

Draft East Pasadena Specific Plan

Preliminary Development Standards
10 December, 2020



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Note: This Draft East Pasadena Specific Plan document is intended for public review at the Our Pasadena Public Workshops - Round Three (Virtual Open House). This document includes draft content for the three chapters of the Specific Plan that introduce new regulations, standards, and guidelines for development; this draft does not include introductory and administrative chapters, policies, definitions, or appendices. The draft standards presented in this document are informed by multiple stages of prior community input and extensive technical analysis. This document is made public for the purpose of receiving further community feedback, and contents are subject to change.

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LAND USE

IMPORTANCE

The Zoning and Land Use regulations in this chapter are intended to guide development and Land Use decision-making to achieve the East Pasadena Specific Plan Vision. Permitted uses are intended to foster “a semi-urban environment with higher-density mixed-use developments incorporating retail, office and housing uses to provide increase opportunities encourage transit use and walking.”

Land Use regulations are tools that can be used to maintain the character of a particular neighborhood, or to guide a neighborhood’s evolution toward a character that better supports residents, businesses and employees, and visitors. While broader land use categories are assigned in the General Plan, the Specific Plan establishes a detailed list of allowed land use categories and the permit requirements or limitations for each zoning district within the Specific Plan Area.

CHAPTER OVERVIEW

The Land Use chapter includes a discussion and map on allowed land uses (simplified into residential, commercial, and mixed uses) as they apply to the Specific Plan Area in general, as well as ground floor spaces. Following the land use section, this chapter covers designated zoning districts with a map followed by a detailed table indicating which land uses are allowed within each zoning district of the Specific Plan area. Certain uses may be subject to special conditions or permitting, requiring an application and approval process determining whether the proposed use is permitted, conditionally permitted, prohibited, or allowed as a temporary use.

- » **4.1 Land Use.** Introduces allowed uses and ground floor location requirements for commercial/residential mixed-use areas.
- » **4.2 Zoning Districts.** Introduces the East Pasadena Specific Plan zoning districts, identified as unique areas in need of tailored standards. Introduces allowed uses and permit requirements by zoning district.

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Commercial



Residential



Open Space

4.1 LAND USE

The broad land use classifications established by the General Plan shown in Map 4.1-1 provide a framework for use permissions in East Pasadena, and can be organized into the following general use categories as shown in Map 4.1-2:



» **Commercial** accommodates a variety of uses including retail shopping, personal and financial services, offices, dining, entertainment, and similar uses. Residential is prohibited in commercial land use classifications.



» **Mixed-Use** allows a combination of housing with commercial uses to enable residents to live close to where they work, shop and recreate. Mixed-Use may consist of a mix of housing types horizontally distributed within a district, block, or parcel or housing built above commercial, for example.

» **Open Space** provides active and passive recreational opportunities for Pasadena’s residents, as well as the preservation and maintenance of undeveloped lands and natural areas.

» **Institutional** is characterized by publicly-owned facilities, such as Pasadena City College Community Education Center.

Map 4.1-1: General Plan Land Use

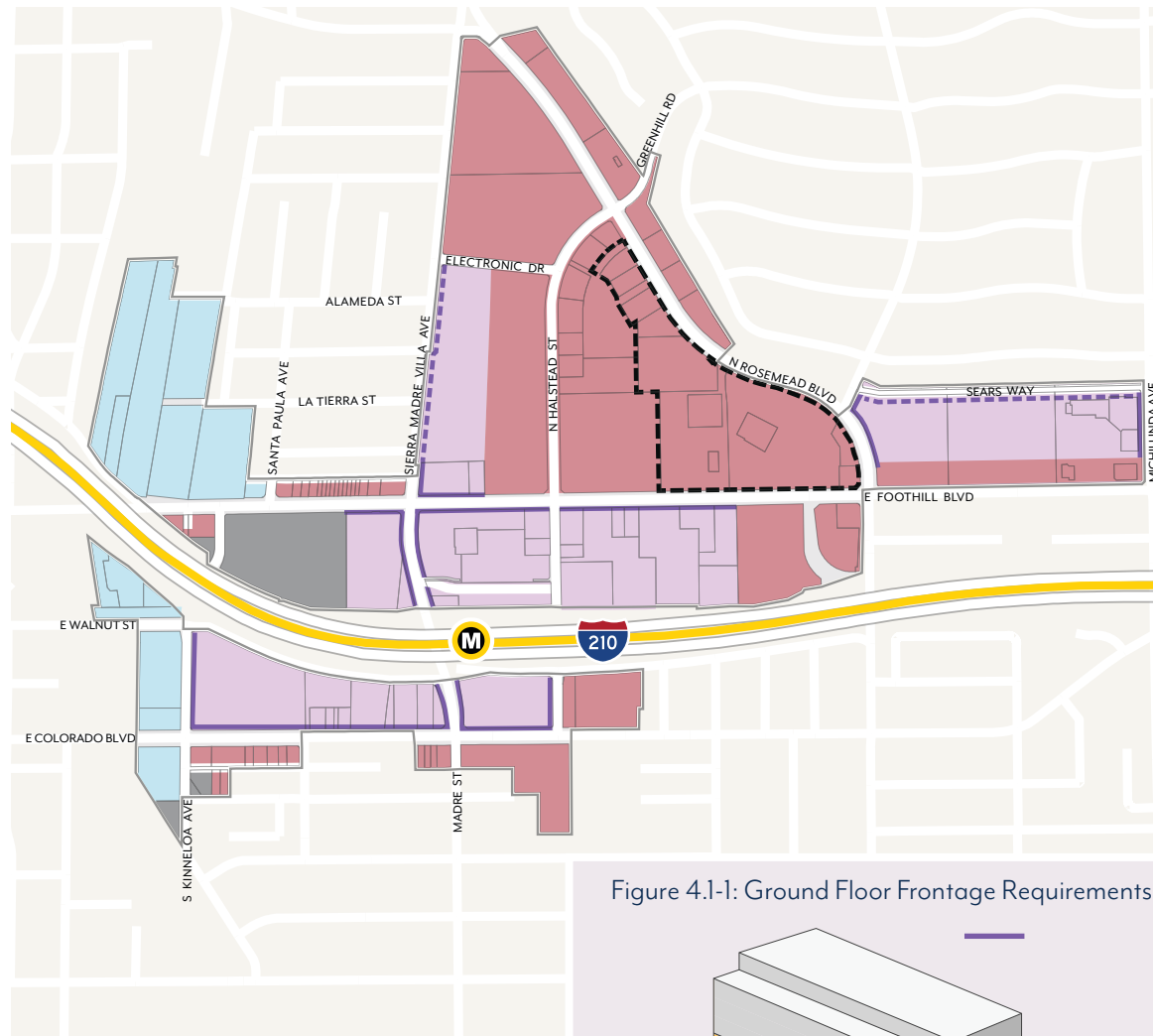


General Plan Land Uses

	Low Mixed		Medium-High Residential
	Low-Medium Mixed		High Residential
	Medium Mixed		Urban Housing
	High Mixed		Institutional
	Low Commercial		Open Space
	Medium Commercial		
	High Commercial		

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Map 4.1-2: Allowed Use and Ground Floor Requirements



Allowed Uses

- Commercial
- Mixed (residential/commercial)
- Institutional
- Subject to a PD
- Subject to conditions; see standards

Ground Floor Requirement

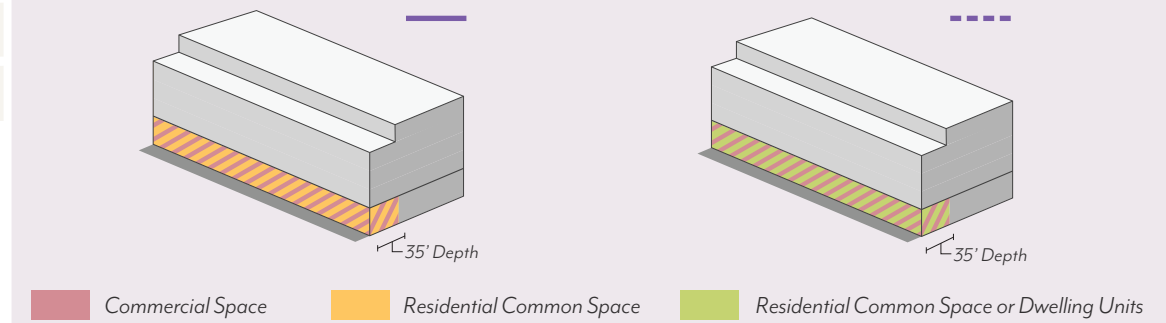
- Commercial and residential allowed. Individual dwelling units not allowed. Residential common spaces allowed ^{1,2}
- Commercial and residential (common space and dwelling units) allowed ^{1,2}

Notes:

- ¹Residential common spaces include any building uses except for unit square footage
- ²Residential common spaces must meet non-residential ground floor standards (Section 6.3)

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Figure 4.1-1: Ground Floor Frontage Requirements for Commercial/Residential Mixed Areas



4.2 ZONING DISTRICTS

The East Pasadena Specific Plan consists of eight (8) Zoning Districts, identified as unique areas in need of tailored standards. Map 4.2-1 identifies the Zoning Districts for the Specific Plan.

The following zones are established as part of this Specific Plan:

- » EPSP-CC (Commercial Corridor)
- » EPSP-CO (Commercial Office)
- » EPSP-CNS (Commercial Neighborhood Services)
- » EPSP-CRDC (Commercial R&D Core)
- » EPSP-MU-1 (Mixed-Use Low 1)
- » EPSP-MU-2 (Mixed-Use Medium 2)
- » EPSP-MU-3 (Mixed-Use High 3)
- » EPSP-MU-4 (Mixed-Use High 4)

The following zones are defined by PMC17.20.020:

- » PS (Public-Semipublic)
 - » All standards for Public-Semipublic zoning districts are determined by Conditional Use Permit (CUP) or Master Plan.

The following zones are defined by their respective Planned Developments (PD):

- » PD-3
- » PD-36

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Land Use

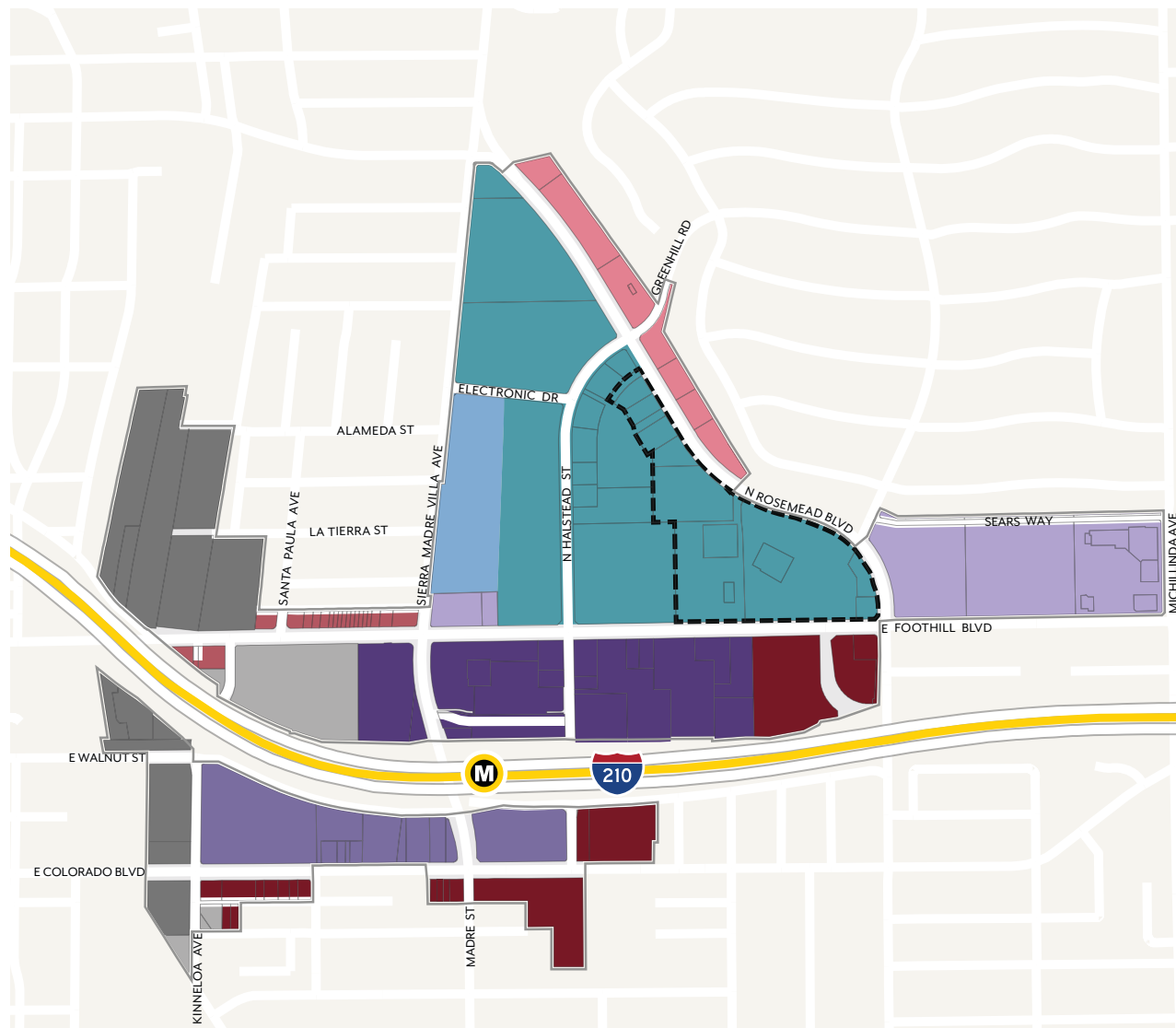


Commercial R&D Core Zone



Public-Semipublic Zone

Map 4.2-1: East Pasadena Specific Plans Zoning District



Zoning Designations

- CC (Commercial Corridor)
- CO (Commercial Office)
- CNS (Commercial Neighborhood Services)
- CRDC (Commercial R&D Core)
- MU-1 (Mixed-Use Low 1)
- MU-2 (Mixed-Use Medium 2)
- MU-3 (Mixed-Use Medium 3)
- MU-4 (Mixed-Use High 4)
- PS (Public/Semi-Public)
- PD (Planned Development) on development type
- Subject to conditions; see standards

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Table 4.2-1: Allowed Uses and Permit Requirements

SYMBOL	PERMIT REQUIREMENTS AND USE LIMITATIONS	PROCEDURE IS IN SECTION:
P	Permitted use, Code Compliance Certificate required.	17.61.020
MC	Conditional use, Minor Conditional Use Permit required.	17.61.050
C	Conditional use, Conditional Use Permit required.	17.61.050
E	Conditional use, Expressive Use Permit required.	17.61.060
PD	Subject to a Planned Development or other discretionary review; see standards.	17.26.020.C
A	Use permitted only as accessory to a primary permitted use	
TUP	Temporary use, Temporary Use Permit required.	17.61.040
—	Use not allowed. (See Section 17.21.030.A regarding uses not listed.)	
(L#)	“(L#)” designates limited uses to comply with specific limitations listed at the end of the table.	

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Land Use

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)	Mixed-Use Medium 2 / Low 1	Mixed-Use Medium 3	Mixed-Use High 4	Commercial Office	Commercial Corridor	Commercial Neighborhood Services	Commercial R&D Core	Additional Relevant Standards from Zoning Code / Notes
	MU-1 & 2	MU-3	MU-4	CO	CC	CNS	CRDC	
RESIDENTIAL USES								
Limitations to uses and conditions on the ground floor are subject to Map 4.1-2 location regulations.								
Family Day Care								
Large	P (L2)	P	P	—	—	—	PD(L2)	17.50.080
Small	P (L2)	P	P	—	—	—	PD(L2)	
Group Residential Types								
Congregate Housing	P (L1) (L2)	P (L1)	—	—	—	—	—	
Senior Group Residential	P (L1) (L2)	P (L1)	P (L1)	—	—	—	—	

**ALLOWED USES AND PERMIT REQUIREMENTS
BY ZONING DISTRICTS**

LAND USE (1)								Additional Relevant Standards from Zoning Code / Notes
	Mixed-Use Medium 2 / Low 1	Mixed-Use Medium 3	Mixed-Use High 4	Commercial Office	Commercial Corridor	Commercial Neighborhood Services	Commercial R&D Core	
	MU-1 & 2	MU-3	MU-4	CO	CC	CNS	CRDC	
Residential								
Accessory dwelling unit	P (L2)	P	P	—	—	—	PD (L2)	17.50.275
Live/Work Units	P (L2)	—	—	—	—	—	—	17.50.370
Multi-family Residential	P (L2)	P (L1)	P (L1)	—	—	—	PD (L2)	17.50.350
Home occupations	P (L2)	P	P	—	—	—	PD (L2)	17.50.110
Residential Accessory Uses and Structures	P (L2)	P	P	—	—	—	PD (L2)	17.50.250
Residential Care Facilities								
								17.50.250
General	C (L2)	C	C	—	—	—	PD (L2)	
Limited	P (L2)	P	P	—	—	—	PD (L2)	
Senior	C (L2)	C	—	—	—	—	PD (L2)	
Supportive Housing								
Emergency Shelters	MC	MC	MC	MC	MC	MC	MC	
Supportive Housing	P (L2)	P (L1)	P (L1)	—	—	—	PD (L2)	
Transitional Housing	P (L2)	P (L1)	P (L1)	—	—	—	PD (L2)	Maximum area for provision of which support services (interior or exterior) shall not exceed 250 sf.
RECREATION, EDUCATION & PUBLIC ASSEMBLY USES								
Limitations to uses and conditions on the ground floor are subject to Map 4.1-2 location regulations.								
Cultural & Public Assembly								
Religious Facilities	C	C	C	C	C	C	C	17.50.230
With Temporary Homeless Shelter	P	P	P	C	C	C	C	17.50.230
Assembly Facilities	C	C	C	C	C	C	C	17.50.230
Cultural Institution and Facility	P	P	P	P	P	P	P	

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ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)	Mixed-Use Medium 2 / Low 1	Mixed-Use Medium 3	Mixed-Use High 4	Commercial Office	Commercial Corridor	Commercial Neighborhood Services	Commercial R&D Core	Additional Relevant Standards from Zoning Code / Notes
	MU-1 & 2	MU-3	MU-4	CO	CC	CNS	CRDC	
	College or Educational Institution							
Nontraditional campus setting	P (LI)	P (LI)	P (LI)	P	P	—	P	
Recreation								
Commercial Recreation - Indoor	—	—	—	—	P	—	—	17.50.130
Gardens (Neighborhood / Community)	P	P	P	P	P	P	P	
Park and Recreation Facilities	P	P	P	P	P	P	P	
Schools								
Schools - Public and Private	C	—	—	—	C	—	C	17.50.270
Schools - Specialized Education and Training	P (LI)	P (LI)	P (LI)	P	P	—	P	17.61.050.j ; CUP required for new construction over 25,000 s.f.
BUSINESS, COMMERCIAL, AND RETAIL SERVICES Limitations to uses and conditions on the ground floor are subject to Map 4.1-2 location regulations.								
Alcohol Sales								
Beer and wine	C	C	C	C	C	C	C	17.50.040
Full alcohol sales	C	C	C	C	C	C	C	17.50.040
Animal Sales and Services								
Animal Clinic/Hospital	—	—	—	—	P	P	—	17.50.050
Animal Grooming	—	—	—	—	P	P	—	
Animal Retail sales	—	—	—	—	P	P	—	

**ALLOWED USES AND PERMIT REQUIREMENTS
BY ZONING DISTRICTS**

LAND USE (1)								Additional Relevant Standards from Zoning Code / Notes
	Mixed-Use Medium 2 / Low 1	Mixed-Use Medium 3	Mixed-Use High 4	Commercial Office	Commercial Corridor	Commercial Neighborhood Services	Commercial R&D Core	
	MU-1 & 2	MU-3	MU-4	CO	CC	CNS	CRDC	
Auto/Vehicle Sales and Services								
Alternative Fuels/Recharging Facilities	—	—	—	—	P	—	—	17.40.070; 17.61.050.J; CUP required for new construction over 25,000 s.f.
Automobile Rental	—	—	—	—	P	—	—	17.61.050.J; CUP required for new construction over 25,000 s.f.
Automobile Showrooms	—	P	P	P	P	—	—	
Vehicle Services - Washing/Detailing	—	—	—	—	P	—	—	17.40.070; 17.61.050.J; CUP required for new construction over 25,000 s.f.
Vehicle Services - Washing/Detailing, Small-Scale	—	—	—	—	P	—	—	17.50.290
Vehicles Services -Sales/Leasing	—	—	—	—	P	—	—	17.40.070; 17.61.050.J; CUP required for new construction over 25,000 s.f.
Vehicles Services - Sales/Leasing, Limited	—	—	—	—	P	—	—	
Vehicle Services - Service Stations	—	—	—	—	P	—	—	17.40.070; 17.61.050.J; CUP required for new construction over 25,000 s.f.
Banks and financial Institutions								
Automated Teller Machines (ATM)	P	P	P	P	P	P	P	17.50.060
Banks and Credit Unions (Retail)	P	P	P	P	P	P	P	
Banks and Credit Unions (Non-Retail)	P (L1)	P (L1)	P (L1)	P (L1)	P	P	P	
Conference Center								
Conference Center	—	C	C (L1)	—	C	—	C	

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ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)								Additional Relevant Standards from Zoning Code / Notes
	Mixed-Use Medium 2 / Low 1	Mixed-Use Medium 3	Mixed-Use High 4	Commercial Office	Commercial Corridor	Commercial Neighborhood Services	Commercial R&D Core	
	MU-1 & 2	MU-3	MU-4	CO	CC	CNS	CRDC	
Day Care Facility								
Adult Day-Care - General	C (L1)	C (L1)	—	C (L1)	C	C	—	Performance standards required
Adult Day-Care - Limited	P (L1)	P (L1)	—	P (L1)	P	P	—	Performance standards required
Child Day Care	P	P	P	P	P	P	P	17.50.080
Eating and Drinking Establishments								
All Uses and Zones								17.61.050.J; CUP required for new construction over 25,000 s.f.
Bar, Night Club, or Tavern	C	C	C	—	C	C	—	17.50.040
Restaurants, Full Service	P	P	P	—	P	P	P	17.50.260
Restaurant, Limited Service	P	P	P	—	P	P	P	
Restaurant, Take-Out Only	P	P	P	—	P	P	—	
Restaurants with Limited Live Entertainment	P	P	P	—	P	P	P	Performance standards required
Restaurants with Walk-Up Window	C	C	C	—	C	C	C	17.50.260
Entertainment								
Commercial Entertainment	E	E	E	—	E	—	—	17.50.130
Electronic Game Centers	P	P	P	—	P	—	—	17.50.100
Food and Beverage Sales								
Convenience Stores	P	P	P	—	P	P	—	
Farmers' Market	P	P	P	—	P	—	—	
General Market	P	P	P	—	P	P	P	
Liquor Stores	C	C	C	—	C	—	—	17.50.040

**ALLOWED USES AND PERMIT REQUIREMENTS
BY ZONING DISTRICTS**

LAND USE (1)								Additional Relevant Standards from Zoning Code / Notes
	Mixed-Use Medium 2 / Low 1	Mixed-Use Medium 3	Mixed-Use High 4	Commercial Office	Commercial Corridor	Commercial Neighborhood Services	Commercial R&D Core	
	MU-1 & 2	MU-3	MU-4	CO	CC	CNS	CRDC	
Group Housing								
Single-Room Occupancy	P (L1)(L2)	P (L1)	P (L1)	—	—	P	P	Commercial use, prohibited in residential zones. 17.50.300 *For areas with ground floor requirements, SRO is not counted toward a commercial requirement.
Hospitals, Clinics and Care Facilities								
Clinic	P	P	P (L1)	P	P	P	P	
Extended Care	—	MC (L1)	—	—	—	—	—	
Life/Care Facilities	—	MC (L1)	—	—	—	—	—	17.50.120
Hospitality House	MC (L1)	MC (L1)	MC (L1)	—	MC (L1)	—	—	
Hospital	—	C	—	—	—	—	—	
Skilled Nursing Facility	C (L1)	C (L1)	—	—	—	—	—	
Offices								
Accessory	P	P	P (L1)	P	P (L1)	P	P	
Administrative Business Professional	P	P	P (L1)	P	P (L1)	P	P	
Government	P	P	P (L1)	P	P (L1)	P	P	
Laboratories	P (L1)	P (L1)	—	P (L1)	—	P	P	
Medical and Dental	P	P	P (L1)	P	P (L1)	P	P	
Walk-In Clientele	P	P	P	P	P	P	P	
Research and Development - Offices	P	P	P (L1)	P	P (L1)	P	P	

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ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)								Additional Relevant Standards from Zoning Code / Notes
	Mixed-Use Medium 2 / Low 1	Mixed-Use Medium 3	Mixed-Use High 4	Commercial Office	Commercial Corridor	Commercial Neighborhood Services	Commercial R&D Core	
	MU-1 & 2	MU-3	MU-4	CO	CC	CNS	CRDC	
Personal Services								
Personal Improvement Services	P	P	P	—	P	P	P	
Personal Services	P	P	P	—	P	P	P	
Massage Establishments	C	C	C (L1)	—	C (L1)	C	C	17.50.155
Tattoo and Body Modification	—	P	P	—	P	P	—	
Printing and Publishing								
General	—	—	—	P (L1)	—	P	P	17.61.050.J; CUP required for new construction over 25,000s.f.
Limited	P (L1)	P (L1)	P (L1)	P (L1)	P (L1)	P	P	17.61.050.J; CUP required for new construction over 25,000s.f.
General Services								
Business Services	P	P	P	P	P	P	P	
Catering Services / Shared Kitchens	P (L1)	P (L1)	P (L1)	P	P	P	P	
Charitable Institutions	P	P	P	P	P	P	P	
Public Safety Facilities	C	C	C	C	C	C	C	
Transient Lodging								
Bed and breakfast inns	—	—	—	—	C	—	—	17.50.140
Hotels, motels	—	C	C	—	C	—	—	17.50.150

**ALLOWED USES AND PERMIT REQUIREMENTS
BY ZONING DISTRICTS**

LAND USE (1)								Additional Relevant Standards from Zoning Code / Notes
	Mixed-Use Medium 2 / Low 1	Mixed-Use Medium 3	Mixed-Use High 4	Commercial Office	Commercial Corridor	Commercial Neighborhood Services	Commercial R&D Core	
	MU-1 & 2	MU-3	MU-4	CO	CC	CNS	CRDC	
Retail Sales								
Big Box Retail	—	—	—	—	—	—	P	
Building Materials, and Supplies Sales	—	—	—	—	P	—	—	
General Retail	P	P	P	P	P	—	—	
Significant Tobacco Retailers	C	C	C	C	C	—	—	17.50.330; 17.61.050.J; CUP required for new construction over 25,000s.f.
INDUSTRY, MANUFACTURING, AND PROCESSING USES Limitations to uses and conditions on the ground floor are subject to Map 4.1-2 location regulations.								
Industrial Services								
Custom Manufacturing / Artisan Production	P	P	P	P	P	P	P	
Industry, Limited	—	—	—	MC	MC	MC	P	
Research and Development - Laboratories	P (L1)	P (L1)	P (L1)	P	P	—	P	17.50.240
Communications facilities (2, 3)								
Accessory Antenna Arrays	A	A	A	A	A	A	A	
Antennas and Transmission Towers	C	C	C	C	C	C	C	
Equipment Within Buildings	C	C	C	C	C	C	C	
Wireless Telecommunications Facilities - Minor	MC	MC	MC	MC	MC	MC	MC	17.50.310
Wireless Telecommunications Facilities - Major	C	C	C	C	C	C	C	17.50.310
Wireless Telecommunications Facilities - SCL	P	P	P	P	P	P	P	17.50.310

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Land Use

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)	Mixed-Use Medium 2 / Low 1	Mixed-Use Medium 3	Mixed-Use High 4	Commercial Office	Commercial Corridor	Commercial Neighborhood Services	Commercial R&D Core	Additional Relevant Standards from Zoning Code / Notes
	MU-1 & 2	MU-3	MU-4	CO	CC	CNS	CRDC	
	Transportation							
Commercial Off-Street Parking	A	A	A	—	A	A	A	17.40.070
Mobility Hub	P	P	P	P	P	P	P	
Transit Stations or Terminals	—	—	C	—	—	—	—	
Utilities								
Major	C	C	C	C	C	C	C	
Minor	P	P	P	P	P	P	P	
TEMPORARY USES								
Filming, long-term	MC	MC	MC	MC	MC	MC	MC	
Filming, short-term	P	P	P	P	P	P	P	
Street fairs	P	P	P	P	P	P	P	
Tents	—	TUP	TUP	—	TUP	TUP	TUP	17.50.320
Personal Property Sales	P	P	P	—	—	—	—	Permit required: 17.50.190
Seasonal Merchandise Sales	P	P	P	—	P	P	P	17.50.180; 17.61.050.J; CUP required for new construction over 25,000s.f.
Swap Meets	TUP	TUP	TUP	—	TUP	TUP	TUP	17.61.050.J; CUP required for new construction over 25,000s.f.
Other Temporary Uses	TUP	TUP	TUP	TUP	TUP	TUP	TUP	

TABLE 4.2-1 NOTES:

(1) See Section 17.80.020 for definitions of the listed land uses.

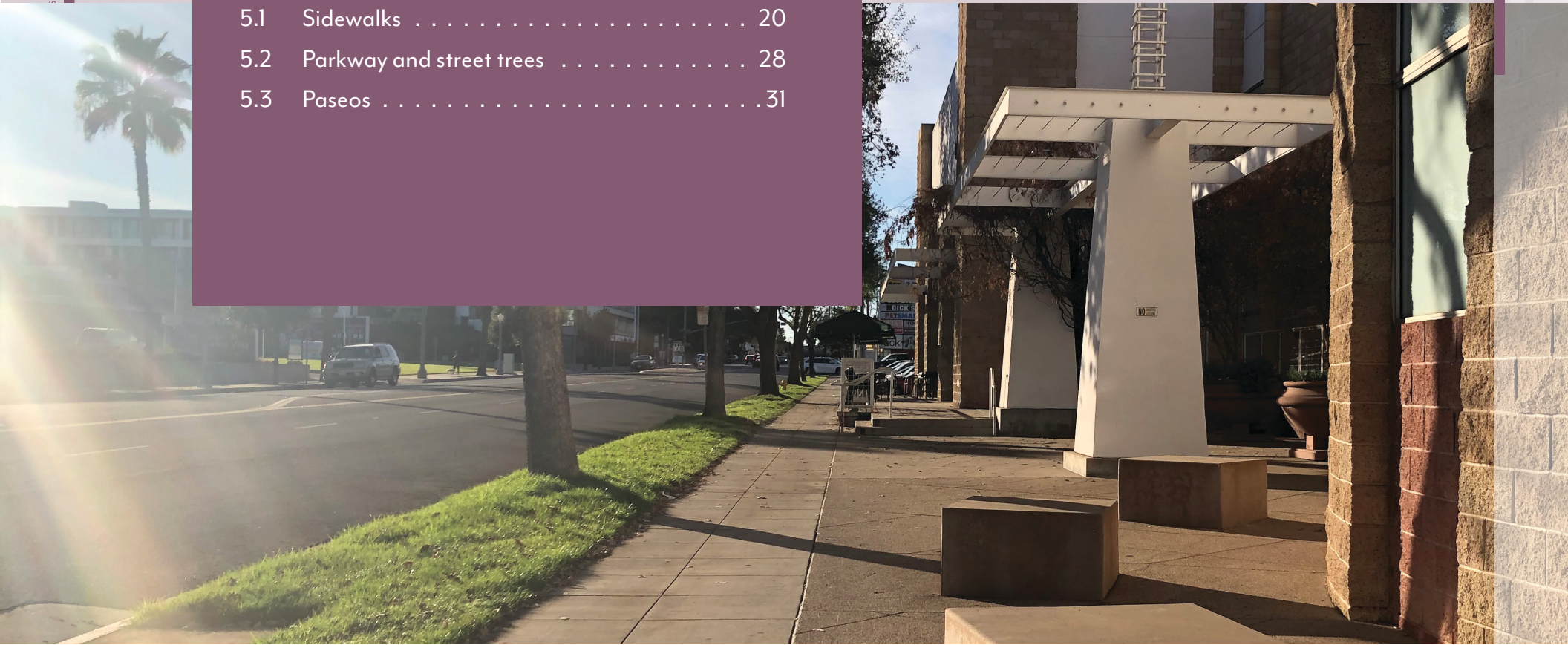
TABLE 4.2-1 SPECIFIC LIMITATIONS:

(L1) Use listed is limited to upper floors and subterranean levels, or allowed on the ground floor behind the first 35 feet from the minimum sidewalk line.

(L2) Use is subject to locational, typology, or other conditions; see standards.

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PUBLIC REALM STANDARDS & DESIGN GUIDELINES

IMPORTANCE

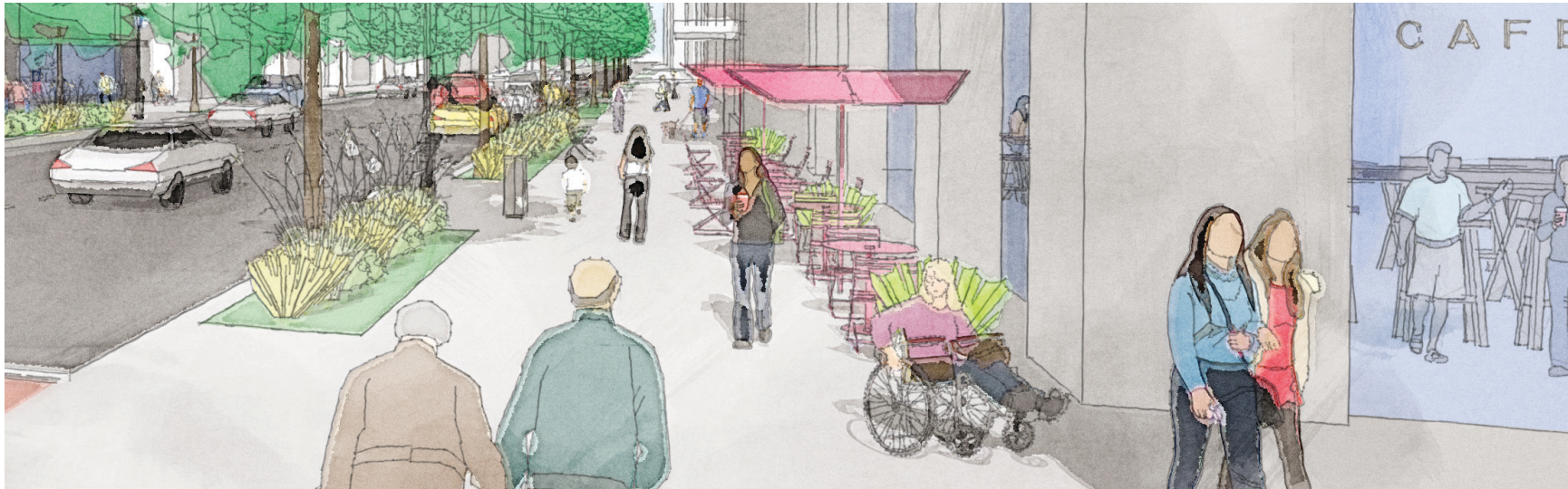
The public realm standards and design guidelines in this chapter serve to implement the General Plan vision for East Pasadena Specific Plan Area and achieve objectives of the Pasadena Street Design Guide and Pasadena Master Street Tree Plan. To improve the public realm for users of all abilities, and to provide enough space for simultaneous uses of the sidewalk, these standards and guidelines ensure that new developments contribute to the safety, accessibility, and connectivity of their surrounding streetscape network. Many features that are critical to ‘walkability’ depend on the width and organization of the sidewalk, and the frequency of connections between amenities and nodes of activity. For example, consistent street trees provide shade and other aesthetic and environmental benefits, and sidewalk seating for restaurants and cafés activate the public realm and boost business. However, the success of both relies on the sidewalk offering ample and well-organized space to prevent conflicts with pedestrians. Walkable neighborhoods also have convenient and intuitive connections, and features such as mid-block pedestrian walkways or “paseos” can reduce walking distance and while adding public open space and additional amenities.

CHAPTER OVERVIEW

The public realm standards and guidelines in this chapter address and regulate pedestrian infrastructure and amenities to support a safe, accessible, and comfortable pedestrian experience. The standards and guidelines are presented in the following pages as follows:

- » **5.1 Sidewalks.** Addresses minimum sidewalk widths and sidewalk zones.
- » **5.2 Parkway and Street Trees.** Addresses parkway dimensions, amenities, and materials. Addresses street tree placement and preferred species.
- » **5.3 Paseos.** Addresses placement and design of mid-block paseos.

Each section includes rationale for the standard followed by sub-sections for individual standards, if applicable. Each standard is introduced in text, table, and/or map format. Diagrams are included for the purpose of communicating measurements, while images are included to illustrate potential outcomes of the standards; neither are suggestive of regulated architectural styles. Supplementary text boxes are provided for additional context on most standards and diagrams.



5.1 SIDEWALKS

The following sidewalk standards are intended to:

- » Ensure a minimum sidewalk width is achieved, appropriate to support future development densities, intensities, uses, and pedestrian volumes;
- » Provide sufficient sidewalk width to support dedicated amenity zones, walk zones and frontage zones; and
- » Increase shade and stormwater capture through increased street trees and parkways.

The following standards are covered in detail in this section:

- » 5.1.1 Sidewalk Zones
- » 5.1.2 Minimum Sidewalk Width

IMPORTANCE OF SIDEWALKS

Sidewalks play an important and multi-faceted role in the built environment, serving as spaces for pedestrian travel, entryways, sidewalk dining, street trees and landscaping, as well as a variety of amenities, such as benches, bus shelters, bicycle racks and trash receptacles. Sidewalk width standards correlate to the level of activity and surrounding densities, intensities, and uses. Ensuring sufficient widths and establishing distinct zones help to ensure that the sidewalk environment can support all functional activities.



Sidewalks with sufficient width can support pedestrian travel as well as space for various amenities, including bus shelters and street trees

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5.1.1 SIDEWALK ZONES

PASADENA STREET DESIGN GUIDE

Pasadena's Street Design Guide provides a framework for understanding the way sidewalks are used, and organizes sidewalks into zones to avoid conflict between various uses and amenities. Requirements vary based on the level of activity, land uses, intensities, and densities, as well as special conditions. Through designating specific zones, the East Pasadena Specific Plan can help enhance the pedestrian experience by increasing sidewalk widths, enabling more shade coverage and opportunities for amenities such as sidewalk seating and landscaping.

The Pasadena Street Design Guide organizes sidewalks into the following three sidewalk zones, which provide a basis for standards in the Specific Plan:

- » **Amenity / Curb Zone.** The Amenity / Curb Zone is the portion of the sidewalk directly adjacent to the street right-of-way. This zone typically includes street trees, street lights, parkways, street furniture, and bus shelters.
- » **Walk Zone.** The Walk Zone is the portion of the sidewalk dedicated to pedestrian travel and should be free of obstruction.
- » **Building Frontage Zone.** The Building Frontage Zone is adjacent to private property and allows for door openings from buildings, bicycle parking, and sidewalk seating.

Figure 5.1-1: Sidewalk Zones



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SIDEWALK ZONE EXAMPLE IMAGES

The images below reflect examples of appropriate conditions for the three sidewalk zones. These examples are illustrative and may not reflect all applicable development standards.

BUILDING FRONTAGE ZONE



Frontage zones may be used to accommodate outdoor dining



Frontage zones may include planters or in-ground landscaping to enhance the ground floor

WALK ZONE



Walk zones of 5 feet allow two people to walk together comfortably



Wider walk zones of at least 7 feet are appropriate for commercial retail areas

AMENITY/CURB ZONE



Amenity zones may include tree wells and bicycle parking



Amenity zones may include grass parkways that accommodate tree growth

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5.1.2 MINIMUM SIDEWALK WIDTH

- A. **Sidewalk Width.** Projects shall provide sidewalks that meet the minimum sidewalk width requirements per Map 5.1-1, as measured from the primary curb line, as illustrated in Figure 5.1-2
1. Where the existing sidewalk right-of-way is less, the Project shall accommodate the minimum sidewalk width with an easement or dedication.
 2. This area shall be paved for use by the general public to the standards specified by Public Works, except for landscaped parkways per Map 5.2-1.
 3. Within the sidewalk width, sidewalk zones shall be provided to the dimensions set in Figure(s) 5.1-3 through 5.1-5.
 4. Improvements shall be installed and maintained by the property owner.
- B. **Amenity Zone.** Sidewalks shall maintain a minimum furnishing and landscaping area at the width illustrated in Figure(s) 5.1-3 through 5.1-5.
1. Parkway and street trees shall be provided to meet the minimum requirements set in Section 5.2.
 2. The Amenity Zone may be used for:
 - a. parkways/street trees,
 - b. seating/street furniture,
 - c. bicycle parking,
 - d. bus shelters, and/or
 - e. driveways.
3. In the CC zone the Amenity Zone shall continue the street tree palette and pattern.
- a. All new development shall be required to increase the number of existing street trees within the parcel frontage.
 - b. Use of thematic palm trees to reinforce the existing character shall be placed at a maximum 55' on-center spacing.
 - c. One (1) London Plane tree, or other tree consistent with the Pasadena Master Street Tree Plan, shall be planted between each palm tree.
- C. **Walk Zone.** Sidewalks shall maintain a minimum continuous path of travel for pedestrians at the width illustrated in Figure(s) 5.1-3 through 5.1-5.
1. This area shall be free of all furnishings, landscaping, or obstructions, and compliant with ADA standards.
- D. **Frontage Zone.** Sidewalks may include a building frontage zone between the Walk Zone and the minimum sidewalk line. A maximum width is illustrated in Figure 5.1-3.
1. The Frontage Zone may only be used for:
 - a. pedestrian travel,
 - b. seating/street furniture,
 - c. outdoor dining (with a public sidewalk occupancy permit),
 - d. landscape planters (to accentuate building entrances only),
 - e. bicycle parking, and/or
 - f. shade structures.

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Public Realm Standards & Design Guidelines

Figure 5.1-2: Minimum Sidewalk Width Measurement

The minimum sidewalk line is the line created by measuring the minimum sidewalk width (as shown in Figure 5.1-2) from the Primary Curb Line. The Primary Curb Line is the predominant back of curb line of a given block, and shall not include “bulb outs” or reductions in sidewalk width at intersections.

As illustrated here, some parcels may not currently provide sufficient width to meet the minimum sidewalk requirement. In these cases, the property owner must provide additional paved area through an easement. FAR shall be calculated based on full parcel area, not the reduced area if required to meet sidewalk width minimum.



Map 5.1-1: Minimum Sidewalk Widths



Minimum Sidewalks

- 15'
- 12'
- 10'

SIDEWALK WIDTHS

The standards of this plan enhance the public realm and sidewalk conditions of East Pasadena to create a more comfortable pedestrian experience. This is achieved by maintaining or expanding the existing sidewalk widths (including parkways) and augmenting the public realm with landscaped setback requirements.

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Table 5.4-1: Sidewalk Zones by Street

	Amenity (minimum)	Walk (minimum)	Frontage (maximum)	Total
Foothill, Rosemead, Halstead, Sierra Madre Villa, N. Kinneloa	6'	6'	0'	12'
Colorado	5'	6'	4'	15'
Other streets	5'	5'	0'	10'

MINIMUM SIDEWALK WIDTH | CROSS-SECTIONS

Figure 5.1-3: 15' Sidewalk (Colorado)

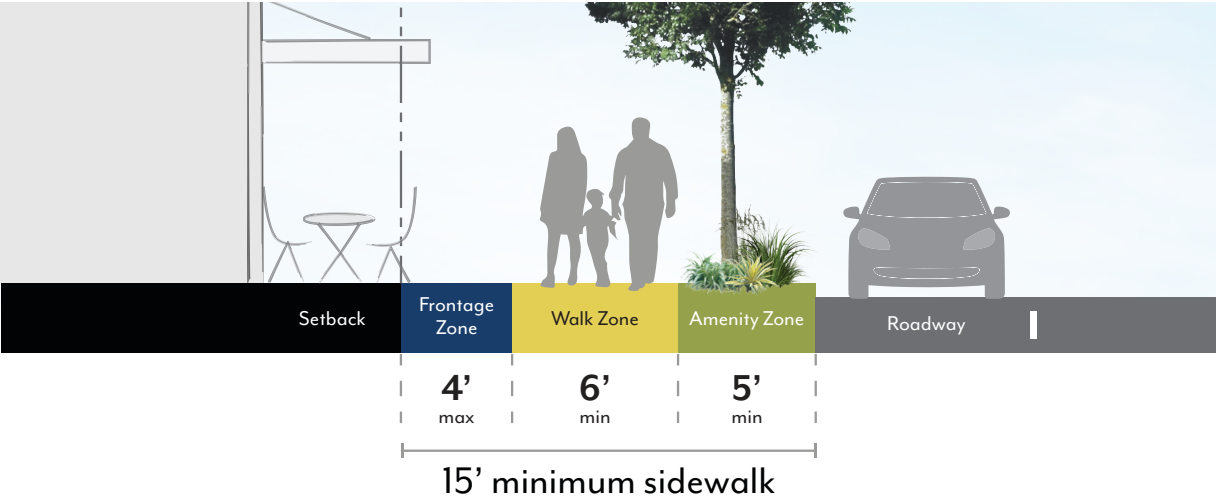
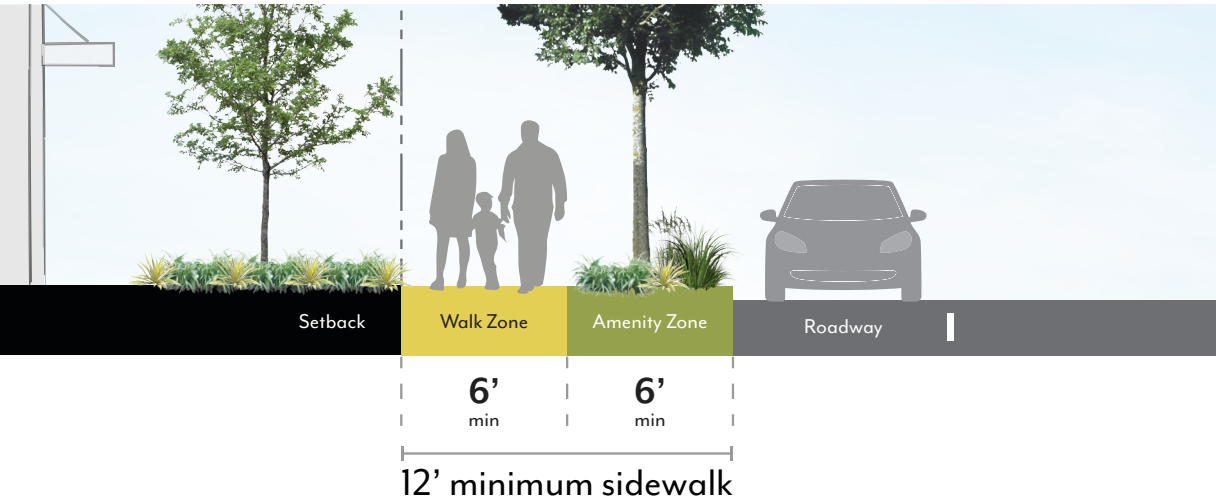


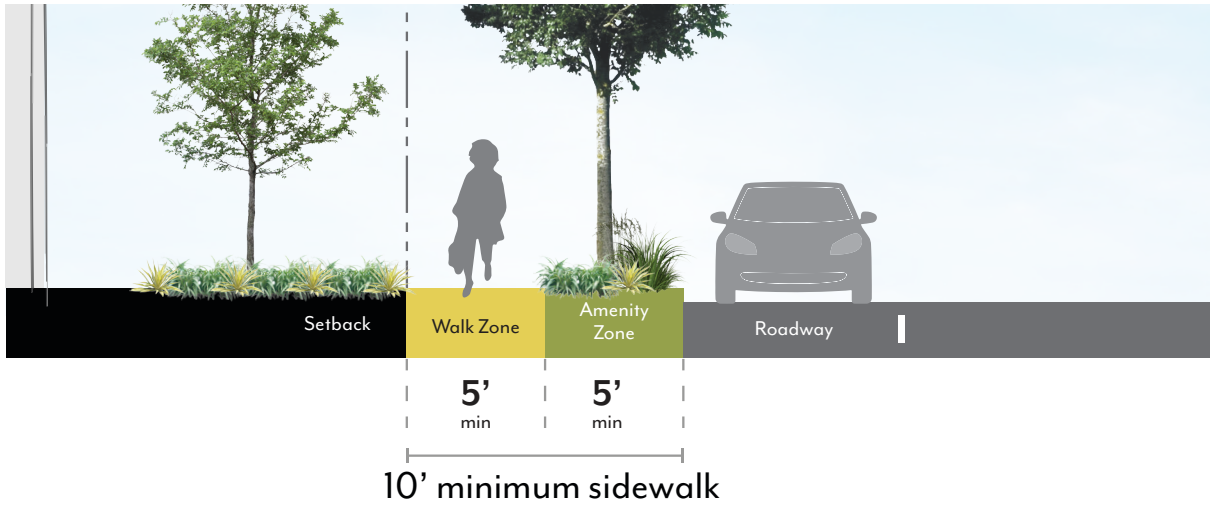
Figure 5.1-4: 12' Sidewalk (Foothill, Rosemead, Sierra Madre Villa, Halstead, N. Kinneloa)



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MINIMUM SIDEWALK WIDTH | CROSS-SECTIONS

Figure 5.1-5: 10' Sidewalk (Other Streets)



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SIDEWALK WIDTH EXAMPLE IMAGES

Sidewalk widths of at least 10' are required throughout the Specific Plan Area to provide space for a clear walk zone and basic amenities such as landscaping, lighting, signage, and bicycle parking. Sidewalks of 12' and 15' are required where feasible to increase flexibility of amenity placement and clear paths of travel.



Example of approximately 15 foot sidewalk



Example of approximately 12 foot sidewalk



Example of approximately 10 foot sidewalk



Example of approximately 10 foot sidewalk

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5.2 PARKWAY AND STREET TREES

The following Parkway standards and guidelines are intended to:

- » Enhance pedestrian conditions through increased landscaping at sidewalk level
- » Provide a visual buffer between parking lane and sidewalk
- » Improve stormwater capture and increase permeability of sidewalk zone
- » Improve street tree health

The following standards and guidelines are covered in detail in this section:

- » 5.2.1 Parkways
- » 5.2.2 Street Trees (section under development)



IMPORTANCE OF PARKWAYS

Parkways are landscaped or permeable areas within the sidewalk that play an important role in today's urban landscape by improving pedestrian comfort, increasing sustainability, and enhancing the aesthetic character of the public realm. Parkways are encouraged in the Pasadena Street Design guide, and are suitable for implementing several green infrastructure strategies included in the City's Green Streets policy. By expanding the permeable area around street trees, parkways increase rain and stormwater capture, leading to improved street tree health and larger tree canopies, which creates cooler temperatures for pedestrians and reduces pollution in our nearby waterways. Parkways also provide a visual buffer between the pedestrian and moving or parked vehicles, which further improves pedestrian comfort and creates a more attractive sidewalk environment. Typically residential neighborhoods can accommodate long, uninterrupted areas of parkways within the sidewalk. In commercial and mixed use areas, available space for parkways may be constrained by bus shelters, street lights, and the need to accommodate higher levels of pedestrian traffic; however, significant parkway opportunities still exist on these corridors.

IMPORTANCE OF STREET TREES

Street trees play an important role in keeping cities livable, sustainable and resilient. Trees improve air quality, increase urban biodiversity, and help reduce carbon emissions. In addition to environmental benefits, trees provide health, social, economic, and aesthetic benefits to communities. Requirements based on guidance from the City's Master Street Tree Plan will increase street tree coverage and require the preservation or introduction of certain tree species. In adherence with these street tree standards and guidelines, new development will contribute to an enhanced shade canopy that helps to reduce the urban heat island effect, decrease sidewalk temperatures, enhance pedestrian comfort, and improve the visual experience of the street.

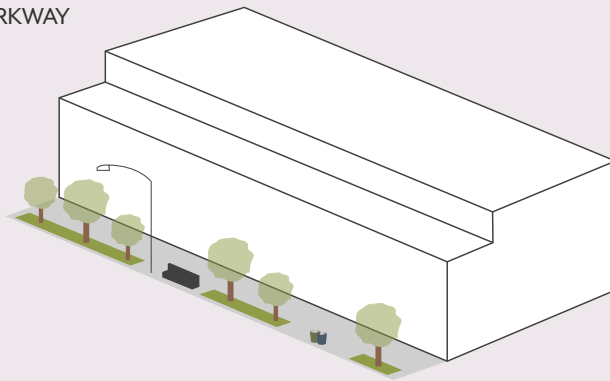
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5.2.1 PARKWAYS

- A. **Minimum parkways.** Projects shall provide parkways for at least 60% of the parcel frontage. Parkway are measured as a percentage of parcel frontage, as illustrated in Figure 5.2-1.
1. Parkway shall be permeable. At least 50 percent of the parkway area shall be comprised of planting, including street trees, shrubs, and groundcover. No more than 50 percent may be comprised of cover materials such as rock, decomposed granite or permeable pavers. Mulch or porous concrete is not permitted.
 2. Parkway shall be designed to capture and retain or treat runoff from the sidewalk. The center 2 inches of the parkway shall be depressed 3-4 inches to form a shallow swale that collects stormwater. Alternative means of storing runoff may be approved by Public Works.

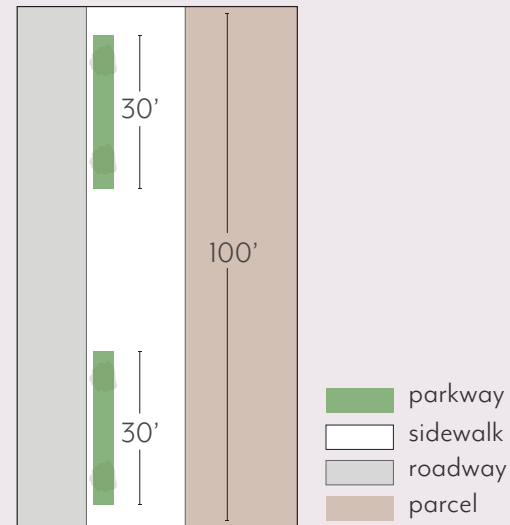
Figure 5.2-1: Minimum Parkway

60% PARKWAY



60% minimum parkway requirement provides room for consistent landscaping and shade tree coverage while allowing for driveways and other amenities or utilities that may be found in a primarily residential environment.

EXAMPLE OF 60% PARKWAY MEASUREMENT



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PARKWAY EXAMPLE IMAGES

The images below reflect examples of appropriate conditions for parkways. These examples are illustrative and may not reflect all applicable development standards.



Commercial or mixed-use parkway



Commercial or mixed-use parkway



Commercial or mixed-use parkway



Residential Parkway



Residential Parkway



Residential Parkway

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5.3 PASEOS

Some developments in the plan area are required to provide paseos to meet requirements for Public Open Space. The location of future paseos are identified in Map 6.4-1. The following Paseo standards and guidelines are intended to:

- » Promote efficient pedestrian connectivity and visual interest by reducing large block sizes and breaking up large developments
- » Provide additional public open space while improving walkability and creating safe spaces for pedestrian travel
- » Encourage placemaking through successful open spaces that can be used for community gathering
- » Increase opportunities for stormwater capture and greening benefits through landscaping

The following standards are covered in detail in this section, with supplementary guidelines included in the adjacent text boxes. Development is required to meet the intent of the paseo design guidelines.

PASEO STANDARDS

- » 5.3.1 Signage
- » 5.3.2 Security and Access
- » 5.3.3 Stormwater Management
- » 5.3.4 Hours
- » 5.3.5 Elevation
- » 5.3.6 Hardscape
- » 5.3.7 Softscape
- » 5.3.8 Lighting
- » 5.3.9 Utilities and Trash Enclosures

IMPORTANCE OF PASEOS

Paseos are pedestrian-only pathways that connect two streets. Paseos function as linear public open spaces that break up large urban blocks and provide additional pedestrian connectivity within neighborhoods. Paseos should be designed to a pedestrian scale and incorporate amenities such as seating, public art, shading, and landscaping. Paseo location requirements are set in the Public Open Space standards and depicted in Map 6.4-1.

Paseos can generally be classified in two categories depending on location and adjacent land uses. The design of paseos should demonstrate an understanding of its function within the larger district based on its type



» **Destination Paseos:** Destination Paseos tend to be located in districts with busy commercial and mixed use activity. These paseos are designed primarily for pedestrian and bicycle access, though they may have restricted vehicular access for service needs. Successful destination paseos are programmed for public gathering to participate in cultural, commercial and recreational activities, outdoor dining, special events, or pausing for respite.



» **Connector Paseos:** Connector Paseos tend to be located in districts with slightly lower pedestrian volumes where walkability may have been previously impeded by large block sizes. Connector paseos may have limited opportunities for adjacent commercial uses, but serve the important function of making walking within a district more efficient and pleasant, while at the same time breaking up development on large blocks.

PASEO STANDARDS

5.3.1 SIGNAGE

- A. Public Open Space shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and include opening hours. In Paseos that have commercial frontages, a directory signage shall be provided at each entry to all paseos. Specific sign guidelines shall be created for all properties with building facades immediately adjoining the paseos.

5.3.2 SECURITY & ACCESS

- A. Bollards shall be provided at all entry points of Paseos to restrict vehicular access. Some bollards shall be removable bollards to provide emergency vehicular access.

5.3.3 STORMWATER MANAGEMENT

- A. At least 25% of the total paved area shall be permeable paving to allow for stormwater infiltration. Depending on Soil and site conditions, infiltration and/or flow-through planters shall be installed to capture and treat 100% of the stormwater run-off on-site.

5.3.4 HOURS

- A. At a minimum, Public Open Space shall be open to the general public from 8am to 8pm.

5.3.5 ELEVATION

- A. Paseos shall be at ground level and comply with ADA regulations if there is a grade change across the paseos.

PASEO GUIDELINES

FRAMING & DIMENSIONS

- » Walls facing the paseo should adhere to façade modulation standards defined in section 6.2.7 and blank walls standards defined in section 6.3.6
- » In addition to meeting the parking standards defined in section 6.5, parking lots or structures facing a paseo should be screened with landscaping or creative, pedestrian-friendly architecture per Design Review/Director Approval.
- » Storefronts (commercial), and unit entries or stoops (residential) should front onto the paseo when possible.
- » Projects should maintain direct sight lines between paseo entrances when possible. If paseos are required to jog due to project constraints, an open space of at least 50 feet x 50 feet at the point of connection is encouraged to increase safety and minimize impacts of obstructed sight lines.
- » Connector paseos should have a cross-sectional proportion of 1:2.5:6 (width: adjacent building height: length of paseos)

ACCESSIBILITY AND SAFETY

- » Paseos should be physically and visually accessible from the public sidewalk.
- » No fences, walls, or entry gates should block passage through the paseo during the established hours.
- » Vehicular access to the paseo should be permitted for fire access and occasional commercial loading only. Commercial loading should be limited to specific hours of low public usage.
- » Paseo entrances, storefronts, unit entries, and stoops facing the paseo should be designed and lighted to prevent hiding spaces.
- » Property owners should close commercial paseos to the public for private events no more than once per month.

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5.3.6 HARDSCAPE

A. Paving.

1. The paving shall be of non-skid durable materials that are decorative and compatible in color and pattern with other design features of the paseos.
2. Paving surfaces shall be of light colored/ high-albedo materials and have a minimum Solar Reflectance (SR) of 0.3 and Solar Reflective Index (SRI) of 29.
3. A maximum of 25% of Public Open Space may be paved in standard concrete. Remaining paved areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate, Permeable paving including open-grid pavement system, and/or other alternative paving per review authority approval.
4. Paving shall be load rated for at least light vehicular load, unless other types of vehicular loads (like emergency vehicles, maintenance trucks etc.) are required.

B. **Seating.** A minimum of 1 linear feet of fixed seating shall be provided per 30 square feet of paseo. 50% of the seating shall have a backrest and armrest. The fixed seating could be individual seats, benches, seat walls, or planter ledges. Seating dimensions shall comply with ADA regulations.

C. **Miscellaneous Site Furnishings.** Site furnishings and fixtures like tree grates, bollards, trash receptacles, drinking water fountains, bike racks etc. shall be durable in harsh weather conditions, vandal resistant, and designed to require low maintenance.

HARDSCAPE

- » Paseos should be paved with high-quality, durable materials that complement the architectural style of adjacent buildings.

SEATING

- » A variety of fixed and movable seating options should be provided. Ideas for seating include: moveable chairs, fixed benches, seat walls, planter ledges, fountain borders, and seating steps.
- » While the minimum seating requirement should be met with seats designed for comfort, additional seating can take more creative forms as part of public art and landscaping designs.



5.3.7 SOFTSCAPE

- A. **Trees.**
1. Trees within Paseos shall be selected in compliance with the Pasadena Tree Ordinance and shall have higher canopy and sited to ensure visibility at the pedestrian level, while maximizing shade.
 2. A minimum of one 24-inch box tree with 4" in caliper or multi-stem equivalent per project or per each 750 sq. ft of Public Open Space, whichever is greater, shall be planted.
 3. For projects with 2 or more trees, at least 50% of trees planted shall be shade trees.
 4. All existing trees shall be protected in place or transplanted in accordance to the Pasadena Tree Protection Ordinance.
- B. **Shrubs/Ground Covers.** A minimum of 25% of Paseos shall be planted area at least 30 inches in each dimension. For safety reasons, planting shall be chosen to ensure clear sight lines across the paseos at full plant maturity.
- C. **Vertical landscaping.** Vertical landscaping may substitute for planted area, in which case the area requirement is halved. Green walls shall consist of their own substructure and dedicated hydration system; green facades, composed of climbing vines or other plants, are not considered vertical landscaping for the purposes of this standard.
- D. **Invasive Species.** To prevent introduction of an invasive species, plant material shall be selected in compliance with the California Department of Food & Agriculture, California Invasive Plant Council, and Natural Resources Conservation Service (NRCS) policy and requirements regarding invasive species.
- E. **Soil depth.** To ensure livelihood of planting and trees, soil depths of at least 18 inches for grass or ground cover; 3 feet for shrubs; and 3 feet, 6 inches for trees shall be provided.
- F. **Irrigation.** All plant materials shall be selected in compliance with Model Water Efficient Landscape Ordinance (MWELO) Drainage systems are also required in planted areas located above subsurface structures such as garages or basements.

SOFTSCAPE

- » Landscaped areas should contain a combination of low, medium, and tall plant materials as appropriate. Larger plants and shade trees should be placed to allow for clear walkways.
- » Landscaping should be used to activate building facades, soften building contours, highlight important architectural features, screen less attractive elements, add color, texture, and visual interest, and provide shade.
- » Landscape elements in non-fixed planters are encouraged to enhance areas where in-ground landscaping is infeasible or limited.
- » The property owner or his/her agent should maintain landscaping within the paseo.



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5.3.8 LIGHTING

- A. Pedestrian scale light poles or light fixtures mounted on building façade shall be used and conform to the latest State of California Green Building Standards Code and California Energy Code.

5.3.9 UTILITIES & TRASH ENCLOSURES

- A. Any above-grade utilities shall be in aesthetically pleasing enclosures, securely locked, and be designed to complement the Paseos overall character and design.



LIGHTING

- » Paseos should include a sufficient amount of lighting for night-time use.
- » Lighting should be an integral component of the overall paseo design and is encouraged to be incorporated in public art.
- » Lighting should be pedestrian scaled, including both low-level pathway lighting and overhead wall mounted fixtures.

AMENITIES & PROGRAMMING

- » A waste receptacle should be provided for every 5,000 square feet of the paseo (i.e. two for a paseo 400 feet in length)
- » Waste receptacles should be clearly marked and designed to complement surrounding architecture and materials.
- » A mix of direct sunlight and shade should be provided through shade structures, landscaping, and building massing.
- » Paseos should include at least one special feature such as a public art piece or water feature.
- » Bike racks and scooter parking areas should be provided near entrances, without obstructing walkways.
- » Paseos should be considered sidewalks for the purposes of permitting street vending in compliance with Pasadena Municipal Code Section 12.10 - Sidewalk Vendors and California Senate Bill 946 (Safe Sidewalk Vending Act).
- » Non-transactional programming should be encouraged to activate the space without financial barriers to entry.

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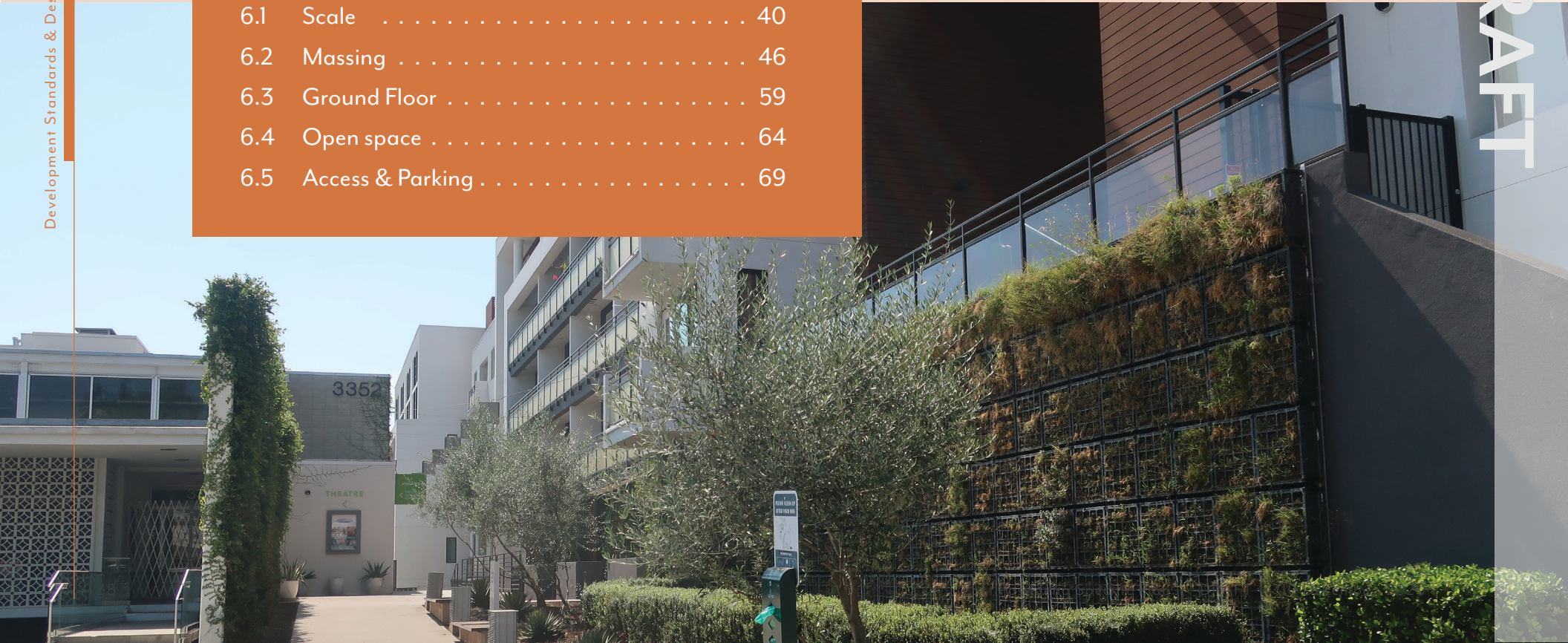
A well-designed paseo provides an attractive, engaging pedestrian connection with amenities like special lighting, paving, landscaping, seating, and water features. This illustrative rendering reflects a wide variety of potential features, and does not represent a specific location or all applicable development standards in the East Pasadena Specific Plan Area.



Ch. 6 Development & Design Standards

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DEVELOPMENT & DESIGN STANDARDS

IMPORTANCE

The development and design standards in this chapter serve to implement the General Plan vision for East Pasadena Specific Plan Area:

“A semi-urban environment with higher-density mixed-use developments incorporating retail, office and housing uses to provide increase opportunities encourage transit use and walking.”

Development and design standards can both regulate and stimulate development to achieve this vision. The standards identified for the East Pasadena Specific Plan facilitate commercial R&D office and retail centers, and aim to strengthen economic vitality by supporting existing businesses by providing opportunities for new multi-family housing near transit. While the standards in this chapter are focused on achieving a forward-thinking vision, they also serve to guide development with contextual sensitivity to historic landmarks and neighboring residential communities.



CHAPTER OVERVIEW

The development and design standards in this chapter address and regulate new development, working together to facilitate high-quality, context-sensitive buildings which support growing employment and retail centers, a pedestrian-oriented village surrounding the Sierra Madre Villa Metro station, and increased multi-family housing opportunities. The following standards are presented in this chapter:

- » **6.1 Scale.** Addresses residential density, commercial intensity, and building heights.
- » **6.2 Massing.** Covers a series of development and design standards which work together to shape development.
- » **6.3 Ground Floor.** Focuses on the street level of developments.
- » **6.4 Open Space.** Introduces standards for private, common, and public use.
- » **6.5 Access & Parking.** Addresses vehicle access and parking standards, as well as standards which address parking garages.

Each section includes rationale for the standard followed by sub-sections for individual standards, if applicable. Within each standard, introductory text is provided for additional context, followed by standards in text and/or table format with diagrams and images to illustrate regulations. Note that diagrams and images are provided to communicate measurement and intent of the standards; neither are intended to suggest the use of particular architectural styles.

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6.1 SCALE

The General Plan Land Use Element designates a range of intensities and densities in the East Pasadena Specific Plan Area to focus growth into key sub-areas and in proximity to the Sierra Madre Villa Metro L Line station, and to support economic vitality while preserving and complementing the existing scale.

The standards in this section are intended to:

- » Implement the General Plan densities (du/ac) and floor area ratios (FAR)
- » Concentrate development adjacent to the Sierra Madre Villa Metro Gold Line station, reducing densities outward as transitions to neighboring residential neighborhoods.
- » Provide scale to accommodate the clustering of pedestrian-oriented retail, office, and multi-family housing uses to reduce driving, contributing to reductions in vehicle trips, energy consumption, and GHG emissions.

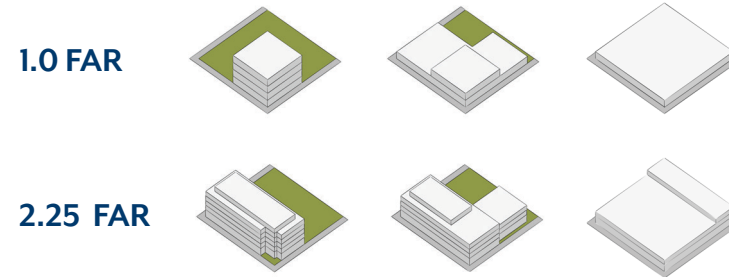
The following standards are covered in detail in this section:

- » 6.1.1 Density and Intensity
- » 6.1.2 Height



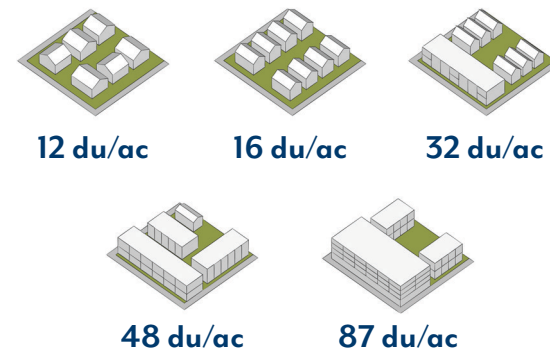
FLOOR AREA RATIO (FAR)

FAR is the calculation used for measuring non-residential or mixed-use development intensity, describing the total permitted floor area in relation to the total area of the development site. The diagrams below demonstrate how each FAR value can apply to a variety of building forms.



DWELLING UNITS PER ACRE (DU/AC)

Dwelling Units per Acre (du/ac) is the calculation used for measuring residential density, describing the number of residential housing units permitted in relation to 1 acre of land. The diagrams below reflect how various densities take shape on a 0.5 acre plot of land.



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6.1.1 DENSITY AND INTENSITY

- A. **Dwelling Units per Acre.** Projects that include any dwelling units, including mixed-use, shall not exceed the allowable dwelling units per acre (du/ac) set in Table 6.1-1.
1. The maximum is based on gross parcel size; a reduction in buildable area due to dedications/easements or setbacks shall not reduce allowable maximums.
 2. **CRDC Zone.** See Map 6.1-2 for locations.
 - a. CRDC area A: Density may be permitted up to 32 du/ac. subject to a Planned Development application; until such an application is approved the CRDC zone is intended as non-residential. See Map 6.1.2 for applicable location.
 3. **MU-1 Zone.** If residential is built north of Mataro Street, then allowed density facing Sierra Madre Villa Avenue shall be subject to the following typology limitations:
 - a. Residential shall be limited to a single-family attached or detached housing type that faces the street within 30 feet of the Sierra Madre Villa Avenue minimum sidewalk width.
 - b. Greater than 30 feet from the minimum sidewalk width, other non-residential or mixed-use typologies are permitted and shall be oriented toward the interior of the lot.
 4. **MU-2 Zone.** East of Rosemead Boulevard consistent with Map 4.2-1, development is limited to non-residential uses within 150 feet of the E. Foothill Boulevard minimum sidewalk width.
- B. **Unit mix.** For Projects with 50 dwelling units or more, at least 20% of the total number of units shall have three bedrooms or more.
- C. **Floor Area Ratio.** Projects that include any non-residential space, including mixed-use, shall not exceed the allowable floor area ratio (FAR) set in Map 6.1-1. The maximum is based on gross parcel size; a reduction in buildable area due to dedications/easements or setbacks shall not reduce allowable maximums.

SCALED DEVELOPMENT & HOUSING NEEDS

Density, FAR, and height maximums and aim to concentrate development adjacent to the Sierra Madre Villa Metro Gold Line station, reducing densities outward as transitions to neighboring residential neighborhoods, and providing appropriate scale to accommodate the clustering of pedestrian-oriented retail, office, and multi-family housing uses. Unit mix requirements encourage inclusion of family-sized housing options.

Table 6.1-1: Density/Intensity by Zoning

	CC	CO	CNS	CRDC	MU -1	MU -2	MU -3	MU -4
Max. du/ac	—	—	—	* See Map 6.1-2	32	32	64	87
Max. FAR	1.5	1.0	1.0	* See Map 6.1-1	1.0	1.0	2.25	3.0
Max. height	45'	45'	36'	56'	39'	45'	51'	75'

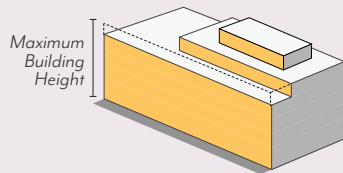
*See Map 6.1-2 for location of potential allowed density subject to a Planned Development application; other indicated locations may introduce residential subject to a General Plan amendment.

“—” = Not Applicable

6.1.2 HEIGHT

- A. **Building Height.** Projects shall comply with the allowable height limits set in Table 6.1-1 and Map 6.1-3.
1. Height is measured from the existing grade of the site to an imaginary plane located above but parallel to the grade.
 2. Exceptions allowed for projecting features such as appurtenances and railings per PMC17.40.060.
- B. **Varied Roof Lines.** The maximum allowable height of each building measured to the top of a projection may exceed the maximum building height by up to 12 feet for no more than 30% of the proposed footprint of that respective building.
1. Multiple buildings with an above-grade connection shall be treated as one building with a combined proposed footprint area. Buildings connected only through subterranean parking shall be considered separate when calculating proposed footprint area.
 2. This allowance is not applicable to other development standards relating to building scale and massing, such as stepbacks.
 3. This allowance may not be used with the height concession set in PMC17.43.055.

Figure 6.1-1: Maximum Height



Height is measured from the existing grade of the site to an imaginary plane located above but parallel to the grade. Diagram reflects a varied roof line condition, including additional height for up to 30% of building footprint.

Note: Diagram used for measurement illustration purposes only.



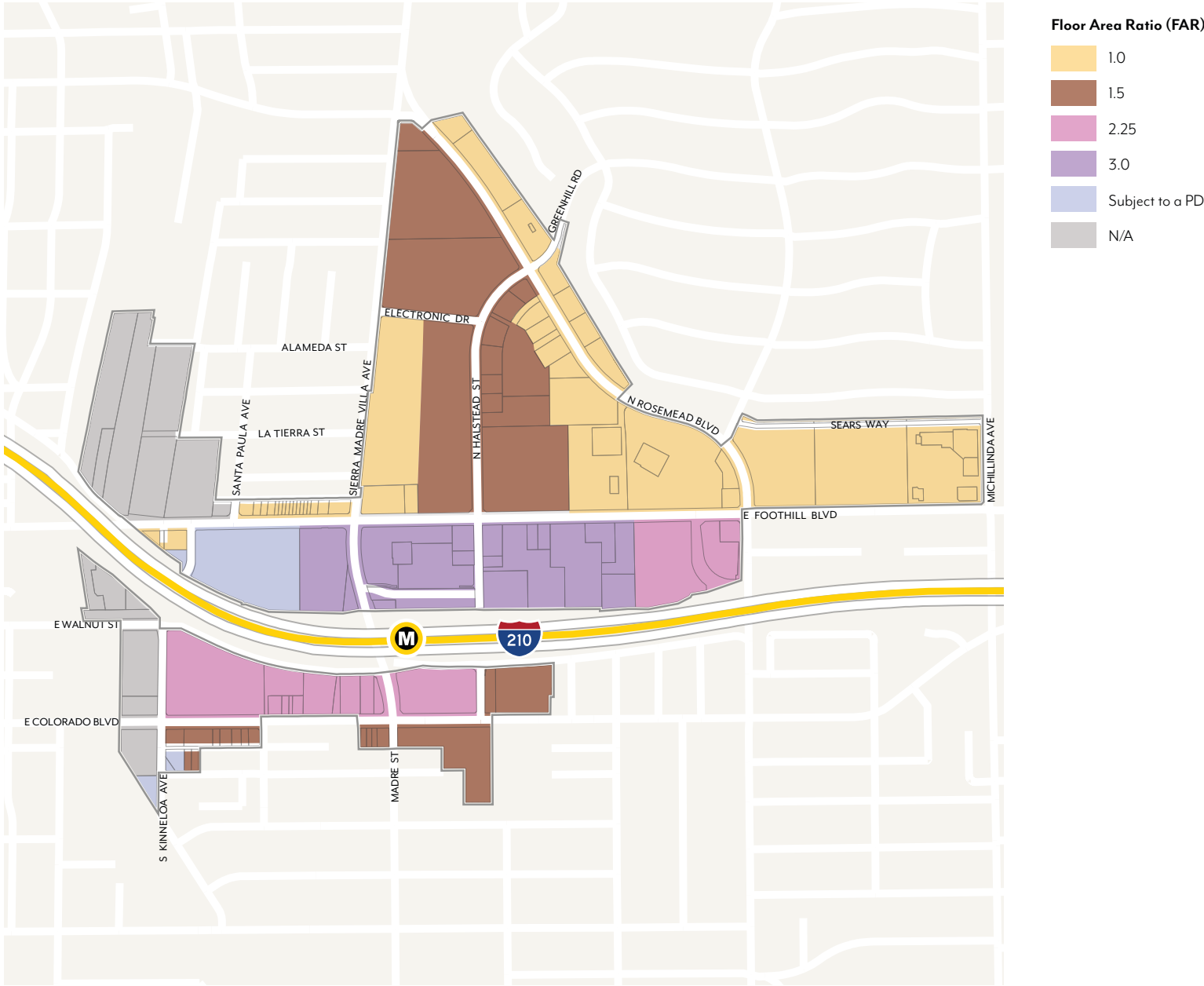
Example of approximately 39' foot building



Example of approximately 56' foot building

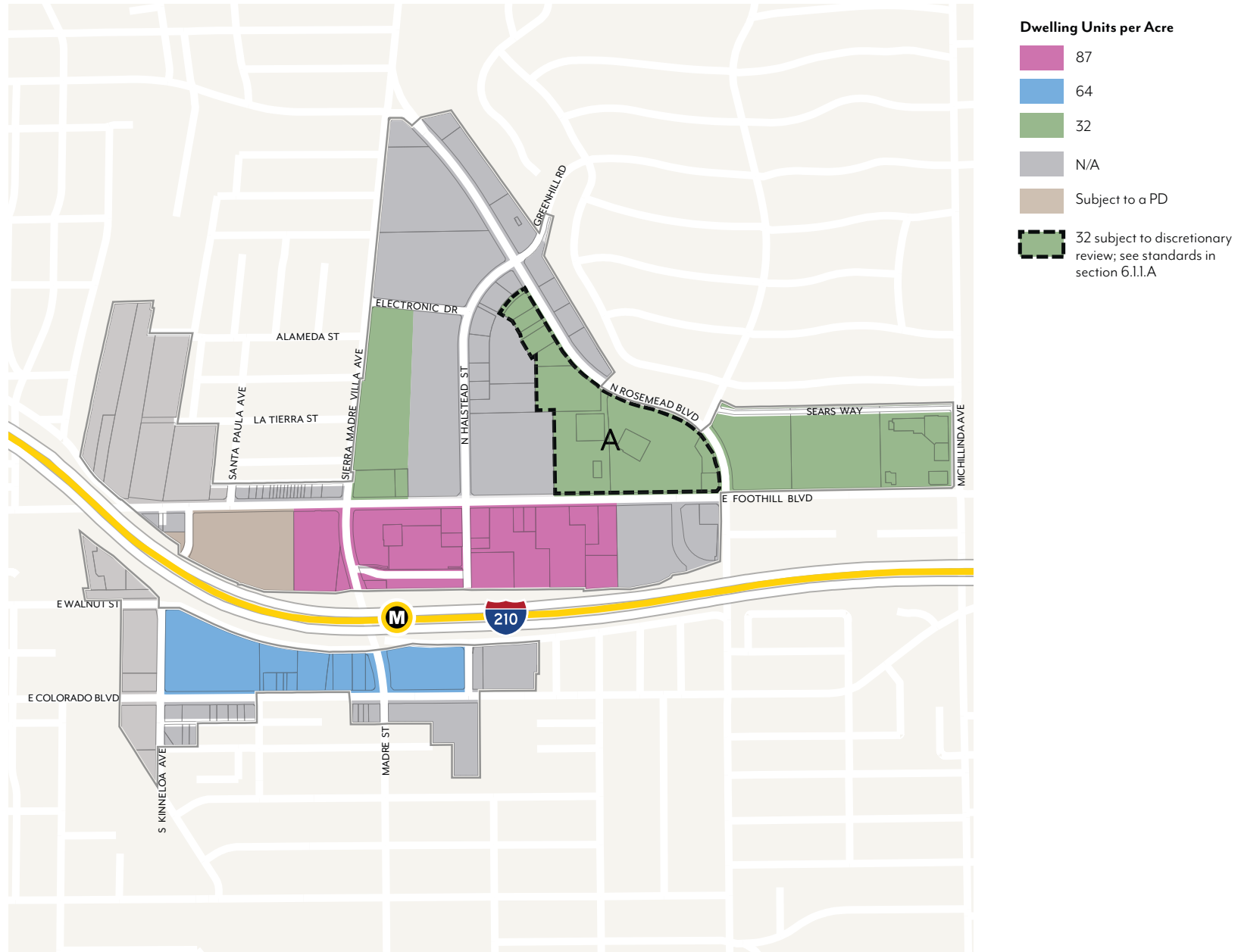
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Map 6.1-1: Maximum Floor Area Ratio (FAR)



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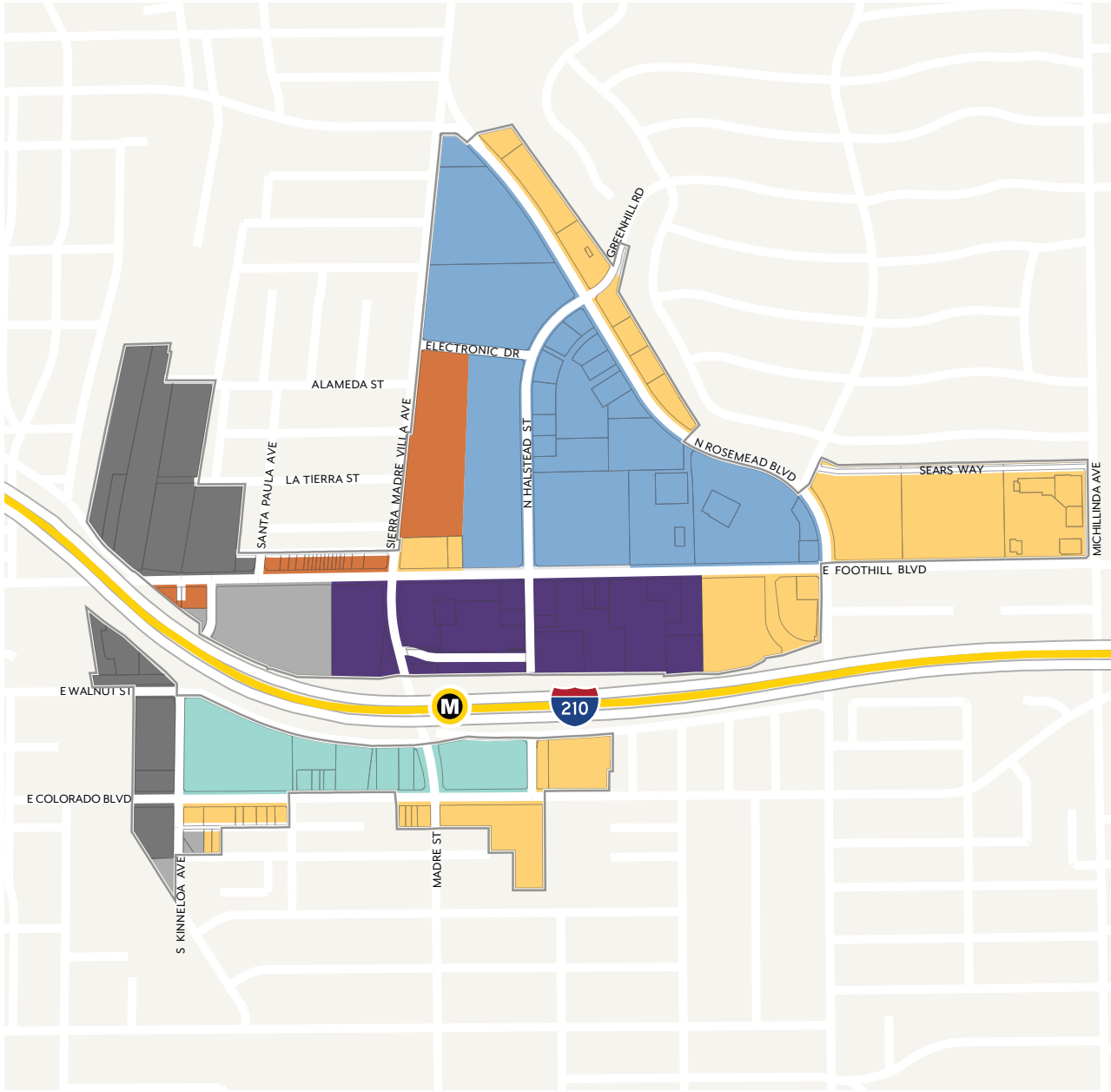
Map 6.1-2: Maximum Density (du/ac)



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Map 6.1-3: Maximum Building Height

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- Building Heights**
- 39 ft.
 - 45 ft.
 - 51 ft.
 - 56 ft.
 - 75 ft.
 - Specified by PMC
 - Specified by PD

BUILDING HEIGHTS

The building height standards of this plan are based on the type of development anticipated for each area. For example, the 51-foot height maximum reflects an appropriate building height to achieve employment or residential over ground floor commercial; the 56-foot maximum is based on standard building practices for employment and non-residential uses.

6.2 MASSING

The standards in this section are intended to:

- » Shape development in a manner that creates a defined public realm and appropriate scale of buildings for a visually appealing community.
- » Reduce building massing adjacent RS zones through setback and stepback requirements that create appropriate transitions to residential neighborhoods.
- » Require appropriate transitions to registered historic structures and districts.
- » Support high-quality architecture and urban design with articulation and modulation requirements.

The following standards are covered in detail in this section:

- » 6.2.1 Street Setbacks
- » 6.2.2 Alley Setback
- » 6.2.3 Interior Setback
- » 6.2.4 Freeway Separation
- » 6.2.5 Upper Story Stepback
- » 6.2.6 Historic Adjacency
- » 6.2.7 Façades

SHAPE & DESIGN OF DEVELOPMENT

Building massing contributes to the overall shape and design of development. Through building setbacks, developments can allow for landscaping, seating and shade structures, as well as public plazas and open space. Between buildings, development can step back from the property line to help ensure context-sensitive massing transitions, including transitions to residential neighborhoods or historic properties. Streetwall height and façade modulation work together with the range of massing tools listed above to contribute to attractive and pedestrian-scaled buildings by balancing linear visual consistency with interest and variety.



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6.2.1 STREET SETBACKS

- A. **Street Setback.** Projects shall comply with the setback ranges and minimums set in Table 6.2-1 and Map 6.2-1. Setback ranges shall be met for at least the percent of street frontage in Table 6.2-1. While the remaining percentage of street frontage may exceed the maximum, setbacks less than the minimum are not permitted.
1. Street setbacks are measured from the minimum sidewalk line.
 2. **CRDC Zone.** The 10 feet to 15 feet setback condition on the east side of Halstead Street shall apply to the first 100 feet of frontage along Halstead as measured from E. Foothill Boulevard minimum sidewalk line.
 3. **MU-1 Zone.** Street setbacks shall be determined based on development type.
 - a. A 10 foot minimum setback shall apply to residential single-family or multi-family townhome-style development facing Sierra Madre Villa Avenue; the setback shall be maintained with landscaping.
 - b. A 20 foot to 30 foot setback shall apply to any non-residential, multi-family (other than townhomes) or mixed-use development; the existing prevailing setback conditions facing Sierra Madre Villa Avenue shall be maintained with landscaping required in the setback. See landscaping requirements in section 6.2.1.A.10.a.
 4. In CRDC Zone, non-residential additions less than 30% of the existing building footprint are exempt from the street frontage requirement.

Table 6.2-1: Setbacks by Zoning District

“—” = Not Applicable

Adjacent Street	CC	CO	CNS	CRDC	MU-1	MU-2	MU-3	MU-4
Street frontage	50%	40%	—	40%	40%	40%	50%	50%
Foothill Blvd	10'-15'	—	0'-5'	5-15'	—	See Map 6.4-1	—	10'-15'
Rosemead Blvd	5' min.	10'-15'	—	10'-20'	10'-20'	—	—	—
Sierra Madre Villa Ave/Madre St	5' min.	—	—	20'-30'	10' min. or 20'-30'; See Section 6.2.1.A.3	5'-10'	5'-10'	5'-10'
E. Colorado Blvd	3'-5'	—	—	—	—	—	See Map 6.4-1	—
Halstead St (east)	5' min	—	—	See Map 6.4-1	—	—	5' min	None Required
Halstead St (west)	—	—	—	10'-15'	—	—	5' min	None Required
Walnut St	10' min.	—	—	—	—	—	10' min.	—
Sears Way	—	—	—	—	—	10' min.	—	—
Other streets	5' min.	10' min.	None Required	10' min.	—	20' min.	5' min.	None Required
Adjacent RS	15' min.	—	—	—	—	—	—	—
Other interiors PL	None Required	5' min.		None Required				

5. Openings such as arcades and recessed ground floors up to 15 feet in depth are permitted if structural elements (i.e. columns, upper stories) meet the specified setback ranges.
6. Exceptions allowed per PMC17.40.160 (Table 4-1).
7. Fences, dense hedges, raised planters and freestanding walls are permitted within the street setback subject to the following conditions. Only fences and walls are permitted within the Street Setback in front of individual dwelling units, subject to PMC17.40.180.
 - a. Fences, raised planters and freestanding walls shall be located a minimum of 3 feet from the required minimum sidewalk line; planting or hedges shall be provided between the minimum sidewalk line and the feature.
 - b. Those that are less than 50% transparent shall have a maximum height of 30 inches in height, as measured from sidewalk grade at the minimum sidewalk line.
 - c. Those that are at least 50% transparent shall have a maximum height of 42 inches in height, as measured from sidewalk grade at the minimum sidewalk line.
 - d. Exceptions allowed for guardrails, which may exceed the maximum height to the extent required by the Building Code. The guardrail shall be at least 50% transparent.
8. Other features allowed within the street setback include:
 - a. Landscaping/planters,
 - b. Hardscape (e.g. stoops, patios, pedestrian access),
 - c. Seating furniture,
 - d. Lighting features,
 - e. Shade structures, and
 - f. Other open space amenities per review authority approval.

9. **CC Zone required street setback features.**
 - a. In CC, the minimum 3 foot front setback along E. Colorado Boulevard shall be landscaped; the existing parkway shall be maintained or enhanced with additional street trees and planting.
10. **MU-1 Zone required street setback features.**
 - a. Required setback for non-residential development, multi-family (other than townhomes), or mixed-use development shall be landscaped to maintain the existing prevailing setback conditions and landscape character.
 - i. Plant minimum of 3 trees per 15 linear feet of street frontage.
 - ii. Structure plantings to be lower in height adjacent to the sidewalk and tallest at the backside of the setback against the building.
 - iii. Shrub plantings may be used for screening but should be designed so as to not create unsafe or hidden conditions.
 - iv. Incorporate stormwater management features within the setback to capture water discharged from roofs and other drainage pipes. Refer to LID requirements for acceptable site-specific measures. Downspouts and pipes are not permitted to drain directly to the surface of planting areas or hardscape areas.
 - v. No more than 10% of the setback area may be paved, excluding paving areas necessary for egress or utility access.
 - vi. Signage is not permitted.

11. **MU-2 Zone required street setback features.**

- a. Sears Way requirements:
 - i. Required street setback from Sears Way shall be landscaped with tree and shrub vegetation to create a buffer from existing homes to the north of Sears Way.
 - ii. Placement of a block wall within the required street setback is encouraged to increase privacy for existing homes to the north of Sears Way.
 - iii. Grading or tiering to manage elevation change is permitted in the required setback.
 - iv. Garages, front entries, patios, balconies and roof decks are encouraged to face away from Sears Way.
 - b. E. Foothill Boulevard requirements. Projects between Rosemead Boulevard and Michillinda Avenue shall provide a landscape edge within the required setback from E. Foothill Boulevard. Landscaping shall include at minimum one 24 gallon tree per 25 linear feet of street frontage.
12. Parking is prohibited in all required setbacks.

6.2.2 ALLEY SETBACK

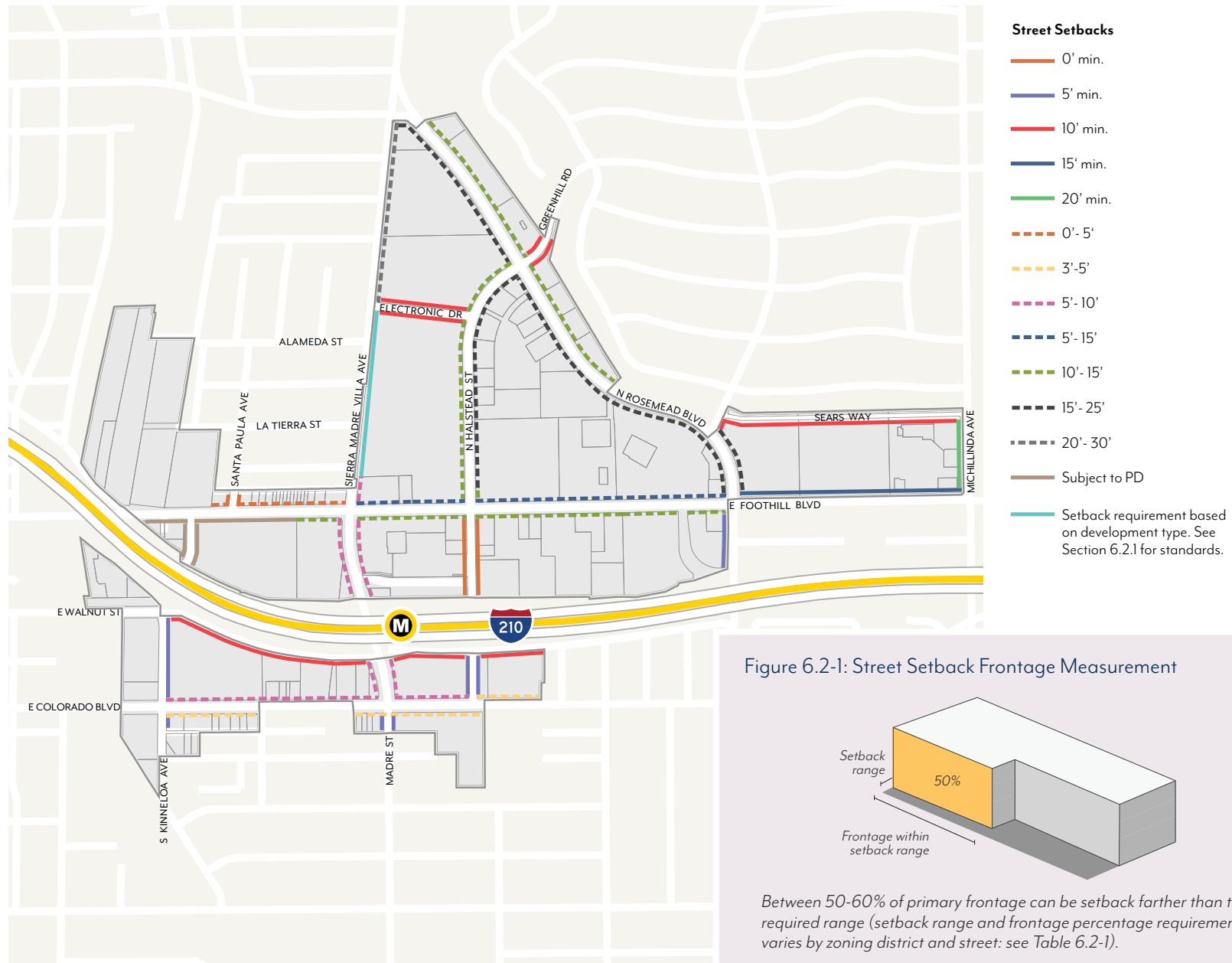
- A. **Alley Setback.** No setback is required along alleys.

6.2.3 INTERIOR SETBACK.

- A. **Interior Setback.** No setback is required along interior property lines for mixed-use and commercial zones. Any zone adjacent to existing residential buildings shall provide a 15-foot interior setback from that property line.
 1. Interior setbacks are those abutting private parcels (interior side and rear) and are measured from the property line.
 2. Exceptions allowed per PMC17.40.160 (Table 4-1).

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Map 6.2-1: Street Setbacks



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STREET SETBACK EXAMPLE IMAGES

Street setbacks refer to the space between the public sidewalk and a building. The images above reflect a range of setback conditions allowed in sub-areas throughout the East Pasadena Specific Plan. Setback standards create a consistent streetwall and help achieve an appropriate level of interaction between the public realm and private properties. Setbacks can enhance the building frontage zone by providing room for landscaping and outdoor dining. Wider setbacks provide a buffer between the sidewalk and residential properties.



Example of 5 foot setback



Example of 10 foot setback



Example of 10 foot setback



Example of 15 foot setback



Example of Recessed Ground Floor



Example of Arcade

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6.2.4 FREEWAY SEPARATION.

A. Freeway Separation.

1. Residential uses on parcels adjacent to the freeway or Walnut Street shall be oriented away from the freeway corridor and toward the identified primary frontages (see section 4.1); other orientations shall be subject Design Review/Director Approval.
2. Parking structures and loading or functional portions of the building shall be oriented toward the freeway corridor or take access from the frontage road; other orientations shall be subject Design Review/Director Approval.
3. Consistent with the General Plan EIR MMRP, residential uses that are within the recommended buffer distances listed in Table 1-1 of the CARB Handbook shall submit a health risk assessment (HRA) to the City of Pasadena to demonstrate risk reduction measures. This may include but is not limited to:
 - a. Air intakes oriented away from high-volume roadways and/or truck loading zones.
 - b. Heating, ventilation, and air conditioning systems of the buildings provided with appropriately sized maximum efficiency rating value (MERV) filters.
 - c. Heating, ventilation, and air conditioning systems for units that are installed with MERV filters shall maintain positive pressure within the building's filtered ventilation system to reduce infiltration of unfiltered outdoor air.
 - d. Other measures or standards consistent with the most current CARB standards shall apply.
4. Common open space required of residential or mixed-use development shall be located a minimum of 100 feet from the freeway corridor or Walnut Street, whichever is greater. A larger dimension may be required consistent with appropriate air quality standards based on the project HRA.

6.2.5 UPPER STORY STEPBACKS

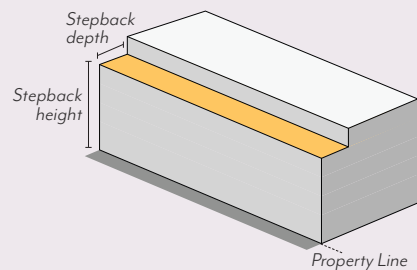
- A. **Upper Story Stepback.** Projects shall comply with stepbacks set in Map 6.2-2.
1. Stepback height is established in Table 6.2-2 and shall be measured from the lowest elevation of the existing grade on the minimum sidewalk line. Stepback depth is measured from the minimum sidewalk line.
 2. Allowed uses within the Stepback include balconies, patios, trellises, green roofs, and other open space features per review authority approval.

NEIGHBORHOOD TRANSITIONS

Stepbacks help ensure that building mass and height is distributed appropriately, creating transitions between the highest point of a building and neighboring structures. Interior stepbacks from adjacent residential properties create scale transitions between zones.



Figure 6.2-2: Minimum Stepbacks

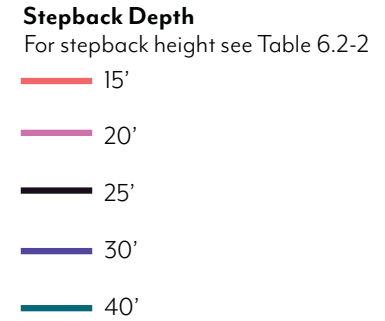


Projects shall step back the depth from the property line at the height set in Table 6.2-2.

Note: Diagram used for measurement illustration purposes only.

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Map 6.2-2: Upper Story Stepbacks



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Table 6.2-2: Stepback by Zoning District "—" = Not Applicable

	CC	CO	CNS	CRDC	MU-1	MU-2	MU-3	MU-4
Depth	See Map 6.2-2; stepback measured from minimum sidewalk line unless otherwise noted							
Above Height	30' ¹	—	—	40' ²	24'	36'	36'	51'

¹ Only applies to locations indicated in Map 6.2-2
² In addition to the from street stepbacks illustrated by Map 6.2-2, a 15 foot stepback shall be required for all building facades that are not subject to street stepback.

6.2.6 HISTORIC ADJACENCY

- A. **Landmark Properties.** Projects on parcels with a designated historic resource shall comply with the Secretary of the Interior’s Standards for Rehabilitation.
- B. **Transition Massing.** Projects sharing a property line with a designated historic resource are subject to the following standards.
 1. **A modified minimum street setback** shall be an average of the minimum setback in Table 6.2-1 and that of the resource for at least 20 feet from the shared property line.
 - a. If between two resources, the street setback shall be an average of the setbacks of the two resources.
 2. **A maximum streetwall** height shall be no higher than the height of the historic resource for at least 20 feet from the shared property line. A setback at least 10 feet in depth is required above this height, measured from the modified minimum street setback.
 3. **A maximum stepback** height on the interior property line adjacent the resource shall not exceed an encroachment plane sloping upward and inward at a 30-degree angle measured from the vertical, commencing 20 feet above the existing grade at the property line.
 - a. This stepback is waived where the adjacent historic resource is built to the shared property line.

HONORING HISTORIC SIGNIFICANCE

In addition to preserving historic landmarks throughout the district, modified standards for adjacent properties ensure that historic structures do not appear diminished or incongruous with new developments that take form in the surrounding area.



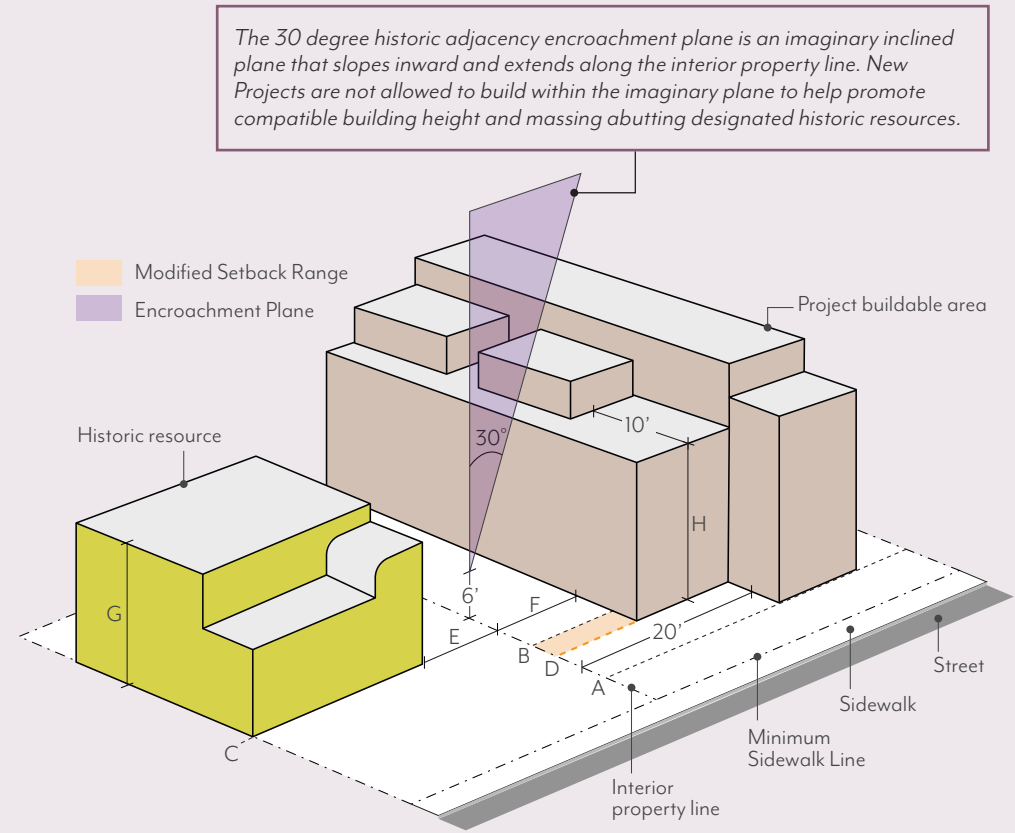
The Stuart Company Building, 3360 East Foothill Boulevard, built 1958



Engine Co. 37, 3430 East Foothill Boulevard, built 1952

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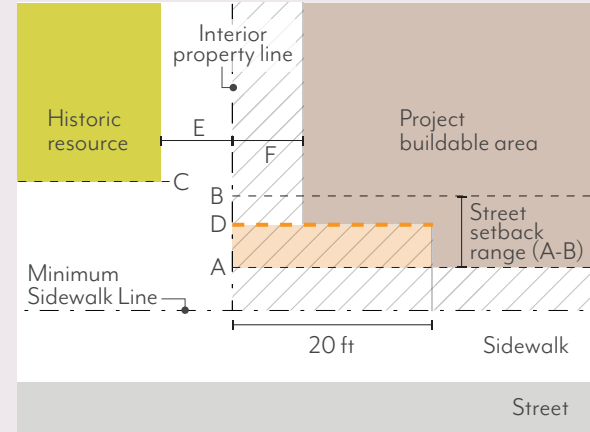
Figure 6.2-3: Historic Adjacency Transition Massing



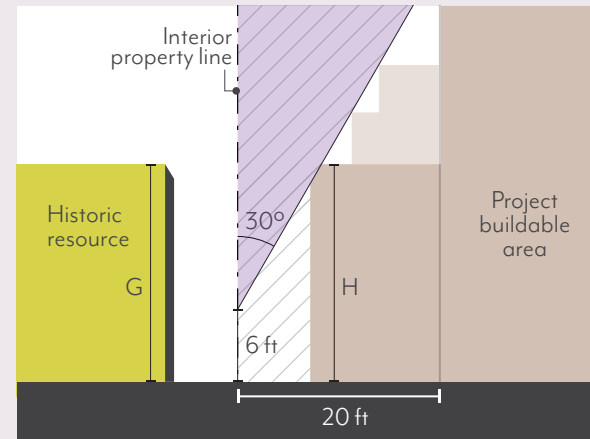
- A: Minimum street setback from setback range
- B: Maximum street setback from setback range
- C: Street setback of historic resource
- D: Modified minimum street setback (average of A & C) within 20' of Interior property line

- E: Interior setback of historic resource
- F: Interior setback of project
- G: Height of historic resource
- H: Maximum height before stepback of 10' in depth within 20' of Interior property line

PLAN VIEW



ELEVATION VIEW



Note: Diagrams used for measurement illustration purposes only.

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6.2.7 FAÇADES

- A. **Dimensions.** Street facing facades and facades with front entries over 150 feet in length shall include a break of at least 10% of the building length or 20 feet wide, whichever is more. This break shall be at least 10 feet deep, open to the sky.
1. Exceptions:
 - a. Residential-only buildings with individual unit entrances may have facades up to 200 feet in length before a break is required.
 - b. Within the CRDC Zone buildings over 150 feet in length shall include a break at least 20 feet wide and 5 feet deep, open to the sky.
- B. **Modulation.** Buildings over 50 feet in length shall modulate a minimum of 25% of the area above the ground floor at least 2 feet in depth from the Primary Façade Plane. Buildings with 2 stories or less are exempt.
1. The Primary Façade Plane is defined as the vertical plane with the greatest surface area above the ground floor.
 2. Modulation is not required to be continuous or open to the sky, and may be recessed or projected.
 3. Additional facade breaks beyond the minimum required may count towards the modulation requirement.
 4. Projected balconies do not count toward modulation requirement.
 5. Exception: MU-1 Zone requires orientation of non-residential development, multi-family, or mixed-use development to face the interior of the site. For this reason non-residential development, multi-family, or mixed-use development within 40 feet of Sierra Madre Villa Avenue shall not be required to meet the modulation requirement.
- C. **Transparency.** At least 20% of each façade facing a public street or required paseo shall be comprised of transparent openings. Façade transparency is inclusive of ground floor requirements set in section 6.3.3, though each shall be measured independently.
1. Transparent openings may include windows and doors with clear glass or façade openings with a minimum depth of 4 feet.
 2. Windows shall be recessed by at least 2 inches from the façade; flush windows may be allowed per review authority approval.

3. The use of mirrored or highly reflective glazing is prohibited.
 4. Semi-transparent or frosted treatments are permitted to shield up to 50% of the transparent opening to manage privacy or security needs.
- D. **Materials.** At least 5% of each façade shall consist of a secondary material, excluding those used in windows, doors, and railings.

CREATING VISUAL INTEREST AND BREAKING UP MASS

Façade modulation refers to variations in depth of a building's façade. Modulation can be achieved through architectural elements such as fenestration patterns and window bays, stepbacks, balconies, and full façade breaks. Modulation breaks up building massing, creates visual interest, and provides opportunities for open space.

Figure 6.2-4: Façade Length

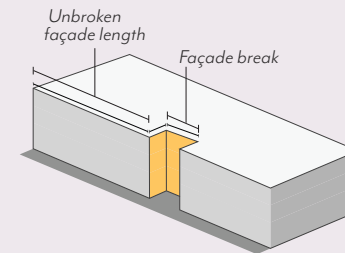
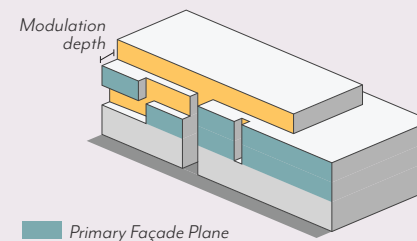


Figure 6.2-5: Façade Modulation



Note: Diagrams used for measurement illustration purposes only.

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FAÇADE & MODULATION EXAMPLE IMAGES

The images below reflect examples of appropriate façade and modulation treatments. These examples are illustrative and may not reflect all applicable development standards or existing conditions in the East Pasadena Specific Plan Area.



Variations in wall plane depth create visual interest and break up building massing



Façade modulation and transparency increase visual interest for office buildings



Façade modulation complements other design elements such as material and color



Façade modulation can apply to a variety of architectural styles

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6.3 GROUND FLOOR

The standards in this section are intended to:

- » Prioritize pedestrian access by ensuring doorways are open to a public sidewalk or public open space
- » Promote shade through arcades and shade structures
- » Increase visibility into ground floor uses to create visual interest for pedestrians
- » Limit blank walls on the ground floor to enhance visual interest and pedestrian comfort

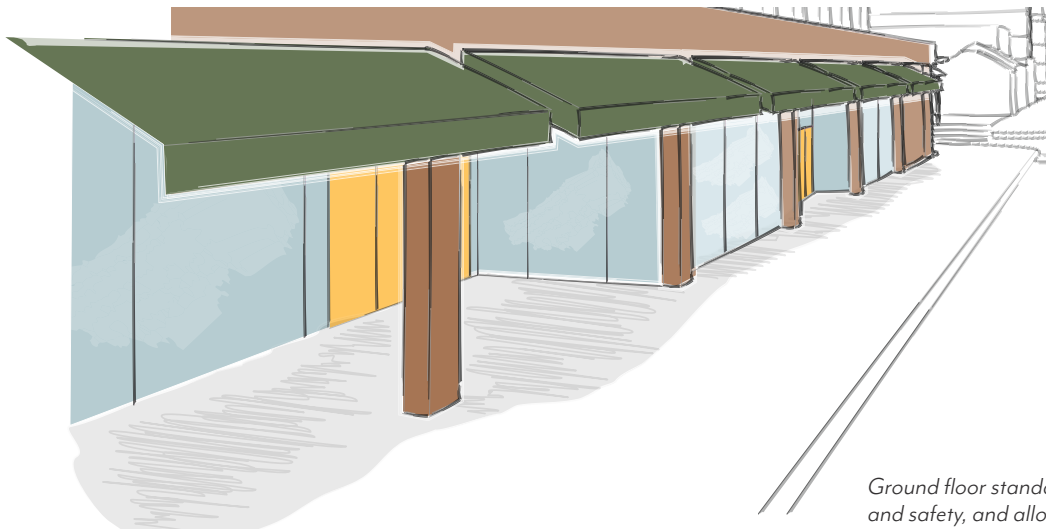
CREATING A VIBRANT STREET ENVIRONMENT

Successful ground floor design contributes to a vibrant built environment to create an inviting, visually engaging, shaded sidewalk and pedestrian environment that supports commercial activity. Altogether, ground floor treatments increase visual interest and physical access across all building uses to create active frontages.

The following standards are covered in detail in this section:

- » 6.3.1 Dimensions
- » 6.3.2 Entrances
- » 6.3.3 Transparency
- » 6.3.4 Arcades
- » 6.3.5 Shade Structures
- » 6.3.6 Blank Walls
- » 6.3.7 Security Bars
- » 6.3.8 Fences

Note: Residential lobbies and common spaces in mixed-use Projects shall follow the non-residential requirements. Residential only projects shall follow the RM-48 standards per PMC.



Ground floor standards in East Pasadena promote walkability through comfort, design, and safety, and allow for flexibility in future development.

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6.3.1 DIMENSIONS

- A. **Residential units.** Ground floor heights shall be a minimum 10 feet measured floor-to-floor.
- B. **Non-residential and mixed-use buildings.** Ground floor heights shall be a minimum 15 feet measured floor-to-floor. Commercial spaces shall have a minimum average depth of 35 feet.

6.3.2 ORIENTATION AND ENTRANCES

- A. **Primary Frontage Orientation.** Buildings shall be oriented toward the primary frontage to strengthen the pedestrian orientation these streets. This shall include primary entries, frontage ground floor requirements, and transparency requirements to be oriented toward the following streets:
 1. Foothill Boulevard
 2. E. Colorado Boulevard
- B. **Internal Orientation.** Within the CRDC Zone, buildings are permitted to be oriented toward or facing the interior of the site to appropriately serve the types of uses within the zone. Where internal orientation is utilized a clearly demarcated pedestrian pathway (private) shall be provided between the internal-facing entry(ies) and the public sidewalk.
- C. **MU-1 Zone.** Orientation shall be determined based on development type.
 1. Residential entries shall face Sierra Madre Villa Avenue if single-family attached or detached development located within 30 feet of the minimum sidewalk line; garage access is prohibited from Sierra Madre Villa Avenue and shall be accessed from the interior of the site. See section 6.1 for curb cut limitations.
 2. Non-residential development, multi-family, or mixed-use development entries shall not face Sierra Madre Villa Avenue; entries shall be oriented toward a paseo or the interior of the site. Plaza spaces and outdoor seating are permitted to be located adjacent to the required 20 foot to 30 foot setback condition; entry to these spaces shall be from a paseo or the interior of the site, pedestrian pathways connecting these spaces to Sierra Madre Villa Avenue is prohibited.
- D. **MU-2 Zone.** Orientation shall be determined based on development type.
 1. Development is encouraged to face away from Sears Way.

2. Residential or mixed-use shall orient toward the interior of the site with pedestrian connections to E. Foothill Boulevard. See section 6.4.4.
 3. Non-residential development shall be oriented toward E. Foothill Boulevard, see section 6.3.2.F.
- E. **Residential units.** Primary entries shall be located on the primary frontage for dwelling units adjacent the street where residential units are allowed on the ground floor.
 1. Primary entrances shall be distinguished through architectural features such as front porches, overhead projections, or recessed planes.
 - a. Any projections shall not encroach on the public right-of-way.
 2. Entries to units above the ground floor are not permitted from the street frontage.
 3. Pathways from the sidewalk to any required pedestrian entrances shall be at least 3 feet in width and separated from parking and driveways by 12 inches of landscape; direct or common connection to the public right-of-way is required.
 - F. **Non-residential uses.** Primary entrances shall be located on the primary frontage and open into the public realm (e.g. a sidewalk or public open space); secondary entrances at the side or rear of a building are permitted.
 1. Doorways shall be distinguished by architectural features such as overhead projections (e.g. a canopy or awning) or recessed planes.
 2. Grade separation, measured from finished sidewalk grade, shall be 0 feet for primary doorways facing public rights-of-way. Secondary doorways are not required to be at 0 feet if parcel frontage is sloped.
 3. Within the CRDC zone primary entrances are permitted to be interior facing or separated from the street by a parking field. Where reasonable, entrances are encouraged to face a primary street.

ACCESSIBLE AND ENGAGING FAÇADES

Entrance standards ensure that ground floor spaces are accessible, inviting, and easy to locate for both intentional visitors and passersby. Transparency standards create visual interest and engagement between ground floor uses and the public realm.

6.3.3 TRANSPARENCY

- A. **Residential units.** At least 15% of each public-facing ground floor façade shall be transparent openings, such as windows and doors with clear glass.
 - 1. The use of mirrored or highly reflective glazing is prohibited.
- B. **Non-residential uses.** At least 30% in CRDC and 60% in all other zones of each public-facing façade between a height of 3 and 8 feet above sidewalk elevation shall be transparent openings.
 - 1. Transparent openings are defined as glazing that provides views into work, display, sales, lobby, or similar active areas with a minimum depth of 4 feet.
 - 2. Posters, signage, and shelving for product displays visible to the public right-of-way shall obscure no more than 10 percent of the transparent areas of each respective storefront.
 - 3. The use of mirrored or highly reflective glazing is prohibited.



Example of appropriate ground floor transparency for a residential common area



Example of appropriate entrance with awnings and a recessed plane

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6.3.4 ARCADES

- A. Depth of arcades shall be at least 8 feet from back of column to building façade. The building façade shall still meet ground floor transparency requirements set in 3.5.C. Arcades are not allowed in public right-of-way or street setbacks.
1. Arcades may be used for:
 - a. pedestrian travel,
 - b. seating/street furniture,
 - c. outdoor dining,
 - d. landscape planters, and/or
 - e. bicycle parking.
 - a. Shade Structures

6.3.5 SHADE STRUCTURES

- A. Shade structures are permitted along any street frontage and may project up to 60% of the sidewalk width if they do not conflict with street trees. At least 8 feet of vertical clearance from sidewalk elevation is required.
1. **On the north side of Colorado Boulevard**, shade structures are permitted to project at least 8 feet into the public right-of-way for at least 70% of the building frontage. Shade structures shall allow at least 8 feet of vertical clearance and may project up to 10 feet into the public right-of-way, so long as they do not conflict with existing trees.

TRANSITIONAL OUTDOOR SPACES

Arcades and galleries create a shaded, transitional outdoor space between the public realm and ground floor interior. Shade structures contribute to a comfortable pedestrian experience and serve as inviting design features for ground floor uses.



Example of an appropriate commercial arcade treatment



Example of an appropriate shade structure

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6.3.6 BLANK WALLS

- A. Windowless expanses of walls on street-facing façades shall not exceed 20 feet in length.

6.3.7 SECURITY BARS

- A. Exterior and interior security bars are prohibited unless they are designed to be fully hidden from view during business hours with devices such as concealed side pockets and ceiling cavities.



Example of a blank and windowless ground floor wall (Prohibited)



Example of exterior security bars (Prohibited)

6.4 OPEN SPACE

The following standards are intended to:

- » Provide a variety of open space types for gathering, recreation and respite that contribute to enhanced livability within an urban setting
- » Improve building design and site planning through the integration of open space throughout development
- » Correlate open space requirements with number of residents and size of buildings

The following standards are covered in detail in this section:

- » 6.4.1 Open Space Minimum Area Requirements
- » 6.4.2 Private Open Space
- » 6.4.3 Common Open Space
- » 6.4.4 Public Open Space



Public Open Space (Plaza)



Private Open Space (Balconies)



Common Open Space (Pool Area)

IMPORTANCE OF OPEN SPACE

High quality, usable and accessible open space across a variety of types contributes to an active public realm and successful building design. A combination of **Private Open Space**, such as balconies and patios, **Common Open Space**, such as shared courtyards, gardens, and pools as well as indoor community rooms and gyms, and **Public Open Space**, such as plazas and paseos, altogether serve a range of purposes, including spaces for informal dining, relaxation and community gathering for residents, employees, and visitors within an urban setting. Open spaces either on the ground floor or on upper level stories, correlated to the building use and size, can also help to break down building massing creating effective site and building design.

OPEN SPACE CATEGORIES

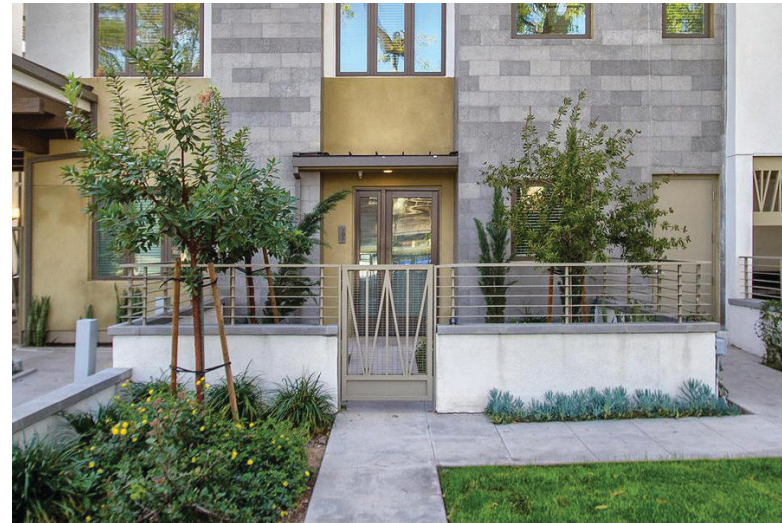
- » **Private.** Private Open Spaces, e.g. patios and balconies, are not freely open to the public and are only accessible from individual units.
- » **Common.** Common Open Spaces are shared among residents within a building and often take the form of courtyards, plazas, or other amenities, such as pools. Common Open Space can also include shared indoor open space, such as community rooms or gyms.
- » **Public.** Public Open Spaces, e.g. plazas, pocket parks, and paseos, are freely available to the public to use and typically include amenities such as seating, landscaping, fountains, and public art.

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6.4.1 MINIMUM AREA

- A. **Private and Common Open Space.** Projects shall provide the minimum area of Open Space based on use and size per Table 6.4-2 below. Areas used regularly for parking, loading or storage do not count towards minimum Open Space requirements.
 1. **Residential** projects shall provide a minimum area of Open Space based on unit types set in Table 6.4-1.
 2. **Non-residential** projects with more than 40,000 square feet of non-residential uses shall provide 5% of the gross non-residential floor area as Open Space. Open space may be any mix of Public, Common, or Private space. Projects with 40,000 square feet or less of non-residential space are exempt from this requirement.
 3. **Mixed-use** projects comprised of residential and non-residential uses shall comply with requirements applicable to each type of use.
- B. **Public Open Space.** Projects shall provide a minimum area of Public Open Space based on a percentage of GFA set in Table 6.4-2 in locations consistent with Map 6.4-1. See additional standards in section 6.4-4.



Private Open Space (Front Patio)

6.4.2 PRIVATE AND COMMON OPEN SPACE

- A. Projects shall provide the minimum area of Open Space based on use and size. Areas used regularly for parking, loading or storage do not count toward minimum Open Space requirements.
- B. Residential Projects shall provide a minimum area of Open Space based on unit types in Table 6.4-1.
- C. Distribution. No more than 40% of the required residential Open Space shall be private to individual tenants.
 1. All Private Open Space shall be outdoors.
- D. A minimum area of 36 square feet with a dimension of at least 5 feet in width and 8 feet in height is required for Private Open Space.
- E. Balconies and patios. Balconies and patios may be located within a street setback.
 1. Balconies may project up to 4 feet from the wall plane but shall not project past the property line.
- F. Roof decks. Private roof decks shall cover no more than one-third of the roof area. See location limitations for MU-1 zone.

Table 6.4-1: Residential Open Space by Unit Type

	Studio	1-BR	2-BR	3+ BR
Square Feet (per unit)	200	225	250	275

Table 6.4-2: Public Open Space by Project Size

	<80k	80k-119k	120k-159k	160k-199k	>200k
Projects within the MU-3 zone consistent with Figure Map 6.4-1	None	4% GFA	4% GFA	5% GFA	6% GFA
Projects within the MU-1, MU-2 and CRDC zone consistent with Map 6.4-1	None	2% GFA	3% GFA	4% GFA	5% GFA

Development Standards & Design Guidelines

6.4.3 COMMON OPEN SPACE

- A. **Distribution.** At least 60% of the required residential Open Space shall be common or shared among the tenants.
1. At least 70% of Common Open Space shall be outdoors, and at least 80% of outdoor Common Open Space shall be open to the sky.
 2. No more than 30% of Common Open Space may be indoors. Indoor Common Open Space may include a shared community room, fitness center, or similar but does not include spaces used primarily for circulation.
 3. No more than 60% of Common Open Space may be on a building's rooftop, defined as any roof area above the top two floors of the structure.
- B. **Dimensions.** A minimum area of 400 square feet with a dimension of at least 15 feet in each direction is required for Common Open Space.
- C. **Hardscape.** A maximum of 25% of Common Open Space may be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate, and/or other alternative paving per review authority approval.
- D. **Landscaping.** A minimum of 25% of Common Open Space shall be planted area at least 30 inches in each dimension. Plant materials shall be selected in compliance with PMC17.44.050 - Water Efficient Landscape: Incorporation of Model Water Efficient Landscape Ordinance.
- E. **Trees.** A minimum of one 24-inch box tree per project or per each 500 square feet of Common Open Space, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50% of trees planted shall be shade trees.
- F. **Roof decks.** Common roof decks shall be set back 5 feet from the building edge on all sides and cover no more than one-third of the roof area.
- G. **Water features.** A maximum of 5% of Common Open Space may be fountains, reflecting pools, or other water features.
1. Swimming pools are not considered water features for the purposes of this standard and may fully count towards Common Open Space.
- H. **Access.** Common Open Spaces may be accessible to the public if desired but is not required to meet Public Open Space requirements, though the same area shall not count towards both Common and Public Open Space.

6.4.4 PUBLIC OPEN SPACE

- A. **Dimensions.** A minimum area of 400 square feet with a dimension of at least 15 feet in each direction is required for Public Open Space.
- B. **Signage.** Public Open Space shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and including opening hours.
- C. **Hours.** At a minimum, Public Open Space shall be open to the public from 8am to 8pm.
1. Public Open Space is permitted to be closed to public access up to 2 times per month for private events subject to temporary use conditions.
 2. Publicly accessible programming is encouraged within Public Open Space and may be subject to temporary use conditions.

COMMON OPEN SPACE

Common open spaces provide areas for gathering, recreation, and respite within a property that contribute to enhanced livability within an urban setting.



Landscaping, seating options, and pedestrian-scaled lighting

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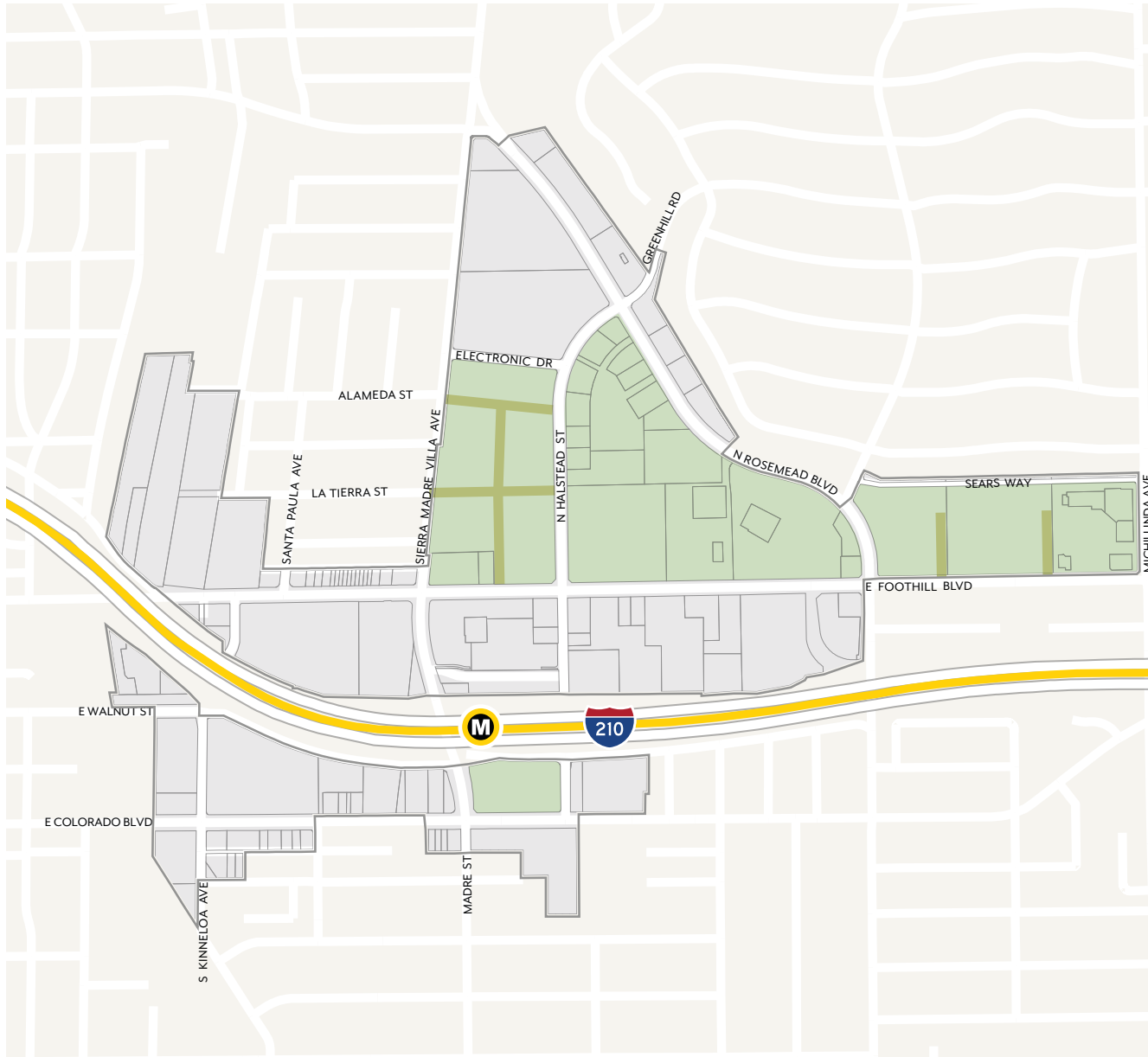
- D. **Elevation.** A majority of Public Open Space shall be provided at ground level.
 1. For Projects requiring less than 30,000 square feet of Public Open Space, all required space shall be provided at ground level with a primary entrance at sidewalk elevation.
 2. For Projects requiring more 30,000 square feet of Public Open Space, at least 30,000 square feet of Public Open Space shall be provided at ground level with a primary entrance at sidewalk elevation.
- E. **Hardscape.** A maximum of 25% of Public Open Space may be paved in standard concrete. Remaining paved areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate, and/or other alternative paving per review authority approval.
- F. **Landscape.** A minimum of 25% of Public Open Space shall be planted area at least 30 inches in each dimension. Plant materials shall be selected in compliance with PMC17.44.050 - Water Efficient Landscape: Incorporation of Model Water Efficient Landscape Ordinance.
 1. **Trees.** A minimum of one 24-inch box tree per project or per each 750 square feet of Public Open Space, whichever is greater, shall be planted. For projects with 2 or more trees, at least 50% of trees planted shall be shade trees.
 2. **Seating.** A minimum of 1 seat shall be provided per 300 square feet of Public Open Space.

PUBLIC OPEN SPACE

Public open spaces create a livable urban environment and provide community gathering spaces supportive of the commercial uses. Paseos break up building massing and increase pedestrian access.

- G. **Paseos.** Selected parcels are required to meet the minimum Public Open Space through the provision of a paseo, or pedestrian passageway, that connects a public street to another public street or alley.
 1. Paseos shall have an average width of 25 feet and be at least 75% open to the sky.
 2. Paseos shall be at ground level and be ADA accessible.
 3. **MU-2 Zone requirements.**
 - a. At the Sierra Madre Villa/E. Foothill intersection parcel, required public open space shall be located along E. Foothill Boulevard or connected to E. Foothill Boulevard by a clearly demarcated pedestrian pathway or paseo.
 - b. Projects located between E. Foothill Boulevard and Sears Way shall provide Paseos connecting the project to E. Foothill Boulevard consistent with Map 6.4-1. North origination point of the required paseos is not identified by this document; rather shall be appropriately located to connect to the internal pedestrian circulation network with E. Foothill Boulevard. Internal pedestrian circulation shall connect all residential units or nonresidential spaces to the paseo.
 4. **CRDC Zone requirements.**
 - a. A minimum of two (2) east/west Paseos shall connecting Sierra Madre Villa and Halstead Street; recommended locations per Map 6.4-1.
 - b. Any new infill development, PD, or General Plan Amendment shall provide a paseo connecting the project to E. Foothill Boulevard, Rosemead Boulevard, or Halstead Street as appropriate for the individual project.
 5. **MU-3 Zone requirements.** public open space shall be required at the location per Map 6.4-1.
- H. **Plazas.**
 1. Plazas shall be at ground level and be ADA accessible.
- I. **Credit.** Public Open Space in excess of the minimum may apply towards up to 30% of a Common Open Space requirement.

Map 6.4-1: Public Space



Required Open Space Locations

- Required Paseo Location**
Exact siting of paseo subject to discretion of Planning Director to satisfy the intent of through-block connectivity; see section 5.3
- Parcel with Public Open Space Requirement**
Exact size is to be determined by required public open space; see section 6.4

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6.5 ACCESS & PARKING

The access and parking standards in this section are intended to:

- » Reduce the visual impacts of parking
- » Regulate appropriate parking supply and location in a manner that prioritizes pedestrian access and multi-modal activity
- » Encourage change of use and adaptive reuse of existing buildings through parking reductions and exemptions
- » Promote a more efficient use of parking spaces through shared parking among multiple uses within a project
- » Increase design standards for parking structures through ensuring habitable floor areas between parking and street frontage and screening

The following standards are covered in detail in this section:

- » 6.5.1 Driveways
- » 6.5.2 Vehicle Parking Minimums
- » 6.5.3 Vehicle Parking Layout and Design

IMPORTANCE OF PARKING

Vehicle parking access, location and supply influences the street environment, multi-modal travel and overall development. Minimizing vehicular access, such as entries and driveways, can help to promote continuous sidewalk activity and safer travel across modes. Similarly, minimizing surface parking lot size and locations (such as placing lots behind buildings or a landscaped open space), supports the success of street-fronting activity, such as pedestrian travel and commercial frontages. The number of required parking spots is another defining factor that shapes urban travel and development. By establishing an appropriate number of parking spots by land use and size of development, residential and commercial activity can be supported while also attracting a variety of new development. Through tailored standards as well as parking reductions and exemptions for certain uses and conditions, space efficiency and cost savings are promoted.

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6.5.1 DRIVEWAYS

- A. **Number.** For Projects with less than 200 feet of primary street frontage, only one two-lane driveway shall be permitted. Two two-way driveways shall be permitted on Projects with more than 200 feet of primary street frontage.
- B. **Location.** Driveways are not permitted on primary frontages of less than 200 feet when there is access from a secondary street.
- C. **MU-1 Zone.**
 - 1. A maximum of one (1) common access curb cut shall be permitted on Sierra Madre Villa Avenue between E. Foothill Boulevard and Electronic Way.
 - 2. Unit garage driveway cuts shall not take access from Sierra Madre Villa Avenue.
- D. **MU-2 Zone.**
 - 1. Michillinda Avenue condition: A maximum of one (1) common access curb cut shall be permitted on Michillinda Avenue between E. Foothill Boulevard and Sears Way.
 - 2. Unit garage driveway cuts shall not take access from Sears Way.

6.5.2 VEHICLE PARKING

- A. **Number of Spaces.** Projects shall provide the minimum number of parking spaces based on use and size as set forth in Table 6.5-1. A maximum number of parking spaces may apply per PMC17.50.340.
 - 1. Reductions allowed for:
 - a. In the CNS zone, no parking is required for commercial uses less than 5,000 square feet. Commercial uses include Recreation, Education & Public Assembly; Commercial Entertainment; Commercial Recreation; Office, Professional & Business Support; Retail Sales; and Services categories.
 - a. Outdoor dining up to 2,000 square feet. For the first 2,000 square feet of outdoor dining area on either public or private property, no parking is required.

- b. Historic resources. Any Project on a parcel with a designated historic resource or building constructed prior to 1960 that involve new construction or enlargement of an existing structure may provide 35% of the parking requirement.
 - c. Changes of use in historic resources and older buildings. No new parking shall be required for any change of use in buildings designated historic resource or buildings constructed prior to 1960 that would otherwise result in an increased parking requirement.
 - d. Transit-oriented development. Reductions in parking requirements shall be available to Projects within half-mile of rail stations per PMC17.50.340.
 - e. Any Projects within 750 feet of rail stations are permitted a 30% reduction from the minimum parking requirement. This reduction may not be combined with that in PMC17.50.340.
 - f. Shared parking. Parking may be shared among multiple uses per PMC17.46.050.
- B. **Unbundled parking.** For any building with new residential units, parking shall be unbundled from the rents, sale prices, or other fees charged for occupying living space. Automobile parking spaces shall be leased or sold separately from the rental or purchase fees, such that renters or buyers have the option of renting or buying the space at a lower price than if automobile parking was included.
 - 1. Affordable units are not subject to this provision and are required to include one parking space for the unit in the base rent or sales price.

6.5.3 VEHICLE PARKING LAYOUT & DESIGN

- A. **Surface parking setback.** Parking lots shall be set back at least 15 feet from the primary frontage and 10 feet from any secondary frontage.
- B. **Surface parking landscaping.** Landscaping of parking areas shall be provided and maintained according to the following regulations.
 1. Parking lots shall be set back at least 15 feet from the primary frontage and 10 feet from any secondary frontage. Parking shall be buffered by habitable floor area or landscaped open space.
 2. A minimum of 5 percent landscaped area shall be provided for surface parking areas of 10 to 21 parking spaces.
 3. A minimum of 10 percent landscaped area shall be provided for surface parking areas of more than 21 parking spaces.
 4. One tree of at least 24 gallons in size shall be provided for every 8 parking spaces and located so as to visually disrupt long rows of parked vehicles (trees may be clustered).
 5. Landscaped areas shall be distributed throughout the entire parking area as evenly as possible as required by the Planning Director.
 6. Where vehicles are to be parked immediately adjacent to a public or private street, a decorative masonry wall of 30 inches in height, measured from the finished surface of the parking area, bermed landscaping having the same height, or a combination thereof shall be provided.

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Evenly distributed landscaping enhances large surface parking lots



Decorative masonry walls screen parking areas from the street



Large canopy trees within surface parking lots keep people and cars cool

- C. **Podium parking.** No more than one story of above-grade parking is permitted within habitable buildings. Multiple stories of above ground parking are permitted within wrap style developments or parking structures if the project meets the parking structure standards below.
1. Screening shall hide parking areas visible from a public street, using heavy-gauge metal, precast concrete panels, laminated glass, green walls, photovoltaic panels or other material per review authority approval.

- D. **Parking structures.** Structures shall be buffered with habitable floor area between the parking and any street frontage (not including alleys), except for access and driveways.
1. Elevators and stairs shall be located adjacent sidewalks or paseos.
 2. Screening shall hide parking areas visible from a public street, using heavy-gauge metal, precast concrete panels, laminated glass, green walls, photovoltaic panels or other material per review authority approval.
- E. **Underground parking.** Fully subterranean parking may extend up to the property line where it shall follow street setback regulations set in section 6.2.

Table 6.5-1: Parking by Land Use

	Minimum	Notes
Commercial Entertainment		
Retail Sales	4 per 1,000 sf*	*Lower minimums specified by PMC 17.46 for specific use categories shall supersede this requirement.
Services (except Lodging)		
Office, Professional and Business Support	3 per 1,000 sf*	For Medical Offices >5,000 sf, refer to PMC17.46 *Lower minimums specified by PMC 17.46 for specific use categories shall supersede this requirement.
Lodging (Hotels & Motels)	0.5 per room	First 15,000 sf of banquet/restaurant space excluded
Residential	≤1-bed: 1 per unit ≥2-bed: 1.5 per unit	Residential guest parking can be shared with commercial parking in mixed-use developments
Live/work	1.5 per unit	
Other uses	Refer to PMC17.46	*These are intended to reduce parking requirements in general use categories. Any specific uses with lower minimums specified by PMC 17.46 shall supersede these requirements.