shrubs at least 3 feet in height at the time of planting, and no more than 42 inches in height in the future. These hedges or shrubs need not be planted within the entire landscaped area but shall form a continuous visual screen.

D. **Surface parking landscaping.** Landscaping of parking areas shall be provided and maintained according to the following regulations.

1. A minimum of 5 percent landscaped area shall be provided for surface parking areas of 10 to 21 parking spaces.
2. A minimum of 10 percent landscaped area shall be provided for surface parking areas of more than 21 parking spaces.
3. One tree of at least 24 gallons in size shall be provided for every 8 parking spaces and located so as to visually disrupt long rows of parked vehicles (trees may be clustered).
4. Landscaped areas shall be distributed throughout the entire parking area as evenly as possible as required by the Review Authority approval.

DRAFT

E. Podium parking.

1. No more than one story of above-grade parking is permitted within habitable buildings.
 - a. Exception: Multiple stories of above ground parking are permitted within wrap style developments or parking structures if the project meets the parking structure standards of 6.5.3 - F.
2. Screening shall hide parking areas visible from a public street, using heavy-gauge metal, precast concrete panels, laminated glass, green walls, photovoltaic panels or other material per Review Authority approval.

F. Parking structures.

1. Parking structures shall be subject to the landscaping and yard requirements of PMC 17.46.240.
2. In the MU-2 Zone structures shall be buffered with a minimum 15-foot depth of habitable floor area between the parking and any street frontage (not including alleys), except for access and driveways.
 - a. Elevators and stairs shall be located adjacent to sidewalks.
 - b. Screening shall hide parking areas visible from a public street, using heavy-gauge metal, precast concrete panels, laminated glass, green walls, photovoltaic panels or other material per Review Authority approval.

G. Underground parking. Fully subterranean parking may extend up to the property line.