

South Fair Oaks Specific Plan

Preliminary Development Standards

October 27, 2020



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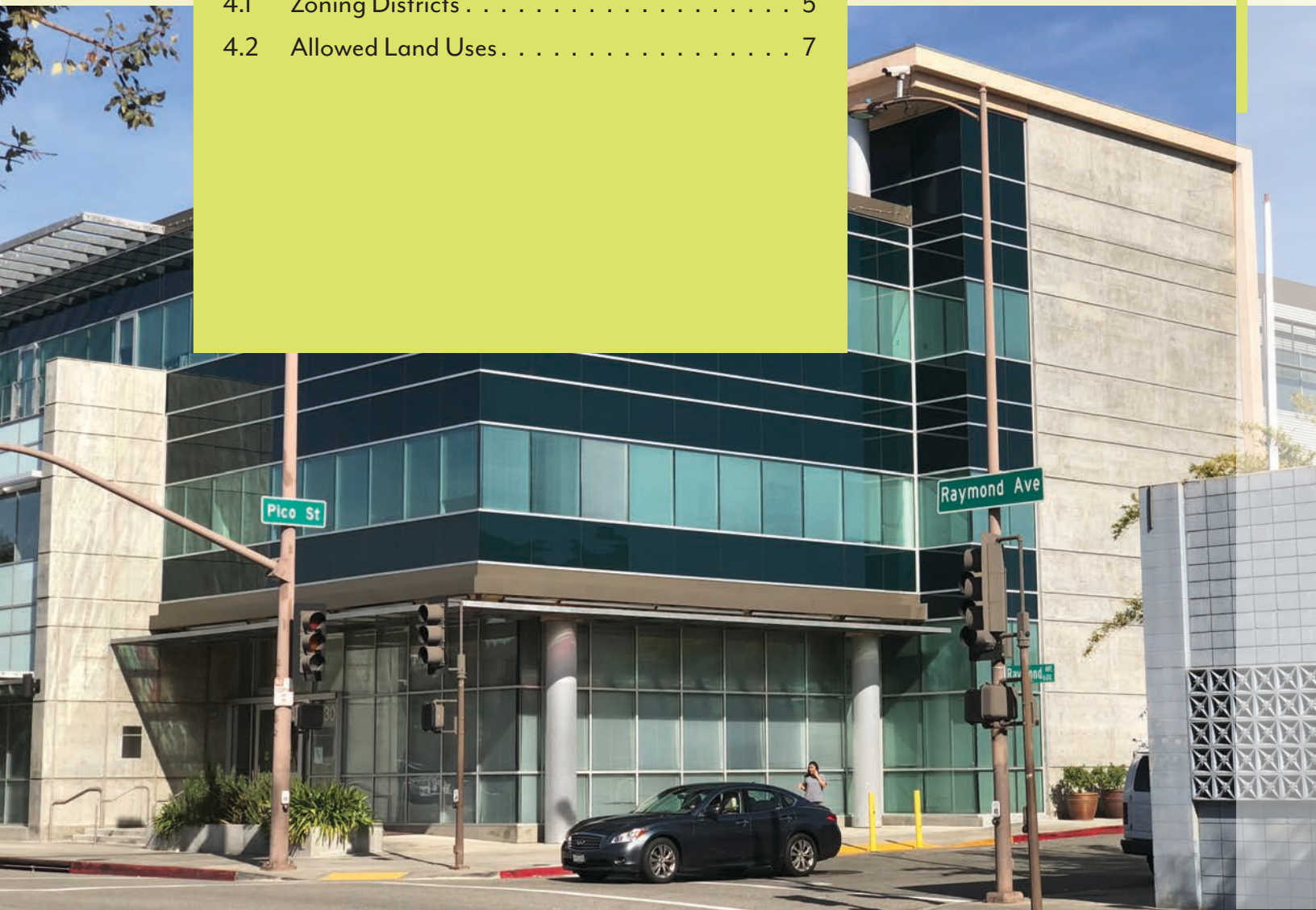
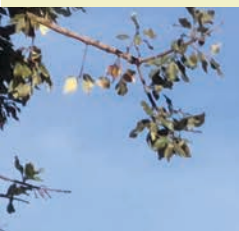
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Note: This Draft South Fair Oaks Specific Plan document is intended for public review at the Our Pasadena Public Workshops - Round Three (Virtual Open House). This document includes draft content for the three chapters of the Specific Plan that introduce new regulations, standards, and guidelines for development; this draft does not include introductory and administrative chapters, policies, definitions, or appendices. The draft standards presented in this document are informed by multiple stages of prior community input and extensive technical analysis. This document is made public for the purpose of receiving further community feedback, and contents are subject to change.

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Zoning and Land Use

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ZONING AND LAND USE

IMPORTANCE

The Zoning and Land Use regulations in this chapter are intended to guide development and Land Use decision making to achieve the South Fair Oaks Specific Plan Vision. Permitted uses are intended to foster distinct pedestrian-oriented villages with a mix of commercial and residential uses.

Land Use regulations are tools that can be used to maintain the character of a particular neighborhood, or to guide a neighborhood's evolution toward a character that better supports residents, businesses and employees, and visitors. While broader land use categories are assigned in the General Plan, the Specific Plan establishes a detailed list of allowed land use categories and the permit requirements or limitations for each zoning district within the Specific Plan Area.

CHAPTER OVERVIEW

The Zoning and Land Use chapter includes maps of designated zoning districts and allowed land uses (simplified into residential, commercial, and mixed uses) as they apply to the Specific Plan Area in general, as well as ground floor spaces. The map is followed by a detailed table indicating which land uses are allowed within each zoning district of the Specific Plan area. Certain uses may be subject to special conditions or permitting, requiring an application and approval process determining whether the proposed use is permitted, conditionally permitted, prohibited, or allowed as a temporary use.

- » **4.1 Zoning Districts**
- » **4.2 Allowed Land Uses**



R&D Flex Use



Commercial Use



Residential Use



Commercial Use

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4.1 ZONING DISTRICTS

The South Fair Oaks Specific Plan consists of ten (10) Zoning Districts, identified as unique areas in need of tailored standards. Map 4.1-1 identifies the Zoning Districts for the Specific Plan.

The following zones are established as part of this Specific Plan:

- » SFOSP – FTN (Fillmore Transit Neighborhood)
- » SFOSP – TC (Transit Core)
- » SFOSP – RTD (Raymond Transit District)
- » SFOSP – AG (Arroyo Gateway)
- » SFOSP – IF (Institutional Flex)
- » SFOSP – LMC (Low-Medium Commercial)
- » SFOSP – HC (High Commercial)
- » SFOSP – RDF (R&D Flex Space)
- » SFOSP – MUN (Mixed-Use Neighborhood)
- » SFOSP – MF-32 (Multi-Family Residential 32)

The following zones are defined by PMC17.20.020:

- » PS (Public-Semipublic)

All standards for Public-Semipublic zoning districts are determined by Conditional Use Permit (CUP) or Master Plan.

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Zoning and Land Use

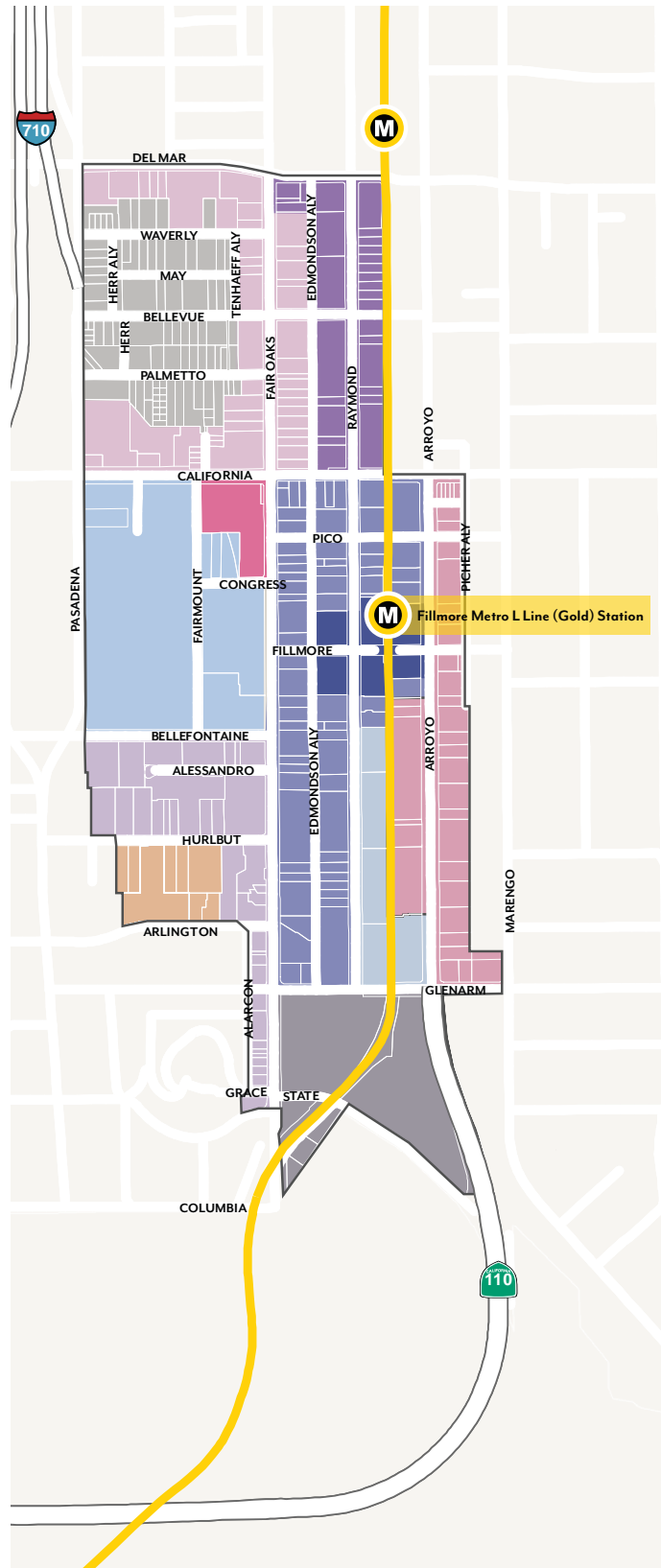


Public Semi-Public Use (ArtCenter College of Design)



Public Semi-Pubic Use (Huntington Memorial Hospital)

Map 4.1-1: South Fair Oaks Specific Plan Zoning Districts



Zoning Districts

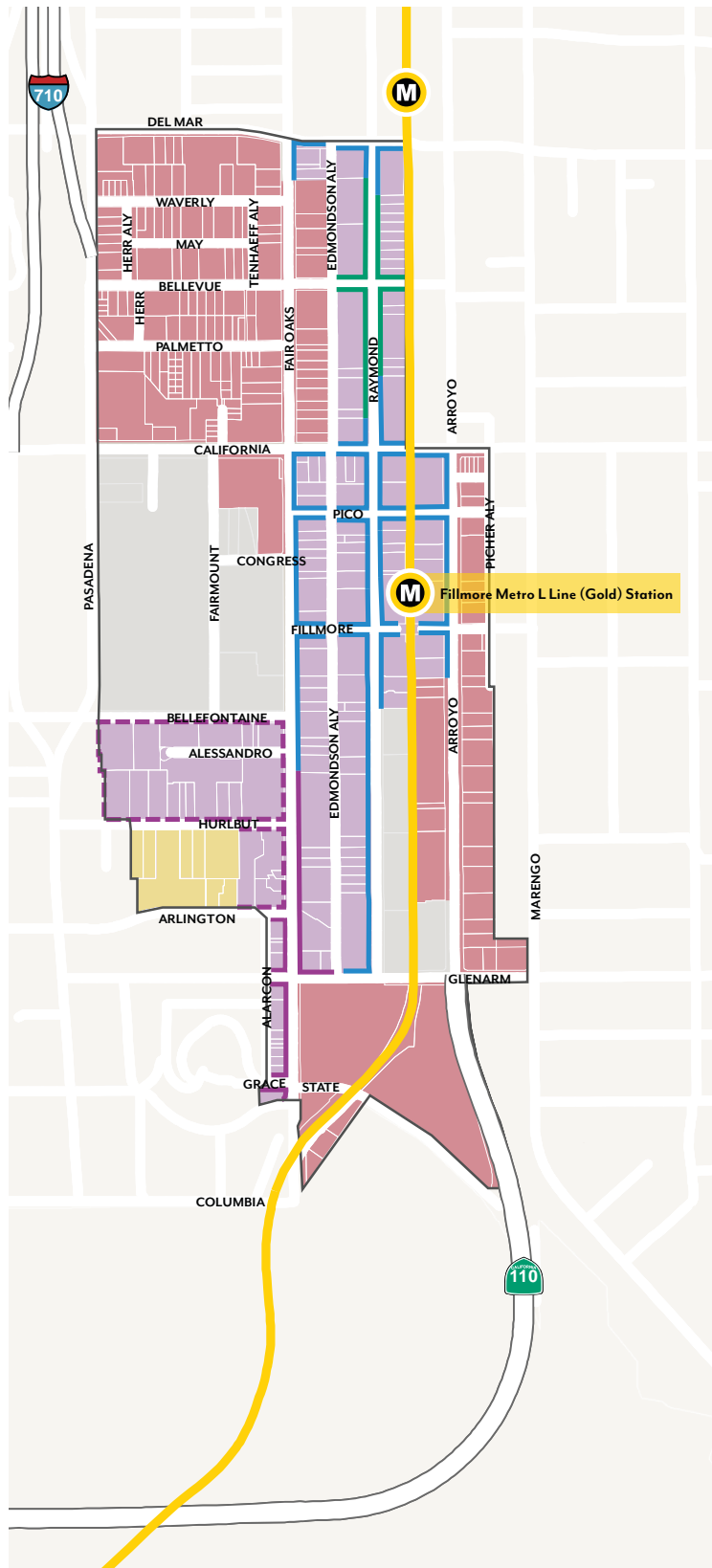
- SFOSP-Fillmore Transit Neighborhood
- SFOSP-Transit Core
- SFOSP-Raymond Transit District
- SFOSP-Arroyo Gateway
- SFOSP-Institutional Flex
- SFOSP-Low-Medium Commercial
- SFOSP-High Commercial
- SFOSP-R & D Flex
- SFOSP-Mixed-Use Neighborhood
- SFOSP-Multi-Family Residential
- Public Semi-Public*

* Zone is governed by PMC

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4.2 ALLOWED LAND USES

Map 4.2-1: Allowed Use and Ground Floor Requirements



Allowed Uses

- Residential
- Commercial
- Mixed (horizontal/vertical)
- Land uses shall be as specified by a Conditional Use Permit or Master Plan

Mixed-Use Ground Floor

- Commercial required for at least 20% of building frontage. Up to 20% of building frontage may be residential units or residential common space^{1,2}
- Commercial required for at least 80% of building frontage. Up to 20% of building frontage may be residential common space^{1,2}
- Commercial allowed, but not required. Residential common spaces allowed^{1,2}
- Commercial allowed, but not required. Residential common spaces and dwelling units allowed^{1,2}

Notes:

¹ Residential common space includes any residential building uses except for unit square footage. Residential units or rooms permitted behind 35' of primary frontage

² Must meet non-residential ground floor standards in Section 6.3

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Zoning and Land Use

Table 4.2-1: Allowed Uses and Permit Requirements

SYMBOL	PERMIT REQUIREMENTS AND USE LIMITATIONS	RELEVANT PROCEDURE SECTION:
P	Permitted use, Code Compliance Certificate required.	17.61.020
MC	Conditional use, Minor Conditional Use Permit required.	17.61.050
C	Conditional use, Conditional Use Permit required.	17.61.050
E	Conditional use, Expressive Use Permit required.	17.61.060
A	Accessory use, permitted as an accessory use only.	
TUP	Temporary use, Temporary Use Permit required.	17.61.040
—	Use not allowed. (See Section 17.21.030.A regarding uses not listed.)	
(L#)	Limited use, specific limitations listed at the end of the table.	To be identified
See Zoning Code Section 17.80.020 for definitions of the listed land uses See Zoning Code Section 17.26.030 for PS zones		

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS											
LAND USE (1)	PERMIT REQUIREMENT BY ZONE										Additional Relevant Standards from Zoning Code / Notes
	Low-Med Commercial	High Commercial	R&D Flex	Transit Core	Fillmore Transit Neighborhood	Raymond Transit District	Arroyo Gateway	Mixed Use Neighborhood	Multifamily 32	Institutional Flex	
	LMC	HC	RDF	TC	FTN	RTD	AG	MUN	MF-32	IF	
RESIDENTIAL USES											
NOTE: See limitations to residential uses on the ground floor in Map 4.2-1											
Family Day Care											
Large	—	—	—	P	P	P	—	P	P	—	17.50.080
Small	—	—	—	P	P	P	—	P	P	—	
Group Residential Types											
Congregate Housing	—	—	—	—	P (L4)	P	—	P	P	—	
Senior Group Residential	—	—	—	—	P (L4)	P	—	P	P	—	
Residential											
Accessory dwelling unit	—	—	—	P	P	P	—	P	P	—	Per State ADU Law
Live/Work Units	—	—	P	—	P	P	—	P	P	—	17.50.370
Multi-family Residential	—	—	—	P	P	P	—	P	P	—	17.50.350
Home occupations	—	—	—	P	P	P	—	P	P	—	17.50.110
Residential Accessory Uses and Structures	—	—	—	P	P	P	—	P	P	—	17.50.250

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Zoning and Land Use

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS											
LAND USE (1)	PERMIT REQUIREMENT BY ZONE										Additional Relevant Standards from Zoning Code / Notes
	Low-Med Commercial	High Commercial	R&D Flex	Transit Core	Fillmore Transit Neighborhood	Raymond Transit District	Arroyo Gateway	Mixed Use Neighborhood	Multifamily 32	Institutional Flex	
	LMC	HC	RDF	TC	FTN	RTD	AG	MUN	MF-32	IF	
Residential Care Facilities											
General	—	—	—	—	C (L4)	—	—	—	—	—	
Limited	—	—	—	—	P (L4)	—	—	P	P	—	
Senior	—	—	—	—	P (L4)	—	—	P	P	—	
Hospice, General	—	—	—	—	C (L4)	—	—	—	—	—	
Hospice, Limited	—	—	—	—	P (L4)	—	—	P	P	—	
Supportive Housing											
Emergency Shelters, Limited	—	—	—	—	—	P	—	—	—	—	
Supportive Housing	—	—	—	P (L1)	P (L1)	P (L1)	—	P	P	—	
Transitional Housing	—	—	—	P (L1)	P (L1)	P (L1)	—	P	P	—	
RECREATION, EDUCATION & PUBLIC ASSEMBLY USES (8, 9)											
Cultural & Public Assembly											
Religious Facilities	C	—	C	C	C	C	C	C	C	C	17.50.230
Mortuary, Funeral Home	P	—	—	—	—	—	P	—	—	—	17.50.230
With Temporary Homeless Shelter	—	—	—	—	—	—	—	—	—	MC	17.50.230
Assembly Facilities	C	—	C	C	C	C	C	C	C	C	17.50.230
Cultural Institution and Facility	P	—	P	P	P	P	P	P	—	P	
College or Educational Institution											
Nontraditional campus setting	P	—	P	P (L2)	P	P (L2)	P	—	—	P	
Traditional Campus Setting	—	—	—	—	P	—	P	—	—	P	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS											
LAND USE (1)	PERMIT REQUIREMENT BY ZONE										Additional Relevant Standards from Zoning Code / Notes
	Low-Med Commercial	High Commercial	R&D Flex	Transit Core	Fillmore Transit Neighborhood	Raymond Transit District	Arroyo Gateway	Mixed Use Neighborhood	Multifamily 32	Institutional Flex	
	LMC	HC	RDF	TC	FTN	RTD	AG	MUN	MF-32	IF	
Recreation											
Commercial Recreation - Indoor	P	—	P	—	P	P	P	P	P	P	1750.130
Commercial Recreation - Outdoor	P	—	P	—	—	—	P	—	—	P	1750.130
Gardens (Neighborhood / Community)	P	—	P	P	P	P	P	P	P	P	
Park and Recreation Facilities	P	—	P	P	P	P	P	P	P	P	
Schools											
Schools - Public and Private	C	—	C	—	C	C	C	C	—	C	1750.270
Schools - Specialized Education and Training	P	—	P	P (L2)	P (L2)	P (L2)	P	P	—	P	17.61.050.J CUP required for new construction over 25,000s.f.
BUSINESS, COMMERCIAL, AND RETAIL SERVICES (2, 3) All permitted uses in this category qualify for commercial requirement locations											
Alcohol Sales											
Beer and wine	C	—	C	C	C	C	C	C	—	C	1750.040
Full alcohol sales	C	—	C	C	C	C	C	C	—	C	1750.040
Animal Sales and Services											
Animal Boarding	P	—	—	—	—	P	P	—	—	—	
Animal Clinic/ Hospital	P	—	—	—	—	P	P	—	—	—	1750.050
Animal Grooming	P	—	—	—	P	P	P	P	—	—	
Animal Retail sales	P	—	—	P	P	P	P	P	—	—	
Animal Shelter	P	—	—	—	—	P	P	—	—	—	

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ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS											
LAND USE (1)	PERMIT REQUIREMENT BY ZONE										Additional Relevant Standards from Zoning Code / Notes
	Low-Med Commercial	High Commercial	R&D Flex	Transit Core	Fillmore Transit Neighborhood	Raymond Transit District	Arroyo Gateway	Mixed Use Neighborhood	Multifamily 32	Institutional Flex	
	LMC	HC	RDF	TC	FTN	RTD	AG	MUN	MF-32	IF	
Auto/Vehicle Sales and Services											
Alternative Fuels/ Recharging Facilities (2, 3)	P	—	P	—	—	—	P	—	—	P	1740.070; 1761.050.J CUP required for new construction over 25,000s.f.
Automobile Rental	P	—	P	—	—	—	P	—	—	—	1761.050.J CUP required for new construction over 25,000s.f.
Automobile Showrooms	P	—	P	P	P (L4)	P	P	—	—	—	
Vehicle Services – Washing/Detailing	—	—	—	—	—	—	P	—	—	—	1750.290, 1761.050.J CUP required for new construction over 25,000s.f.
Vehicle Services - Washing/Detailing, Small-Scale	P	—	P	—	—	—	P	—	—	—	1750.290
Vehicles Services – Sales/Leasing	P	—	—	—	—	—	P	—	—	—	1750.360, 1761.050.J CUP required for new construction over 25,000s.f.
Vehicles Services - Sales/Leasing, Limited	P	—	P	—	—	—	P	—	—	—	1750.360
Vehicle Services - Service Stations	C	—	—	—	—	—	C	—	—	—	1750.290, 1761.050.J CUP required for new construction over 25,000s.f.

Zoning and Land Use

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS											
LAND USE (1)	PERMIT REQUIREMENT BY ZONE										Additional Relevant Standards from Zoning Code / Notes
	Low-Med Commercial	High Commercial	R&D Flex	Transit Core	Fillmore Transit Neighborhood	Raymond Transit District	Arroyo Gateway	Mixed Use Neighborhood	Multifamily 32	Institutional Flex	
	LMC	HC	RDF	TC	FTN	RTD	AG	MUN	MF-32	IF	
Banks and financial Institutions (4)											
Automated Teller Machines (ATM)	P	—	P	P	P	P	P	P	—	P	1750.060
Banks and Credit Unions (Retail)	P	—	P	P	P	P	P	P	—	P	
Banks and Credit Unions (Non-Retail)	P	—	P	P (L2)	P (L3)	P (L2)	P	P	—	P	
Conference Center											
Conference Center	—	—	—	C (L2)	C	C (L2)	—	—	—	—	
Day Care Facility											
Adult Day-Care - General	C	—	—	—	C (L1)	—	C	C	—	—	Performance standards required
Adult Day-Care - Limited	P	—	—	—	P (L1)	—	P	P	—	—	Performance standards required
Child Day Care	P	—	—	—	P	P	P	P	—	—	1750.080
Eating and Drinking Establishments (4)											
Bar, Night Club, or Tavern	C	—	P	C	C	C	C	—	—	C	1750.040
Restaurants, Full Service	P	—	P	P	P	P	P	P	—	P	1750.260
Restaurant, Limited Service	P	—	P	P	P	P	P	P	—	P	
Restaurant, Take-Out Only	P	—	P	P	P	P	P	P	—	P	
Restaurants with Limited Live Entertainment	P	—	P	P	P	P	P	P	—	P	
Restaurants with Walk-Up Window	C	—	C	C	C	C	C	C	—	C	1750.260
Entertainment											
Commercial Entertainment	E	—	E	E	E	E	E	E	—	—	1750.130
Electronic Game Centers	P	—	P	P	P	P	P	P	—	—	1750.100

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ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS											
LAND USE (1)	PERMIT REQUIREMENT BY ZONE										Additional Relevant Standards from Zoning Code / Notes
	Low-Med Commercial	High Commercial	R&D Flex	Transit Core	Fillmore Transit Neighborhood	Raymond Transit District	Arroyo Gateway	Mixed Use Neighborhood	Multifamily 32	Institutional Flex	
	LMC	HC	RDF	TC	FTN	RTD	AG	MUN	MF-32	IF	
Food and Beverage Sales											
Convenience Stores	P	—	P	P	P	P	P	P	—	P	
Farmers' Market	P	—	P	P	P	P	P	P	—	P	
General Market	P	—	P	P	P	P	P	P	—	P	
Liquor Stores	C	—	C	C	C	C	C	C	—	C	1750.040
Group Housing											
Single-Room Occupancy	P	—	—	P (L1)	P (L1)	P (L1)	—	P	—	—	Commercial use, prohibited in residential zones. 1750.300
Hospitals, Clinics and Care Facilities											
Clinic	P	P	—	P (L2)	P (L4)	—	P	P	—	—	
Extended Care	MC	—	—	—	MC (L4)	—	MC	MC	—	—	
Life/Care Facilities	MC	—	—	—	MC (L4)	—	MC	MC	—	—	1750.120
Hospitality House	MC	—	—	—	MC (L4)	—	MC	MC	—	—	
Hospital	—	C	—	—	C (L4)	—	—	—	—	—	
Skilled Nursing Facility	C	—	—	—	C (L4)	—	C	C	—	—	
Offices (4)											
Accessory	P	—	P	P (L1)	P (L3)	P (L3)	P	P (L3)	—	P	
Administrative Business Professional	P	—	P	P (L2)	P (L3)	P (L3)	P	P (L3)	—	P	
Government	P	—	P	P (L2)	P (L2)	P (L2)	P	P (L3)	—	P	
Laboratories	P	P	P	P (L1)	P (L1)	P (L2)	P	P (L2)	—	P	
Medical and Dental	P	P	P	P (L3)	P (L4)	—	P	P	—	P	
Walk-In Clientele	P	P	P	P	P	P	P	P	—	P	
Research and Development - Offices	P	—	P	P (L2)	P (L3)	P (L3)	P	P (L3)	—	P	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS											
LAND USE (1)	PERMIT REQUIREMENT BY ZONE										Additional Relevant Standards from Zoning Code / Notes
	Low-Med Commercial	High Commercial	R&D Flex	Transit Core	Fillmore Transit Neighborhood	Raymond Transit District	Arroyo Gateway	Mixed Use Neighborhood	Multifamily 32	Institutional Flex	
	LMC	HC	RDF	TC	FTN	RTD	AG	MUN	MF-32	IF	
Personal Services (4)											
Personal Improvement Services	P	—	P	P	P	P	P	P	—	—	
Personal Services	P	—	P	P	P	P	P	P	—	—	
Massage Establishments	C	—	—	C (L1)	C	C (L1)	C	C	—	—	17.50.155
Tattoo and Body Modification	P	—	P	P	P	P	P	P	—	—	
Printing and Publishing											
General	P	—	P	—	P (L2)	P (L2)	P	P (L2)	—	P	17.61.050.J CUP required for new construction over 25,000s.f.
Limited	P	—	P	P (L3)	P (L3)	P (L3)	P	P (L3)	—	P	17.61.050.J CUP required for new construction over 25,000s.f.
General Services											
Business Services	P	—	P	—	P (L3)	—	P	P (L3)	—	P	
Catering Services	P	—	P	P (L1)	P	P (L1)	P	P (L1)	—	P	
Charitable Institutions	P	—	P	P	P	P	P	P	—	P	
Commercial Nurseries	C	—	—	—	—	—	—	—	—	—	17.50.180
Public Safety Facilities	C	—	C	C	—	—	C	—	—	C	
Transient Lodging											
Bed and breakfast inns	—	—	—	—	—	—	—	C	—	—	17.50.140
Hotels, motels	C	—	—	—	C (L1)	C (L1)	C	—	—	—	17.50.150
Retail Sales											
Big Box Retail	—	—	—	—	—	—	C	—	—	—	
General Retail	P	P	P	P	P	P	P	P	—	P	
Significant Tobacco Retailers	C	—	C	C	C	C	C	C	—	C	17.50.330; 17.61.050.J CUP required for new construction over 25,000s.f.

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Zoning and Land Use

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS											
LAND USE (I)	PERMIT REQUIREMENT BY ZONE										Additional Relevant Standards from Zoning Code / Notes
	Low-Med Commercial	High Commercial	R&D Flex	Transit Core	Fillmore Transit Neighborhood	Raymond Transit District	Arroyo Gateway	Mixed Use Neighborhood	Multifamily 32	Institutional Flex	
	LMC	HC	RDF	TC	FTN	RTD	AG	MUN	MF-32	IF	
INDUSTRIAL AND UTILITY USES											
Industrial Services											
Custom Manufacturing / Artisan Production	P	—	P	P	P	P	P	P	—	P	
Industry, General	—	—	—	—	—	—	P	—	—	P	
Industry, Limited	MC	—	MC	MC (L3)	MC (L3)	MC (L3)	MC	MC	—	MC	
Maintenance and Service Facilities	—	—	—	—	—	—	—	—	—	P	
Research and Development - Laboratories	P	—	P	—	P (L2)	—	P	—	—	P	
Recycling Facilities											
Donation Collections Facilities	P	—	—	—	—	—	—	—	—	—	
Recycling - Large Collection Facilities	P	—	—	—	—	—	—	—	—	—	
Recycling - Small Collection Facilities	P	—	—	—	—	—	—	—	—	—	17.50.220
Reverse Vending Machine	P	—	—	—	—	—	—	—	—	—	
Wholesaling											
Wholesaling, Commercial	P	—	P	—	—	—	—	—	—	P	
Distribution and Storage, Small Scale	P	—	P	—	—	—	P	—	—	P	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS											
LAND USE (1)	PERMIT REQUIREMENT BY ZONE										Additional Relevant Standards from Zoning Code / Notes
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	LMC	HC	RDF	TC	FTN	RTD	AG	MUN	MF-32	IF	
Communications facilities (2, 3,4)											
Accessory Antenna Arrays	A	A	A	A	A	A	A	A	A	A	
Antennas and Transmission Towers	C	C	C	C	C	C	C	C	C	C	
Equipment Within Buildings	C	C	C	C	C	C	C	C	C	C	
Wireless Telecommunications Facilities - Minor	MC	MC	MC	MC	MC	MC	MC	MC	MC	MC	17.50.310
Wireless Telecommunications Facilities - Major	C	C	C	C	C	C	C	C	C	C	17.50.310
Wireless Telecommunications Facilities - SCL	P	P	P	P	P	P	P	P	P	P	17.50.310
Transportation											
Commercial Off-Street Parking (3)	A	MC	A	A	MC	A	A	A	—	A	17.40.070
Mobility Hub	P	P	P	P	P	P	P	P	P	P	
Transit Stations or Terminals	—	—	—	—	C	—	—	—	—	—	
Utilities											
Major	C	—	C	C	C	C	C	C	C	C	
Minor	P	—	P	P	P	P	P	P	P	P	
Temporary Uses											
Filming, long-term	MC	MC	MC	MC	MC	MC	MC	MC	MC	MC	

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ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS											
LAND USE (1)	PERMIT REQUIREMENT BY ZONE										Additional Relevant Standards from Zoning Code / Notes
	Low-Med Commercial	High Commercial	R&D Flex	Transit Core	Fillmore Transit Neighborhood	Raymond Transit District	Arroyo Gateway	Mixed Use Neighborhood	Multifamily 32	Institutional Flex	
	LMC	HC	RDF	TC	FTN	RTD	AG	MUN	MF-32	IF	
Filming, short-term	P	P	P	P	P	P	P	P	P	P	
Street fairs	P	—	P	P	P	P	P	P	P	P	
Tents	TUP	—	TUP	TUP	TUP	TUP	TUP	TUP	TUP	TUP	17.50.320
Personal Property Sales	P	—	P	P	P	P	P	P	P	P	Permit required: 17.50.190
Seasonal Merchandise Sales	P	—	P	P	P	P	P	P	—	P	17.50.180; 17.61.050.J CUP required for new construction over 25,000s.f.
Swap Meets	TUP	—	TUP	TUP	TUP	TUP	TUP	TUP	—	TUP	17.61.050.J CUP required for new construction over 25,000s.f.
Other Temporary Uses	TUP	TUP	TUP	TUP	TUP	TUP	TUP	TUP	TUP	TUP	

NOTES:

- (1) See Section 17.80.020 for definitions of the listed land uses
- (2) If within 300 feet of an R District this use shall be limited to 10 one-way truck trips by large trucks per day per six-day work week. This restriction shall apply to new uses and uses that expand by more than 30 percent of the gross floor area. This restriction shall not apply if the site or the adjacent R District is within 500 feet of a freeway.
- (3) No more than five large trucks (except trucks associated with vehicle services - sales and leasing) shall be stored on each lot. This restriction shall apply to new uses or uses that expand by more than 30 percent of the gross floor area. 17.40.070

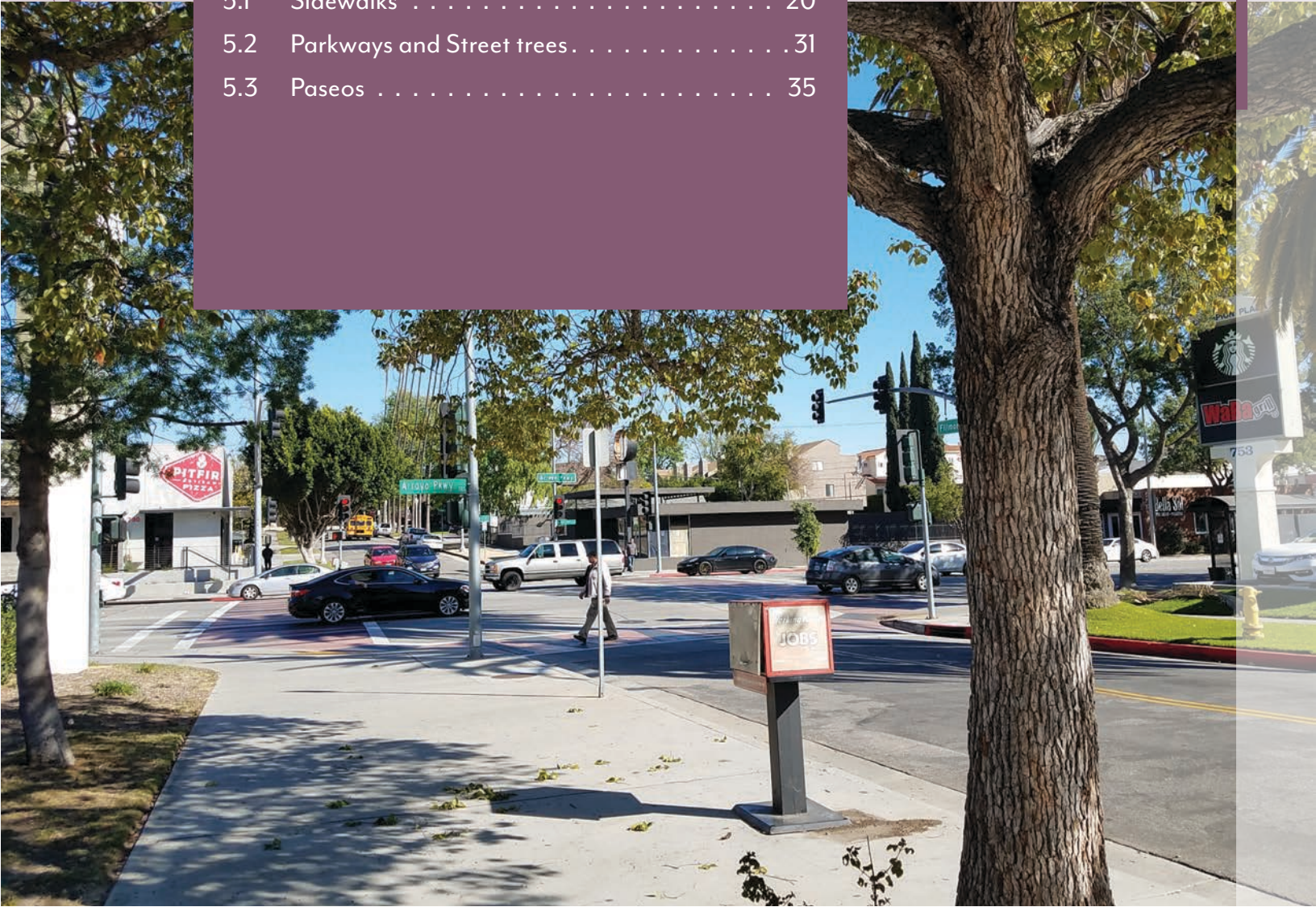
TABLE 4.2-1 SPECIFIC LIMITATIONS:

- (L1) Use listed is limited to upper floors, or allowed on the ground floor behind the first 35 feet from the minimum sidewalk line.
- (L2) Use not permitted on the ground floor; location is limited to upper floors and subterranean levels.
- (L3) Use listed is limited to a maximum of 30% of the building frontage on the ground floor.
- (L4) Use listed is limited to a maximum of 30% of the building frontage on the ground floor fronting Raymond Avenue within Fillmore Transit Neighborhood zone south of the Transit Core zone.

Ch. 5

Public Realm Standards & Design Guidelines

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PUBLIC REALM STANDARDS & DESIGN GUIDELINES

IMPORTANCE

The public realm standards and design guidelines in this chapter serve to implement the General Plan vision for South Fair Oaks Specific Plan Area and achieve objectives of the Pasadena Street Design Guide and Pasadena Master Street Tree Plan. To improve the public realm for users of all abilities, and to provide enough space for simultaneous uses of the sidewalk, these standards and guidelines ensure that new developments contribute to the safety, accessibility, and connectivity of their surrounding streetscape network. Many features that are critical to ‘walkability’ depend on the width and organization of the sidewalk. For example, consistent street trees provide shade and other aesthetic and environmental benefits, and sidewalk seating for restaurants and cafés activate the public realm and boost business. However, the success of both relies on the sidewalk offering ample and well-organized space to prevent conflicts with pedestrians.

CHAPTER OVERVIEW

The public realm standards and guidelines in this chapter address and regulate pedestrian infrastructure and amenities to support a safe, accessible, and comfortable pedestrian experience. The standards and guidelines are presented in the following pages as follows:

- » **5.1 Sidewalks.** Addresses minimum sidewalk widths and sidewalk zones.
- » **5.2 Parkway and Street Trees.** Addresses parkway dimensions, amenities, and materials, and street tree placement and preferred species..

Each section includes rationale for the standard followed by sub-sections for individual standards, if applicable. Each standard is introduced in text and/or table format with diagrams and images to illustrate regulations. Supplementary text boxes are provided for additional context on most standards and diagrams. Note that diagrams are provided for the purposes of communicating measurements and images are included to illustrate potential outcomes of the standards; neither are suggestive of regulated architectural styles.

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A well-designed public realm provides comfortable and accessible space for people of all abilities.

5.1 SIDEWALKS

The following sidewalk standards are intended to:

- » Ensure a minimum sidewalk width is achieved, appropriate to support future development densities, intensities, uses, and pedestrian volumes;
- » Provide sufficient sidewalk width to support dedicated amenity zones, walk zones and frontage zones; and
- » Increase shade and stormwater capture through increased street trees and parkways.

The following standards are covered in detail in this section:

- » 5.1.1 Sidewalk Zones
- » 5.1.2 Sidewalks

IMPORTANCE OF SIDEWALKS

Sidewalks play an important and multi-faceted role in the built environment, serving as spaces for pedestrian travel, entryways, sidewalk dining, street trees and landscaping, as well as a variety of amenities, such as benches, bus shelters, bicycle racks and trash receptacles. Sidewalk width standards correlate to the level of activity and surrounding densities, intensities, and uses. Ensuring sufficient widths and establishing distinct zones help to ensure that the sidewalk environment can support all functional activities.



Sidewalks with sufficient width can support pedestrian travel as well as space for various amenities, including parkways and street trees.

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5.1.1 SIDEWALK ZONES

PASADENA STREET DESIGN GUIDE

Pasadena’s Street Design Guide provides a framework for understanding the way sidewalks are used, and organizes sidewalks into zones to avoid conflict between various uses and amenities. Requirements vary based on the level of activity, land uses, intensities, and densities, as well as special conditions. Through designating specific zones, the South Fair Oaks Specific Plan can help enhance the pedestrian experience by increasing sidewalk widths, enabling more shade coverage and opportunities for amenities such as sidewalk seating and landscaping.

The Pasadena Street Design Guide organizes sidewalks into the following three sidewalk zones, which provide a basis for standards in the Specific Plan:

- » **Amenity / Curb Zone.** The Amenity / Curb Zone is the portion of the sidewalk directly adjacent to the street right-of-way. This zone typically includes street trees, street lights, parkways, street furniture, and bus shelters.
- » **Walk Zone.** The Walk Zone is the portion of the sidewalk dedicated to pedestrian travel and should be free of obstruction.
- » **Building Frontage Zone.** The Building Frontage Zone is adjacent to private property and allows for door openings from buildings, bicycle parking, and sidewalk seating.

Figure 5.1-1: Sidewalk Zones



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SIDEWALK ZONE EXAMPLE IMAGES

The images below reflect examples of appropriate conditions for the three sidewalk zones. These examples are illustrative and may not reflect all applicable development standards.

BUILDING FRONTAGE ZONE



Frontage zones may be used to accommodate outdoor dining



Frontage zones may include planters or in-ground landscaping to enhance the ground floor

WALK ZONE



Walk zones of 5 feet allow two people to walk together comfortably



Wider walk zones of at least 7 feet are appropriate for commercial retail areas

AMENITY/CURB ZONE



Grass or turf parkways with shade trees are appropriate for residential areas



Amenity zones may include street furniture, such as seating and pedestrian lighting

5.1.2 SIDEWALKS

- A. **Minimum Sidewalks.** Projects shall provide sidewalks that meet the minimum sidewalk width requirements per Map 5.1-1, as measured from the primary curb line, as illustrated in Figure 5.1-2.
1. Where the existing sidewalk right-of-way is less than the minimum width, the sidewalk shall be widened through an easement or dedication.
 2. This area shall be paved for general use to the standards specified by Public Works, except for landscaped parkways per Map 5.2-1.
 3. Within the sidewalk width, sidewalk zones shall be provided to the dimensions set throughout the diagrams in Figure 5.1-3.
 4. Improvements shall be installed and maintained by the property owner.
 - a. Exception: Parcels adjacent to the cul-de-sac along Fillmore Street, east of the Metro ROW, shall measure the minimum sidewalk width from the primary sidewalk curb line as illustrated in Figure 5.1-2.
- B. **Amenity Zone.** Sidewalks shall provide an amenity zone at the width illustrated in Figure 5.1-3, including the curb. Where the curb deviates (i.e. sidewalk extensions), exceptions in zone width are allowed and shall be determined by Public Works.
1. Parkway and street trees shall be provided to meet the minimum requirements set in Section 5.2.
 2. Uses allowed within the Amenity Zone include:
 - a. landscaping,
 - b. seating/furniture,
 - c. outdoor dining (with a public sidewalk occupancy permit),
 - d. bicycle parking,
 - e. bus shelters, and/or
 - f. driveways.
- C. **Walk Zone.** Sidewalks shall maintain a minimum continuous path of travel for pedestrians at the width illustrated in Figure 5.1-3.
1. This area shall be free of all furnishings, landscaping, or obstructions.
- D. **Frontage Zone.** Sidewalks may include a building frontage zone between the Walk Zone and the minimum sidewalk line. A maximum width is illustrated in Figure 5.1-3.
1. Uses allowed within the Frontage Zone include:
 - a. pedestrian travel,
 - b. seating/furniture,
 - c. outdoor dining (with a public sidewalk occupancy permit),
 - d. landscape planters,
 - e. bicycle parking, and/or
 - f. shade structures.

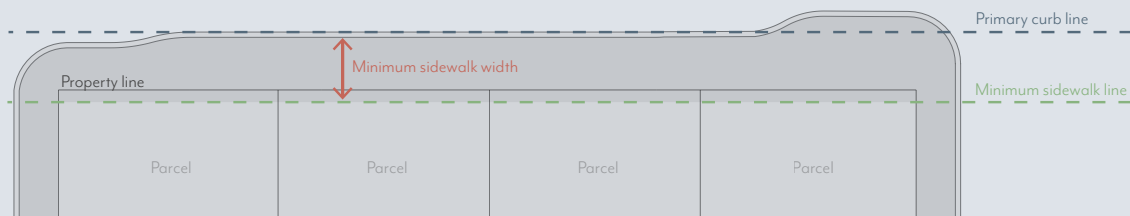
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Public Realm Standards & Design Guidelines

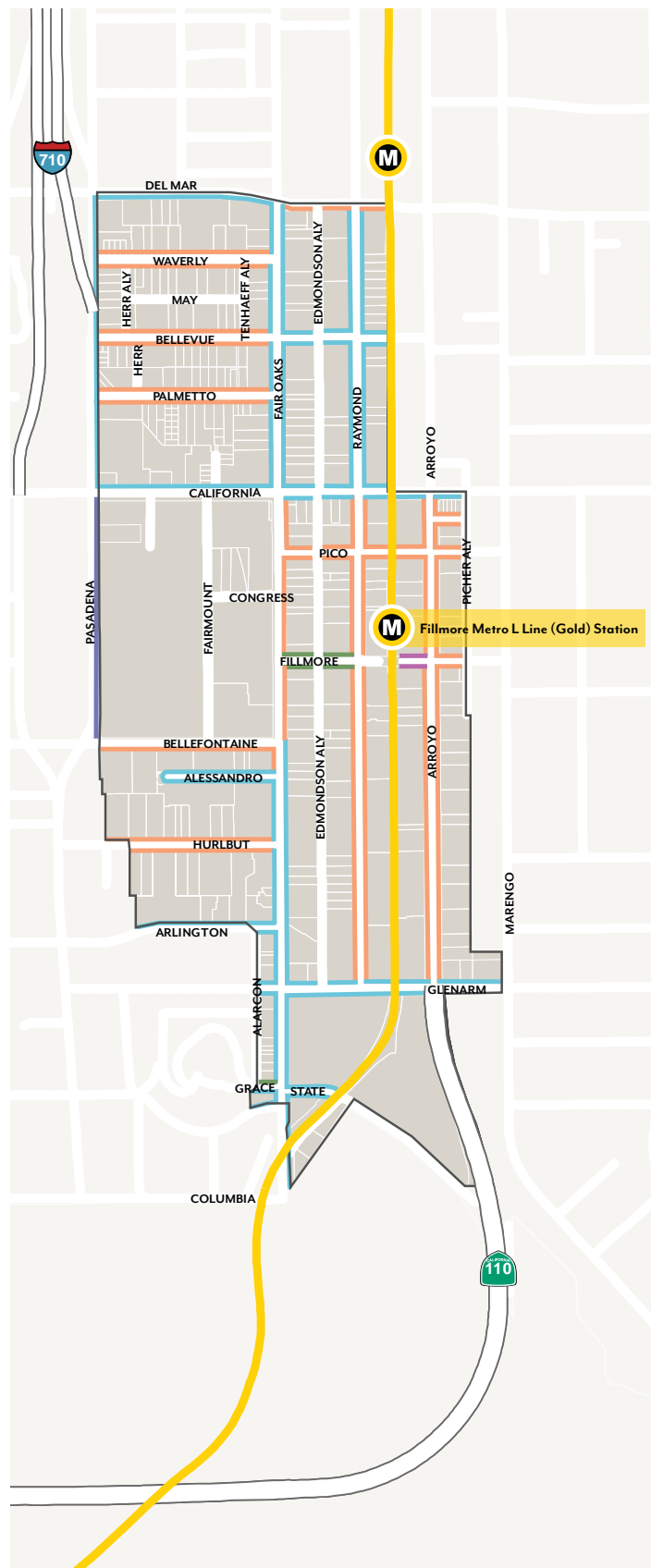
Figure 5.1-2: Minimum Sidewalk Width Measurement

The minimum sidewalk line is the line created by measuring the minimum sidewalk width from the Primary Curb Line. The Primary Curb Line is the predominant back of curb line of a given block, and shall not include “bulb outs” or reductions in sidewalk width at intersections.

As illustrated here, some parcels may not currently provide sufficient width to meet the minimum sidewalk requirement. In these cases, the property owner must provide additional paved area through an easement or dedication. FAR shall be calculated based on full parcel area, not the reduced area if required to meet sidewalk width minimum.



Map 5.1-1: Minimum Sidewalk Widths with Zoning District Reference



Minimum Sidewalk Dimensions

- 12 ft.
- 15 ft.
- 18 ft.
- 22 ft.
- 25 ft.

Zoning Districts

- SFOSP-Fillmore Transit Neighborhood
- SFOSP-Transit Core
- SFOSP-Raymond Transit District
- SFOSP-Arroyo Gateway
- SFOSP-Institutional Flex
- SFOSP-Low-Medium Commercial
- SFOSP-High Commercial
- SFOSP-R & D Flex
- SFOSP-Mixed-Use Neighborhood
- SFOSP-Multi-Family Residential
- Public Semi-Public*

*Zone is governed by PMC

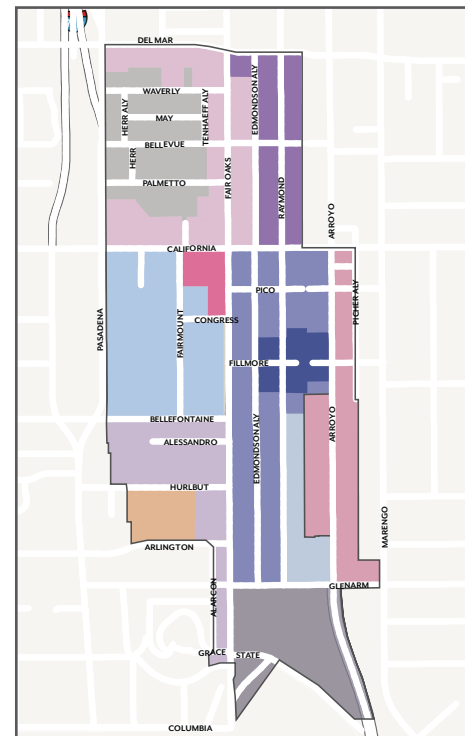


Table 5.1-1: Cross Section Diagram Reference Guide

Each zoning district in South Fair Oaks has a distinct character and vision, therefore tailored minimum sidewalk widths and building setbacks have been established throughout the Specific Plan Area. Sidewalks and setback regulations work together to achieve a sense of place in the public realm. Street setbacks (private realm) complement sidewalks (public realm) by providing additional space for amenities such as landscaping and seating. Using the values established in Map 5.1-1 (Minimum Sidewalk Widths by Zoning District) and Map 6.2-1 (Street Setbacks), refer to the corresponding cross-section diagram in Figure 5.1-3 for sidewalk zone width requirements. Setback standards are discussed in detail in Chapter 6.

Street	Zoning District	Sidewalk Width	Setback Range	Diagram #
Del Mar Blvd	LMC	12	0-5	2
	RTD	15	0-5	7
		15	5-10	8
Waverly Dr	RDF	15	N/A	10
	LMC	15	N/A	10
Bellevue Dr	RDF	15	N/A	10
	LMC	15	N/A	10
		12	0-5	2
	RTD	12	5-10	4a
Palmetto Dr	RDF	15	N/A	10
	LMC	15	N/A	10
Pasadena Ave	RDF	12	0-5	2
	LMC	12	0-5	2
Fair Oaks Ave	RTD	12	0-5	2
		LMC	12	0-5
		15	5-10	8
	HC	15	5-10	8
	FTN	15	5-10	8
		15	0-5	7
		12	5-10	4a
	MUN	12	5-10	4a
	MF-32	12	5-10	4b
IF	12	5-10	4a	
Raymond Ave	RTD	12	5-10	4a
	FTN	15	0-3	6
		15	0-5	7
Arroyo Pkwy	FTN	15	5-10	8
	TC	15	5-10	8
	AG	15	5-10	8

Street	Zoning District	Sidewalk Width	Setback Range	Diagram #	
California Blvd	LMC	12	0-20	3	
		12	0-5	2	
		12	5-10	4a	
	HC	12	5-10	4a	
	FTN	12	5-10	4a	
Pico St	FTN	12	5-10	4a	
		AG	12	5-10	4a
		15	5-10	8	
	15	0-3	6		
	AG	15	0-5	7	
Fillmore St	FTN	22	0-5	11	
		22	0-5	11	
	TC	25	0-10	12	
	AG	15	5-10	8	
Bellefontaine St	MUN	15	5-10	8	
15		10-15	9a		
Alessandro Pl	MUN	12	5-10	4a	
Hurlbut St	MUN	15	5-10	8	
		15	10-15	9a	
	MF-32	15	10-15	9b	
Arlington Dr	MUN	12	10-15	5	
	MF-32	12	5-10	4b	
Glenarm St	MF-32	12	5-10	4b	
		12	5-10	4a	
	FTN	12	5-10	4a	
		12	0-3	1	
	AG	12	5-10	4a	
	IF	12	5-10	4a	
Grace Terrace	MF-32	12	5-10	4b	
State St	IF	12	0-5	2	

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Public Realm Standards & Design Guidelines

Figure 5.1-3: Minimum Sidewalk Width and Sidewalk Zone Requirements - Cross-Section Diagrams

Diagram 1: 12' Minimum Sidewalk, 0-3' Setback

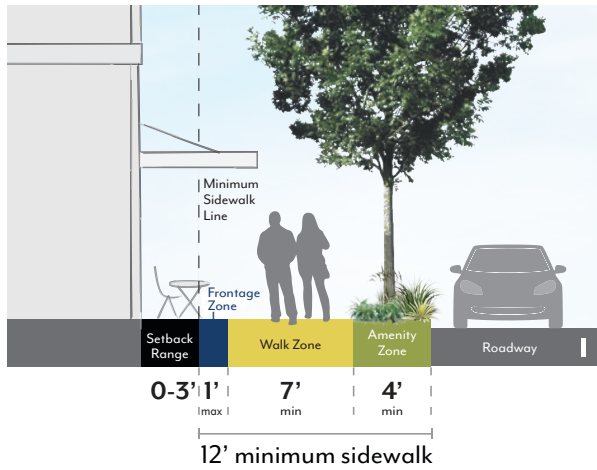


Diagram 2: 12' Minimum Sidewalk, 0-5' Setback

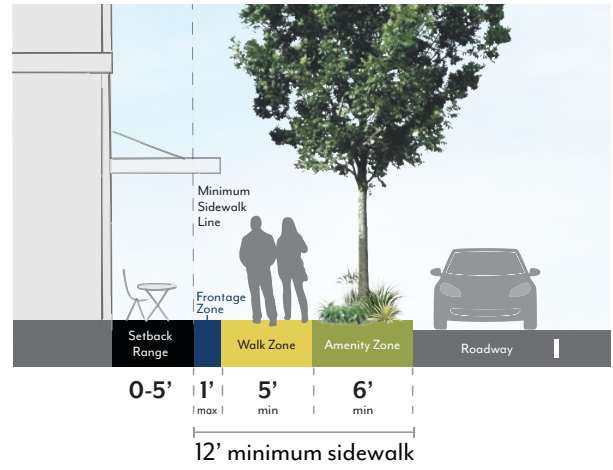


Diagram 3: 12' Minimum Sidewalk, 0-20' Setback

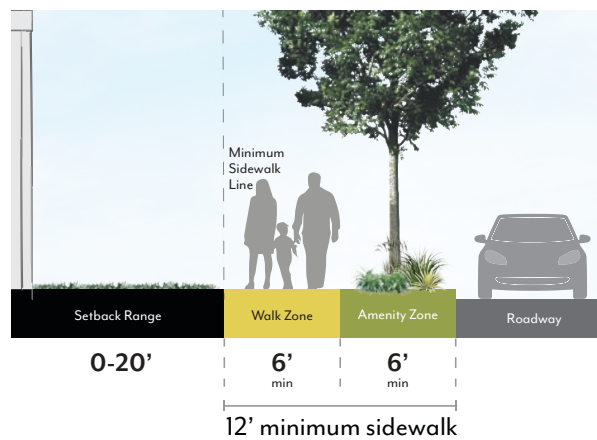


Diagram 4a: 12' Minimum Sidewalk, 5-10' Setback

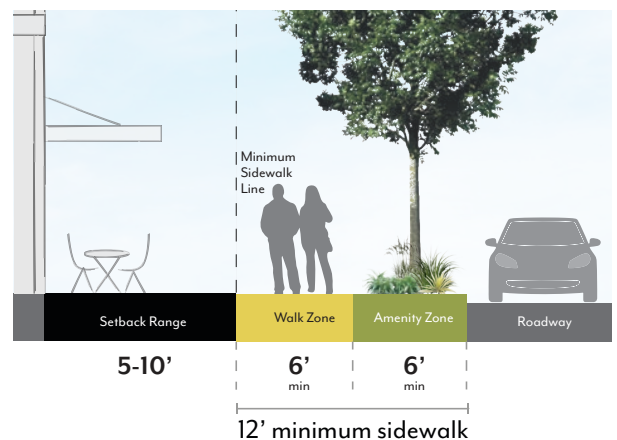


Diagram 4b: 12' Minimum Sidewalk, 5-10' Setback (Residential Ground Floor)

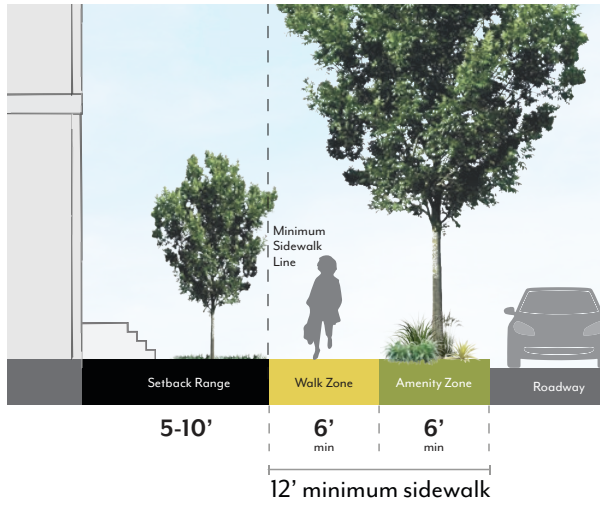


Diagram 5: 12' Minimum Sidewalk, 10-15' Setback

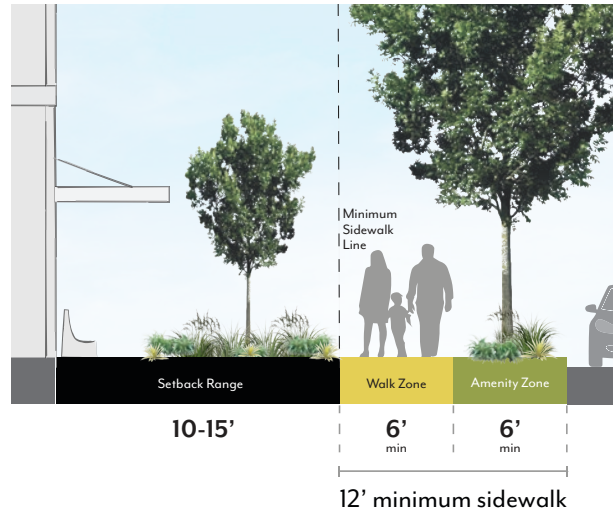


Diagram 6: 15' Minimum Sidewalk, 0-3' Setback

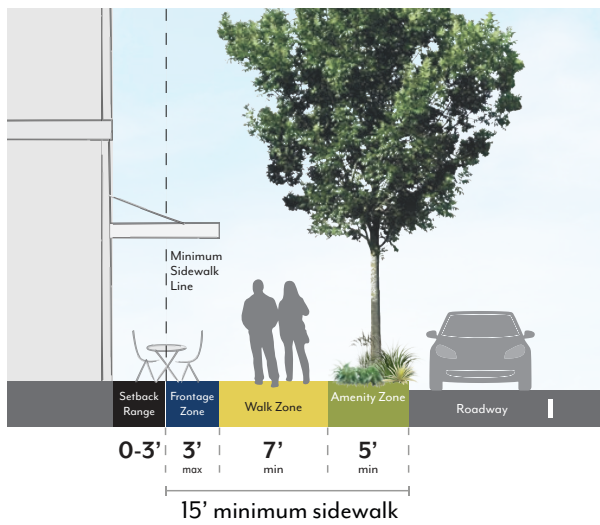
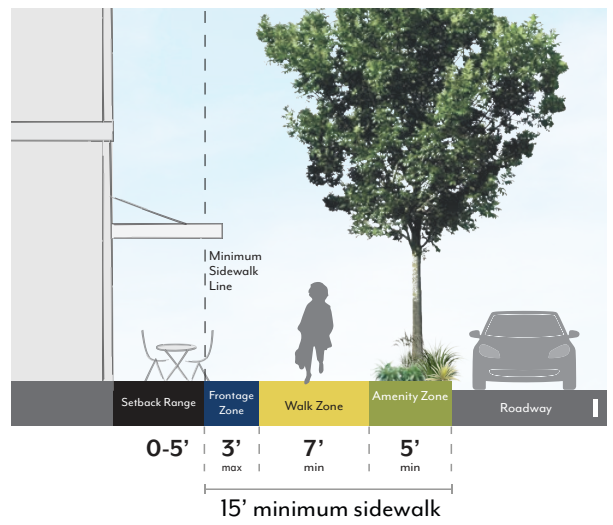


Diagram 7: 15' Minimum Sidewalk, 0-5' Setback



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Diagram 8: 15' Minimum Sidewalk, 5-10' Setback

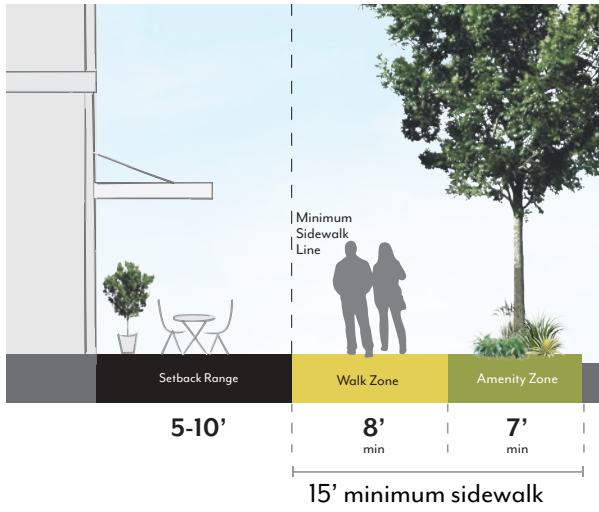


Diagram 9a: 15' Minimum Sidewalk, 10-15' Setback

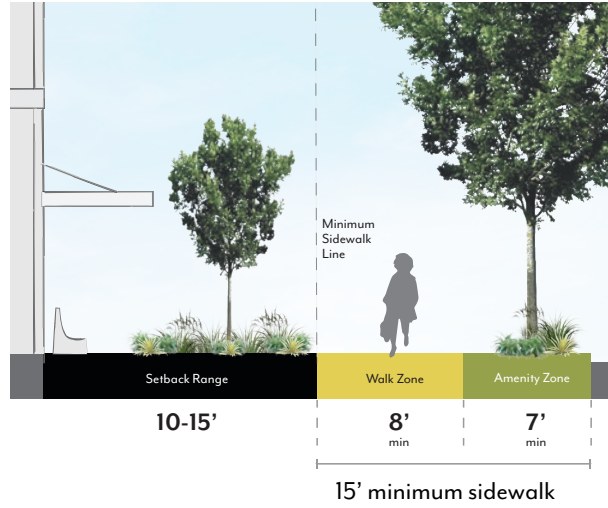


Diagram 9b: 15' Minimum Sidewalk, 10-15' Setback
(Residential Ground Floor)

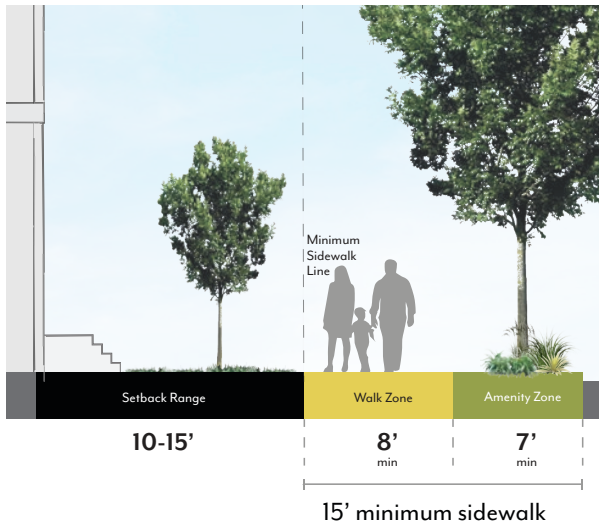
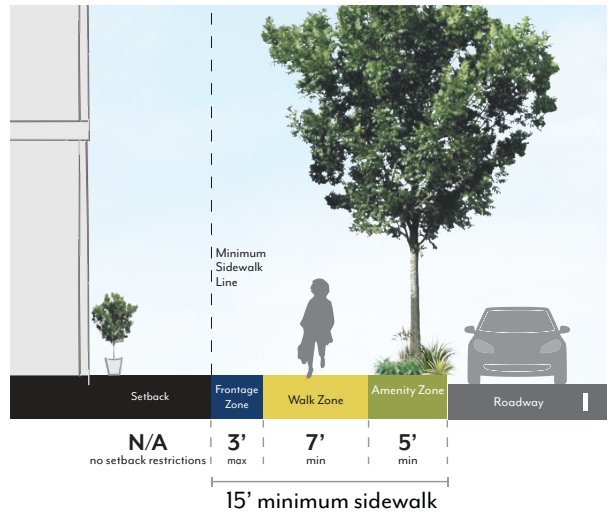


Diagram 10: 15' Minimum Sidewalk, No Setback Restrictions



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Diagram 11: 22' Minimum Sidewalk, 0-5' Setback

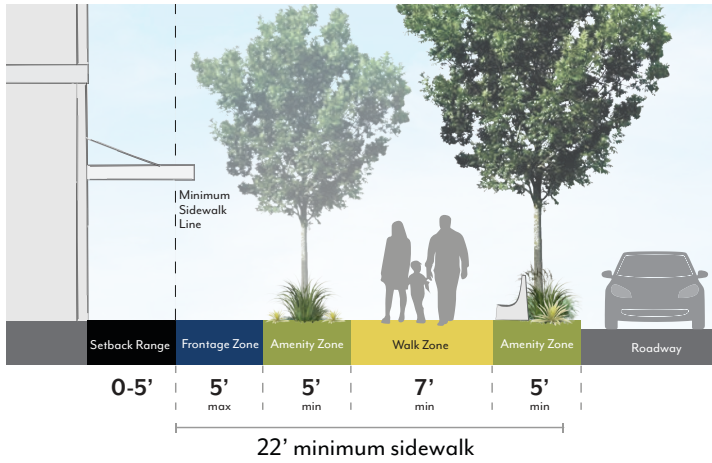
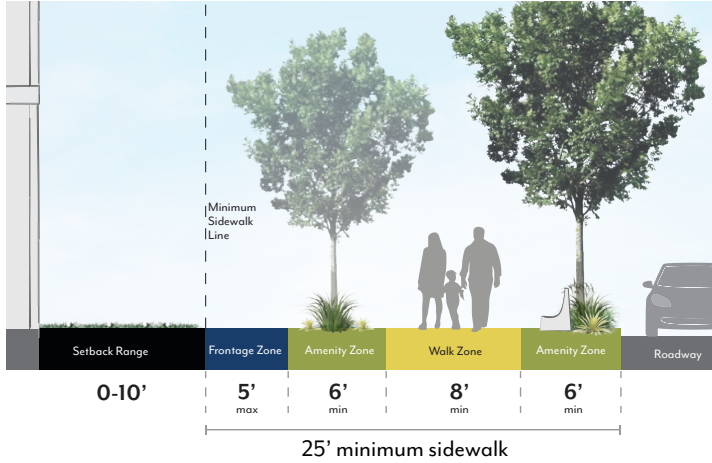


Diagram 12: 25' Minimum Sidewalk, 0-10' Setback



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SIDEWALK EXAMPLE IMAGES

Sidewalk widths of at least 12' are required throughout the Specific Plan Area to provide space for a clear walk zone and basic amenities such as landscaping, lighting, signage, and bicycle parking. Sidewalks of 15' to 25' are required where feasible to increase flexibility of amenity placement and clear paths of travel.



Example of approximately 12' sidewalk



Example of approximately 15' sidewalk



Example of approximately 22' sidewalk

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5.2 PARKWAYS AND STREET TREES

The following Parkway and Street Trees standards and guidelines are intended to:

- » Enhance pedestrian conditions through increased landscaping at sidewalk level
- » Provide a visual buffer between parking lane and sidewalk
- » Improve stormwater capture and increase permeability of sidewalk zone
- » Improve street tree health

The following standards and guidelines are covered in detail in this section:

- » 5.2.1 Parkways
- » 5.2.2 Street Trees (section under development)



IMPORTANCE OF PARKWAYS

Parkways are landscaped or permeable areas within the sidewalk that play an important role in today's urban landscape by improving pedestrian comfort, increasing sustainability, and enhancing the aesthetic character of the public realm. By expanding the permeable area around street trees, parkways increase rain and stormwater capture, leading to improved street tree health and larger tree canopies, which creates cooler temperatures for pedestrians and reduces pollution in our nearby waterways. Parkways also provide a visual buffer between the pedestrian and moving or parked vehicles, which further improves pedestrian comfort and creates a more attractive sidewalk environment. Typically residential neighborhoods can accommodate long, uninterrupted areas of parkways within the sidewalk. In commercial and mixed use areas, available space for parkways may be constrained by bus shelters, street lights, and the need to accommodate higher levels of pedestrian traffic; however, significant parkway opportunities still exist on these corridors.

IMPORTANCE OF STREET TREES

Street trees play an important role in keeping cities livable, sustainable and resilient. Trees improve air quality, increase urban biodiversity, and help reduce carbon emissions. In addition to environmental benefits, trees provide health, social, economic, and aesthetic benefits to communities. Requirements based on guidance from the City's Master Street Tree Plan will increase street tree coverage and require the preservation or introduction of certain tree species. In adherence with these street tree standards and guidelines, new development will contribute to an enhanced shade canopy that helps to reduce the urban heat island effect, decrease sidewalk temperatures, enhance pedestrian comfort, and improve the visual experience of the street.

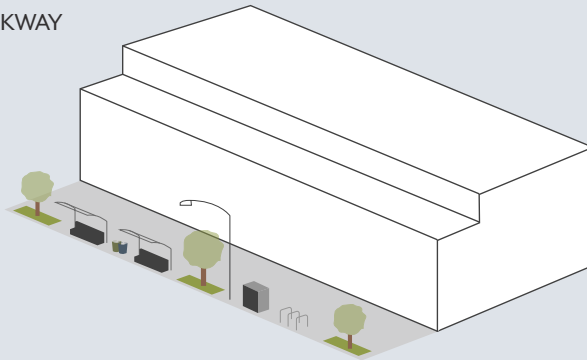
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5.2.1 PARKWAYS

- A. **Minimum Parkways.** Projects shall provide parkways that meet the minimum parkway length requirements per Map 5.2-1. Parkways are measured as a percentage of parcel frontage, as illustrated in Figure 5.2-1.
- B. **Stormwater Capture.** Parkways shall be designed to capture and retain or treat runoff from the sidewalk. The center 2 inches of the parkway shall be depressed 3-4 inches to form a shallow swale that collects stormwater. Alternative means of storing runoff may be approved by Public Works.
- C. **Materials.** A minimum of 50% of the parkway area must be comprised of planting, including street trees, shrubs, and groundcovers. No more than 50% of the parkway area may be comprised of permeable cover materials, including rock, decomposed granite, or permeable pavers. Mulch or porous concrete is not permitted.

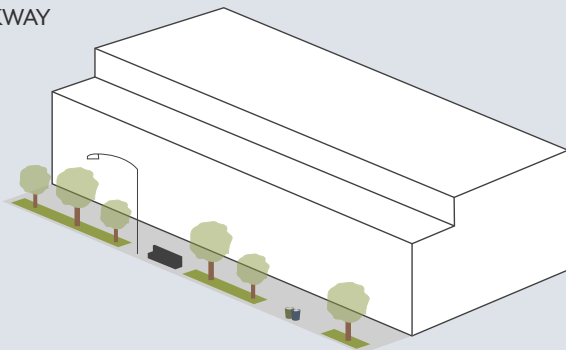
Figure 5.2-1: Minimum Parkways

30% PARKWAY



30% minimum parkway requirement provides room for landscaping and street trees while allowing for other amenities or utilities that may be found in a commercial or mixed-use environment, including seating, waste receptacles, bicycle parking, bus shelters, and driveways.

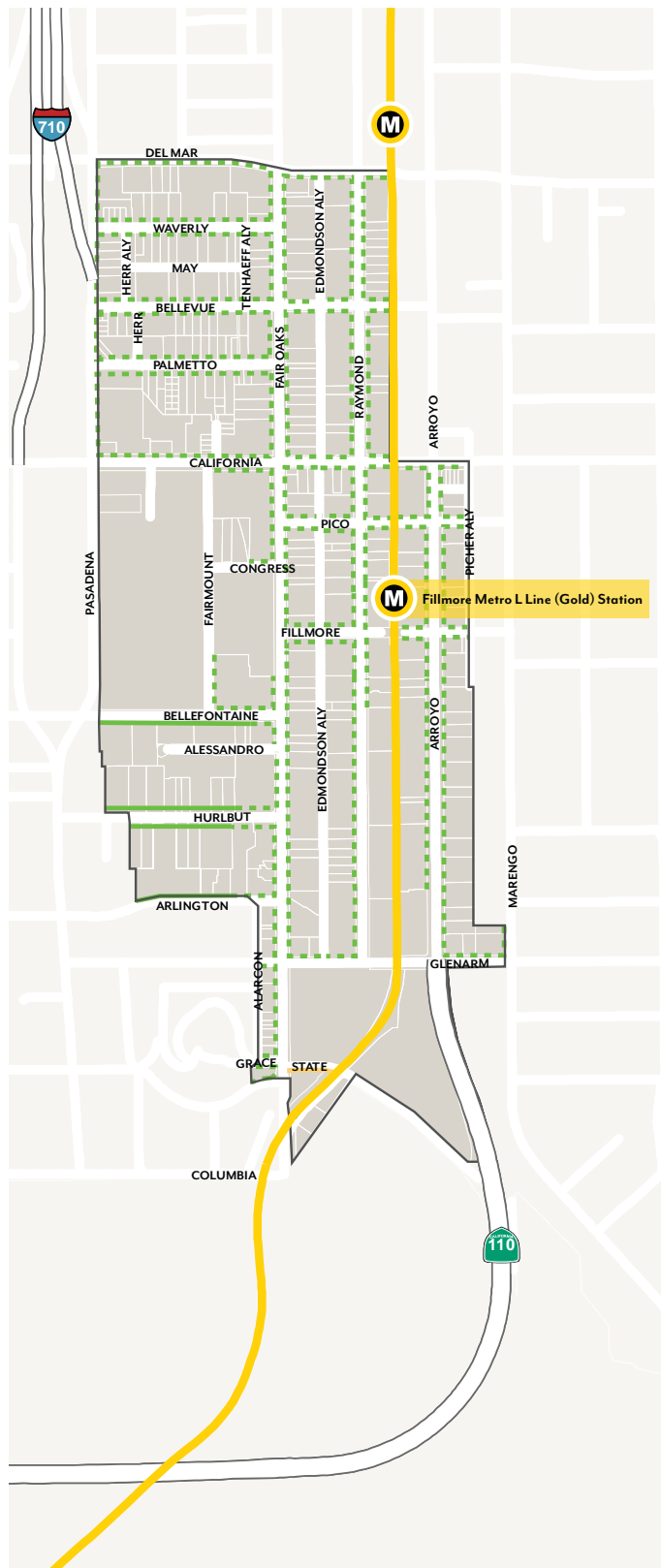
60% PARKWAY



60% minimum parkway requirement provides room for consistent landscaping and shade tree coverage while allowing for driveways and other amenities or utilities that may be found in a primarily residential environment.

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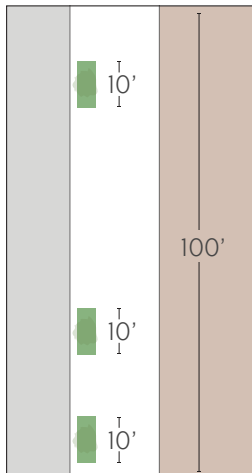
Map 5.2-1: Minimum Parkway



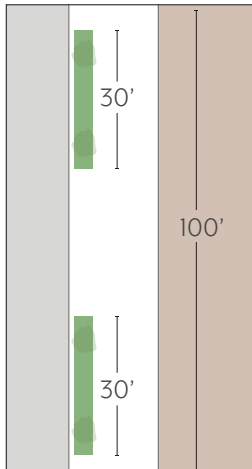
Minimum Parkway

- 60%
- - - 30%

Example of 30% Parkway



Example of 60% Parkway



- █ parkway
- sidewalk
- roadway
- parcel

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PARKWAY EXAMPLE IMAGES

The images below reflect examples of appropriate conditions for parkways. These examples are illustrative and may not reflect all applicable development standards.



Commercial Parkway



Residential Parkway



Commercial Parkway



Residential Parkway



Commercial Parkway



Residential Parkway

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5.3 PASEOS

Some developments in the plan area are required to provide paseos to meet requirements for Public Open Space. The location of future paseos are identified in Map 6.4-1. The following Paseo standards and guidelines are intended to:

- » Increase pedestrian connectivity and visual interest by reducing large block sizes
- » Provide additional public open space while improving walkability and creating safe spaces for pedestrian travel

The following standards are covered in detail in this section:

PASEO STANDARDS

- » 5.3.1 Classification and Dimensions
- » 5.3.2 Signage
- » 5.3.3 Security and Access
- » 5.3.4 Stormwater Management
- » 5.3.5 Hours
- » 5.3.6 Elevation
- » 5.3.7 Hardscape
- » 5.3.8 Softscape
- » 5.3.9 Lighting
- » 5.3.10 Utilities and Trash Enclosures

IMPORTANCE OF PASEOS

Paseos are pedestrian-only pathways that connect two streets. Paseos function as linear public open spaces that break up large urban blocks and provide additional pedestrian connectivity within neighborhoods. Paseos should be designed to a pedestrian scale and incorporate amenities such as seating, public art, shading, and landscaping.

The following guidelines are covered in detail in this section:

PASEO GUIDELINES

- » 5.3.11 Framing
- » 5.3.12 Accessibility and Safety
- » 5.3.13 Hardscape & Softscape
- » 5.3.14 Seating
- » 5.3.15 Lighting
- » 5.3.16 Additional Amenities and Programming

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Public paseos provide walkable connections, and can offer opportunities for outdoor dining. Landscaping and trees provide shade and improve aesthetics.

PASEO STANDARDS

5.3.1 CLASSIFICATION & DIMENSIONS

- A. There shall be two types of Paseos depending on the adjacent land-use. The dimensions, program, and accessibility shall be in compliance with City's fire regulations and requirements.
1. **Destination Paseos:** These Paseos shall be programmed for public gathering to participate in cultural, commercial and recreational activities, outdoor dining, special events, or pausing for respite. These are designed primarily for pedestrian and bicycle access with restricted vehicular access for service/ maintenance only They shall have an average width of 25 feet and be at least 75% open to the sky.
 2. **Connector Paseos:** These paseos shall be primarily for pedestrians and/or bicyclists and provide a through-block connection in residential areas or connect into a Destination Paseos. These have limited opportunities for commercial activity, limited service function, and no vehicular access. These paseos shall have a cross sectional proportion (Width : adjacent median building Heights : Length of Paseos) of 1 : 2.5 : 6 The minimum width shall be 15'.

5.3.2 SIGNAGE

- A. Public Open Space shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and include opening hours. In Paseos that have commercial frontages, a directory signage shall be provided at each entry the all paseos. Specific sign guidelines shall be created for all properties with building facades immediately adjoining the paseos.

5.3.3 SECURITY & ACCESS

- A. Bollards shall be provided at all entry points of Paseos to restrict vehicular access. Some bollards shall be removable bollards to provide emergency vehicular access.

5.3.4 STORMWATER MANAGEMENT

- A. At least 25% of the total paved area shall be permeable paving to allow for stormwater infiltration. Depending on Soil and site conditions, infiltration and/or flow-through planters shall be installed to capture and treat 100% of the stormwater run-off on-site.

5.3.5 HOURS

- A. At a minimum, Public Open Space shall be open to the general public from 8am to 8pm.

5.3.6 ELEVATION

- A. Paseos shall be at ground level and comply with ADA regulations if there is a grade change across the paseos.

5.3.7 HARDSCAPE

- A. **Paving.**
1. The paving shall be of non-skid durable materials that are decorative and compatible in color and pattern with other design features of the paseos.
 2. Paving surfaces shall be of light colored/ high-albedo materials and have a minimum Solar Reflectance (SR) of 0.3 and Solar Reflective Index (SRI) of 29.
 3. A maximum of 25% of Public Open Space may be paved in standard concrete. Remaining paved areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate, Permeable paving including open-grid pavement system, and/or other alternative paving per review authority approval.
 4. Paving shall be load rated for at least light vehicular load, unless other types of vehicular loads (like the emergency vehicles, maintenance trucks etc.) are required.

- B. **Seating.** A minimum of 1 linear feet of fixed seating shall be provided per 30 square feet of paseo. 50% of the seating shall have a backrest and armrest. The fixed seating could be individual seats, benches, seat walls, or planter ledges. Seating dimensions shall comply with ADA regulations.
- C. **Miscellaneous Site Furnishings.** Site furnishings and fixtures like tree grates, bollards, trash receptacles, drinking water fountains, bike racks etc. shall be durable in harsh weather conditions, vandal resistant, and designed to require low maintenance.

5.3.8 SOFTSCAPE

- A. **Trees.**
 1. Trees within Paseos shall be selected in compliance with the Pasadena Tree Ordinance and shall have higher canopy and sited to ensure visibility at the pedestrian level, while maximizing shade.
 2. A minimum of one 24-inch box tree with 4" in caliper or multi-stem equivalent per project or per each 750 sqft of Public Open Space, whichever is greater, shall be planted.
 3. For projects with 2 or more trees, at least 50% of trees planted shall be shade trees.
 4. All existing trees shall be protected in place or transplanted in accordance to the Pasadena Tree Protection Ordinance.
- B. **Shrubs/Ground Covers.** A minimum of 25% of Paseos shall be planted area at least 30 inches in each dimension. For safety reasons, planting shall be chosen to ensure clear sight lines across the paseos at full plant maturity.
- C. **Vertical landscaping.** Vertical landscaping may substitute for planted area, in which case the area requirement is halved. Green walls shall consist of their own substructure and dedicated hydration system; green facades, composed of climbing vines or other plants, are not considered vertical landscaping for the purposes of this standard.
- D. **Invasive Species.** To prevent introduction of an invasive species, plant material shall be selected in compliance with the California Department of Food & Agriculture, California Invasive Plant Council, and Natural Resources Conservation Service (NRCS) policy and requirements regarding invasive species.

- E. **Soil depth.** To ensure livelihood of planting and trees, soil depths of at least 18 inches for grass or ground cover; 3 feet for shrubs; and 3 feet, 6 inches for trees shall be provided.
- F. **Irrigation.** All plant materials shall be selected in compliance with Model Water Efficient Landscape Ordinance (MWELO) Drainage systems are also required in planted areas located above subsurface structures such as garages or basements.

5.3.9 LIGHTING

- A. Pedestrian scale light poles or light fixtures mounted on building façade shall be used and conform to the latest State of California Green Building Standards Code and California Energy Code.

5.3.10 UTILITIES AND TRASH ENCLOSURES

- A. Any above-grade utilities shall be in aesthetically pleasing enclosures, securely locked, and be designed to complement the Paseos overall character and design.

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PASEO GUIDELINES

5.3.11 FRAMING

- A. Walls facing the paseo shall adhere to façade modulation standards defined in section 6.2.3 and blank walls standards defined in section 6.3.6.
- B. In addition to meeting the parking standards defined in section 6.5, parking lots or structures facing a paseo should be screened with landscaping or creative, pedestrian-friendly architecture per Design Review/Director Approval.
- C. Storefronts (commercial), and unit entries or stoops (residential) should front onto the paseo when possible.
- D. Projects should maintain direct sight lines between paseo entrances when possible. If paseos are required to jog due to project constraints, an open space of at least 50 feet x 50 feet at the point of connection is encouraged to increase safety and minimize impacts of obstructed sight lines.



Public paseos should be clearly visible from the street and framing walls should be designed to meet façade modulation standards.



5.3.12 ACCESSIBILITY AND SAFETY

- A. Paseos should be physically and visually accessible from the public sidewalk.
- B. No fences, walls, or entry gates should block passage through the paseo during the established hours.
- C. Vehicular access to the paseo should be permitted for fire access and occasional commercial loading only. Commercial loading should be limited to specific hours of low public usage.
- D. Paseo entrances, storefronts, unit entries, and stoops facing the paseo should be designed and lighted to prevent hiding spaces.
- E. Property owners may close commercial paseos to the public for private events no more than once per month.

5.3.13 HARDSCAPE & SOFTSCAPE

- A. Paseos should be paved with high-quality, durable materials that complement the architectural style of adjacent buildings.
- B. Landscaped areas should contain a combination of low, medium, and tall plant materials as appropriate. Larger plants and shade trees should be carefully placed to allow for clear walkways and sightlines.
- C. Landscaping should be used to activate building facades, soften building contours, highlight important architectural features, screen less attractive elements, add color, texture, and visual interest, and provide shade.
- D. Landscape elements in non-fixed low height planters are encouraged to enhance areas where in-ground landscaping is infeasible or limited.
- E. Use of low maintenance native plant species is encouraged to reduce irrigation requirements and promote long term sustainability.



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- F. A varied planting palette should be used to promote biodiversity.
- G. The property owner or his/her agent should maintain landscaping within the paseo.

5.3.14 SEATING

- A. A variety of fixed and movable seating options should be provided. Ideas for seating include: moveable chairs, fixed benches, seat walls, planter ledges, fountain borders, and seating steps.
- B. While the minimum seating requirement should be met with seats designed for comfort, additional seating can take more creative forms as part of public art and landscaping designs.

5.3.15 LIGHTING

- A. Paseos should include a sufficient amount of lighting for night-time use.
- B. Lighting should be an integral component of the overall paseo design and is encouraged to be incorporated in public art and water features.
- C. Lighting should be pedestrian scaled, including both low-level pathway lighting and overhead wall mounted fixtures.
- D. Accent lighting like step lights and under-bench lighting could be used to create dynamic lighting experience.

5.3.16 ADDITIONAL AMENITIES & PROGRAMMING

- A. A waste receptacle should be provided for every 5,000 square feet of the paseo (i.e. two for a paseo 400 feet in length)
- B. Waste receptacles should be clearly marked and designed to complement surrounding architecture and materials.
- C. A mix of direct sunlight and shade should be provided through shade structures, landscaping, and building massing.
- D. Areas within the Paseos that can be used for events programming should be provided with electrical input.
- E. Paseos should include at least one special feature such as a public art piece or water feature. Special emphasis should be placed on creating terminating views that provide visual cues to users that these spaces are intended to be active and friendly.
- F. Bike racks and scooter parking areas should be provided near entrances, without obstructing walkways.
- G. Paseos should be considered sidewalks for the purposes of permitting street vending in compliance with Pasadena Municipal Code Section 12.10 - Sidewalk Vendors and California Senate Bill 946 (Safe Sidewalk Vending Act).
- H. Non-transactional programming should be encouraged to activate the space without financial barriers to entry.

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Figure 5.2-2: Prototypical Paseo





Ch. 6

Development & Design Standards

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6.1 Intensity & Density	44
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DEVELOPMENT & DESIGN STANDARDS

IMPORTANCE

The development and design standards in this chapter serve to implement the General Plan vision for the South Fair Oaks Specific Plan Area:

“...To capitalize on the presence of [Huntington Memorial Hospital, Art Center College of Design (south campus), and the Fillmore Metro Gold Line station], focusing on development adjoining the Fillmore Metro Gold Line station; introducing housing for seniors, students, or employees for the major institutions; and converting underutilized industrial lands for new businesses and job-generating uses leveraged by the medical and creative office uses.”

The standards identified for the South Fair Oaks Specific Plan facilitate a higher density, mixed-use neighborhood district adjoining the Fillmore Metro Gold Line station with additional clusters of medical supportive uses, residential activity with local-serving shops, housing, and amenities, and employment-focused research & development and commercial uses. While the standards in this chapter are focused on achieving a forward-thinking vision, they also serve to guide development with contextual sensitivity to designated historic resources and neighboring residential communities.



CHAPTER OVERVIEW

The development and design standards in this chapter address and regulate new development, working together to facilitate high-quality, context-sensitive buildings which support a vibrant neighborhood-oriented district in the South Fair Oaks Specific Plan Area. Each development and design standard serves a distinct purpose and collectively forms a holistic toolbox of strategies. The following standards are presented in this chapter:

- » **6.1 Intensity & Density.** Addresses residential density, commercial intensity, and building heights.
- » **6.2 Massing.** Includes a series of development and design standards which work together to shape development.
- » **6.3 Ground Floor Design.** Standards that focus on the the design of a building’s ground floor.
- » **6.4 Open Space.** Introduces standards for private, common, and public use.
- » **6.5 Access & Parking.** Addresses vehicle access and parking standards, as well as standards which address parking garages.

Each section includes rationale for the standard followed by sub-sections for individual standards, if applicable. Within each standard, introductory text is provided for additional context, followed by standards in text and/or table format with diagrams and images to illustrate regulations. Note that diagrams and images are provided to communicate measurement and intent of the standards; neither are intended to suggest the use of particular architectural styles.

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6.1 INTENSITY & DENSITY

The General Plan Land Use Element designates a range of intensities and densities in the South Fair Oaks Specific Plan Area to support the establishment of a vibrant mixed-use neighborhood district with new housing options, retail and service businesses, medical office spaces, and job-generation commercial uses.

The standards in this section are intended to:

- » Implement the General Plan densities (du/ac) and floor area ratios (FAR)
- » Foster a diverse community that supports integrated residential and non-residential uses appropriately scaled to the surrounding areas.

The following standards are covered in detail in this section:

- » 6.1.1 Density and FAR
- » 6.1.2 Height



Example of approximately 2.25 FAR medical office building



Example of approximately 26 du/ac residential building

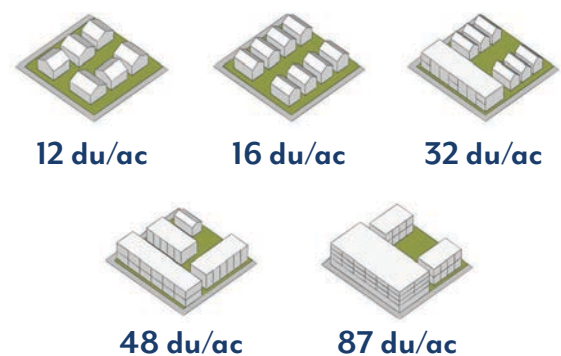
FLOOR AREA RATIO (FAR)

FAR is the calculation used for measuring non-residential or mixed-use development intensity, describing the total permitted floor area in relation to the total area of the development site. The diagrams below demonstrate how each FAR value can apply to a variety of building forms.



DWELLING UNITS PER ACRE (DU/AC)

Dwelling Units per Acre (du/ac) is the calculation used for measuring residential density, describing the number of residential housing units permitted in relation to 1 acre of land. The diagrams below reflect how various densities take shape on a 0.5 acre plot of land.



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6.1.1 DENSITY AND FAR

- A. **Dwelling Units per Acre.** Projects that include any dwelling units, including mixed-use, shall not exceed the allowable dwelling units per acre (du/ac) set in Map 6.1-2.
 - 1. The maximum is based on gross parcel size; a reduction in buildable area due to dedications/easements or setbacks shall not reduce allowable maximums.
 - 2. Unit mix. For residential Projects with 50 units or more, 15% of the total number of units shall have three bedrooms or more.
- B. **Floor Area Ratio.** Projects that include any non-residential space, including mixed-use, shall not exceed the allowable floor area ratio (FAR) set in Figure 6.1-1.
 - 1. Development on a single parcel may exceed the maximum FAR by up to 10% provided that the additional floor area is necessary to achieve an economically-feasible development and meets the following circumstances. The intent is to allow sufficient flexibility and facilitate development where unique factors are involved, including:
 - a. unusual parcel size and configuration;
 - b. preservation of a historic structure;
 - c. production of Public Open Space; and/or
 - d. eligibility for a density bonus as provided by state law.
 - 2. The maximum is based on gross parcel size; a reduction in buildable area due to dedications/easements or setbacks shall not reduce allowable maximums.

SCALED DEVELOPMENT & HOUSING NEEDS

FAR and Density maximums in MUN aim to support existing residential and medical-supportive uses. Density maximums in MF-32 allow for medium scale multi-family residential. FAR and Density maximums in TC, FTN and RTD allow for higher residential capacity to meet local and regional housing needs and support local businesses. FAR maximums in LMC and AG aim to support a low-to-medium scale commercial character, with higher intensity FAR maximums are identified in HC.

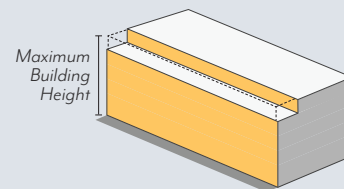
6.1.2 HEIGHT

- A. **Building Height.** Projects shall comply with the allowable height limits set in Figure 6.1-3.
 - 1. Height is measured from the existing grade of the site to an imaginary plane located above but parallel to the grade.
 - 2. Exceptions allowed for projecting features such as appurtenances and railings per PMC17.40.060.
- B. **Height Averaging.** Height limits may be exceeded for up to 30% of the building footprint to the maximum height set in Figure 6.1-3, provided that the average height over the entire footprint does not exceed the allowable height. The intent is to counterbalance additional height by lower heights elsewhere to achieve an economically-feasible development that also protects view corridors and contributes to a more visually-compelling skyline.
 - 1. Additional height is not applicable to other development standards relating to building scale and massing, such as stepbacks, or to parking and/or accessory structures, and may not be used with the height concession set in PMC17.43.055.
 - 2. Additional height shall require Design Commission approval.

BUILDING HEIGHT

Height standards ensure that developments are built in relationship to their surrounding context, creating overall compatibility and architectural cohesion throughout a neighborhood or corridor.

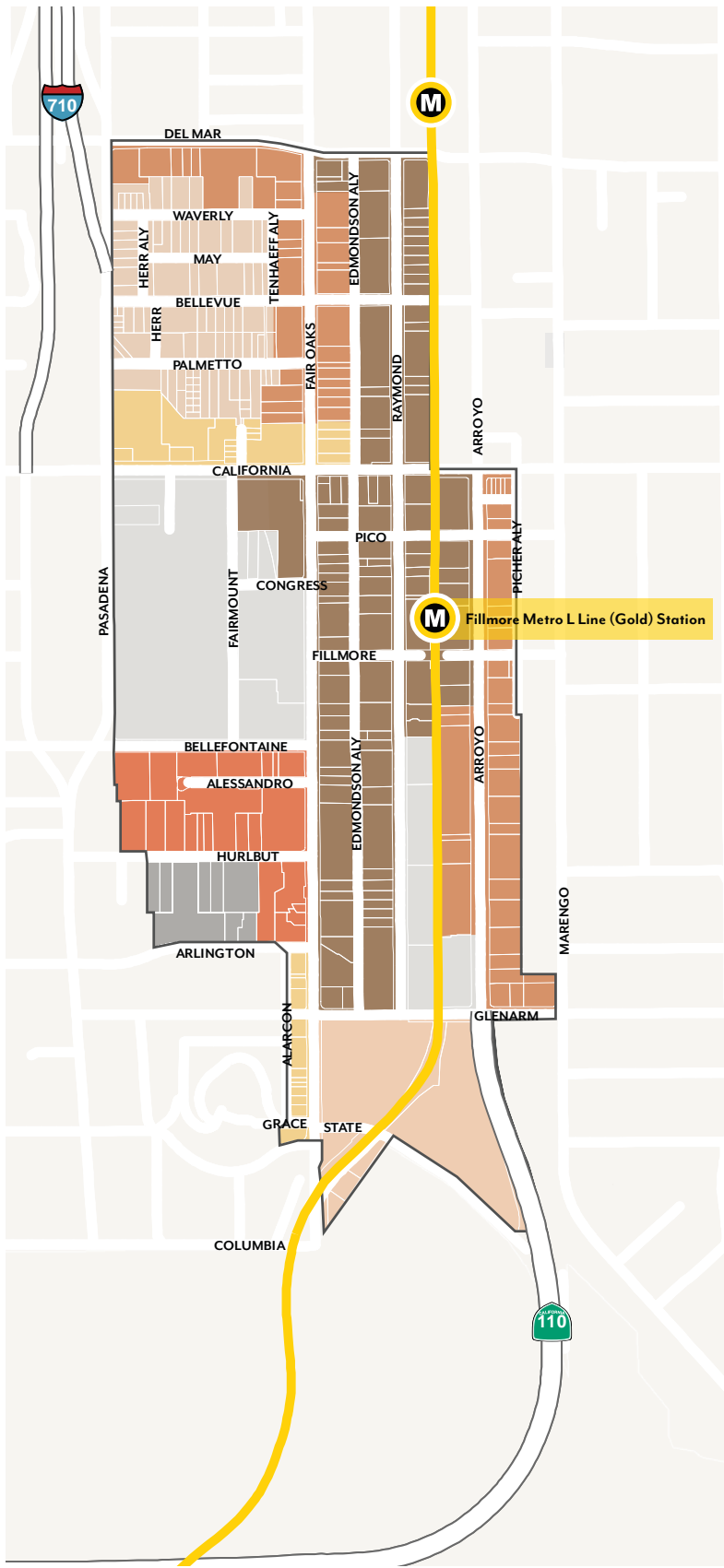
Figure 6.1-1: Maximum Height



Height is measured from the existing grade of the site to an imaginary plane located above but parallel to the grade.

Note: Diagram used for measurement illustration purposes only.

Map 6.1-1: Maximum Floor Area Ratio (FAR)



Maximum Floor Area Ratio (FAR)

Note: Applies to commercial and mixed-use projects

- 1.0
- 1.25
- 2.0
- 2.25
- 3.0

Development standards shall be as specified by a Conditional Use Permit or Master Plan

Commercial not allowed

Map 6.1-2: Maximum Density (du/ac)



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Map 6.1-3: Maximum Building Height



Maximum Building Height

- 35 ft. (45 ft.)*
- 39 ft.
- 43 ft. (55 ft.)*
- 48 ft. (62 ft.)*
- 62 ft. (76 ft.)*
- 75 ft. (85 ft.)*

Development standards shall be as specified by a Conditional Use Permit or Master Plan

*Height averaging allowed for 30% of the building footprint; average height shall be the first number, maximum height shall not exceed the number in ().

HEIGHT EXAMPLE IMAGES

The images below reflect a range of building heights that are allowed in zoning districts throughout the South Fair Oaks Specific Plan area. Architectural features such as roof shape, setbacks, and modulation can add variation to the roof line and reduce visual impact of building height. These examples are illustrative and may not reflect all applicable development standards.



Example of approximately 36' building



Example of approximately 39' building



Example of approximately 51' building



Example of approximately 75' building

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6.2 MASSING

The standards in this section are intended to:

- » Shape development in a manner that creates a defined public realm and appropriate scale of buildings for a visually appealing community.
- » Reduce building massing adjacent RS zones through setback and stepback requirements that create appropriate transitions to residential neighborhoods.
- » Require appropriate transitions to registered historic structures and districts.
- » Support high-quality architecture and urban design with articulation and modulation requirements.

The following standards are covered in detail in this section:

- » 6.2.1 Setbacks
- » 6.2.2 Streetwall
- » 6.2.3 Façades & Modulation
- » 6.2.4 Historic Adjacency

Parcels adjacent to historic structures shall refer to Section 6.2.4 Historic Adjacency.

SHAPE & DESIGN OF DEVELOPMENT

Building massing contributes to the overall shape and design of development. Through building setbacks, developments can allow for landscaping, seating and shade structures, as well as public plazas and open space. Between buildings, development can step back from the property line to help ensure context-sensitive massing transitions, including transitions to residential neighborhoods or historic properties. Façade modulation works with the range of massing tools listed above to contribute to attractive and pedestrian-scaled buildings by balancing linear visual consistency with interest and variety.



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6.2.1 SETBACKS

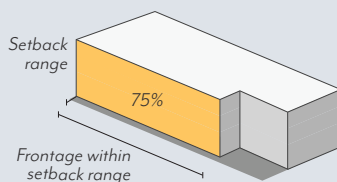
- A. **Street Setback.** Projects shall comply with the Setback ranges and minimums set in Map 6.2-1 for at least the specified percentage of primary frontage set in Map 6.2-2, measured from the minimum sidewalk line. While the remaining percentage of street frontage may be beyond the maximum, setbacks less than the minimum are not permitted.
1. Street setbacks are those abutting public right-of-way and are measured from the minimum sidewalk line.
 2. Exceptions allowed per PMC17.40.160 (Table 4-1). Additionally, arcades and recessed ground floors up to 15 feet in depth are permitted when the second story meets the specified setback range.
 3. The primary frontage percentage may be reduced as follows to allow for Open Space at the street.
 - a. Public Open Space: minimum 50% of primary frontage shall meet the setback range.
 - b. Common Open Space, with Design Commission approval: 50% of primary frontage shall meet the setback range.

4. Fences, dense hedges, raised planters and freestanding walls are permitted within the street setback only when enclosing permitted outdoor dining areas or in front of residential dwelling units.
 - a. Those that are at least 50% transparent shall have a maximum height of 42 inches, as measured from sidewalk grade at the minimum sidewalk line.
 - b. Those that are less than 50% transparent shall have a maximum height of 30 inches, as measured from the sidewalk grade at the minimum sidewalk line.
 - c. Exceptions allowed for guardrails, which may exceed the maximum height to the extent required by the Building Code. The guardrail shall be at least 50% transparent.



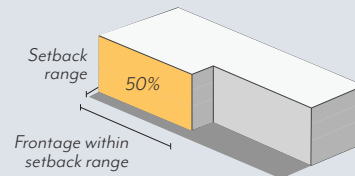
Example of appropriate residential fence height and placement

Figure 6.2-1: Setback Range (LMC, HC, FTN, TC, RTD, AG, MUN)



Up to 25% of building frontage can be setback farther than the required range (setback range varies by zoning district and street)

Figure 6.2-2: Setback Range (MF-32, MUN)



Up to 50% of building frontage can be setback farther than the required range (setback range varies by zoning district and street)

Note: Diagrams used for measurement illustration purposes only.

5. Other features allowed within the street setback include:
 - a. landscaping/planters,
 - b. hardscape (e.g. stoops, patios),
 - c. seating/furniture,
 - d. shade structures, and
 - e. other open space amenities per review authority approval.

B. Interior Setback. Projects shall comply with the Setback minimums set in Table 6.2-1.

1. Interior setbacks are those abutting private parcels (interior side and rear) and are measured from the property line.
2. Exceptions allowed per PMC17.40.160.



Landscaping within setbacks can increase privacy for ground floor residential units



Street setbacks can include a range of features, including outdoor seating



To increase opportunities for greening, setbacks can include features like landscaping and planters

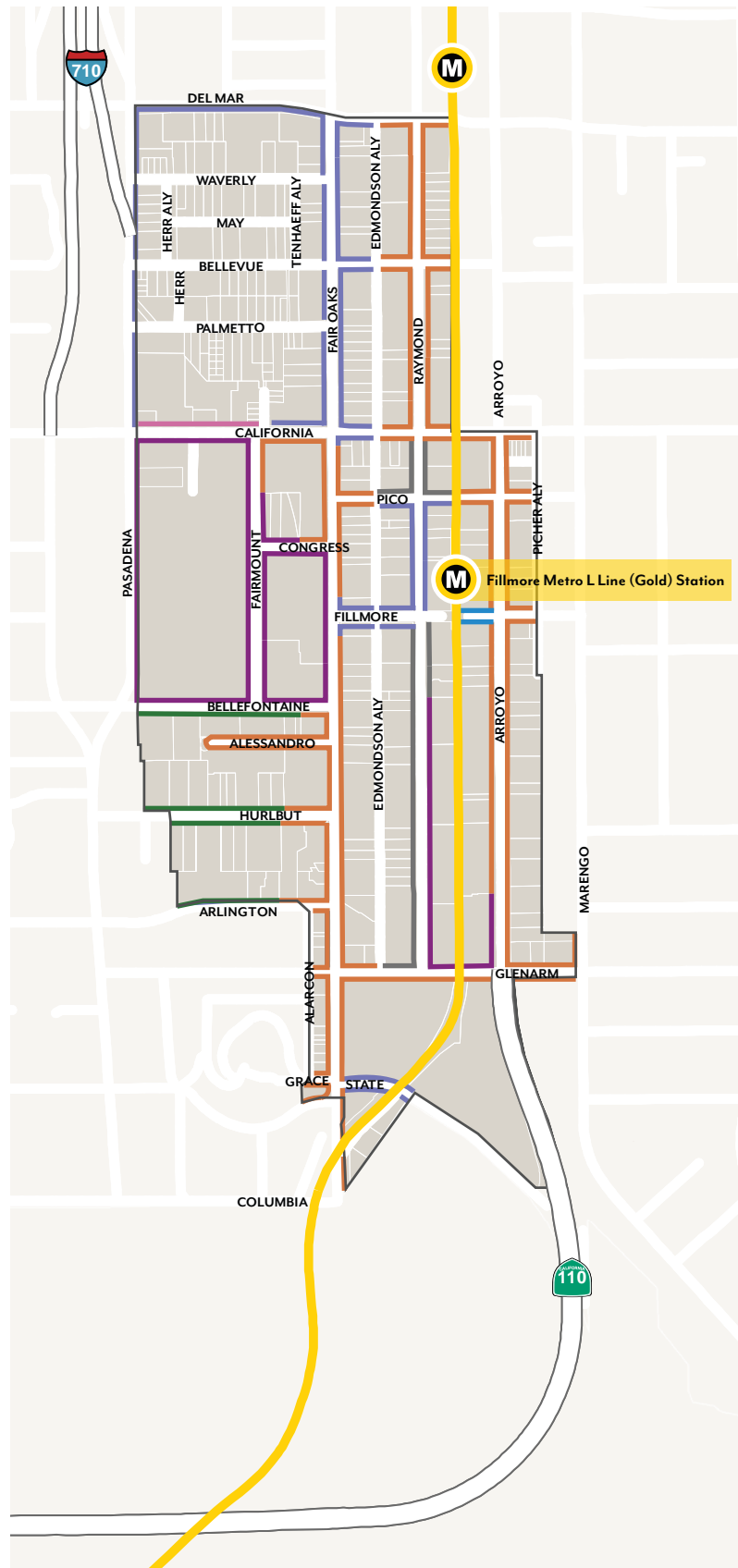
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Table 6.2-1: Interior Setback Minimums

	LMC	HC	RDF	FTN	TC	RTD	AG	IF	MUN	MF-32	PS	
Interior PL Setback within Zone	None required									5' min.	As approved by CUP/MP	
Interior PL Setback to Other Districts												
Residential	—			15' min.	15' min. ¹	15' min.						
Public/Semi-Public	15' min.											
Non-Residential	None required											
Mixed-Use	None required											

¹ **Exception:** Properties adjacent to Picher Alley are not required to have an interior property line setback.

Map 6.2-1: Street Setbacks



Street Setbacks

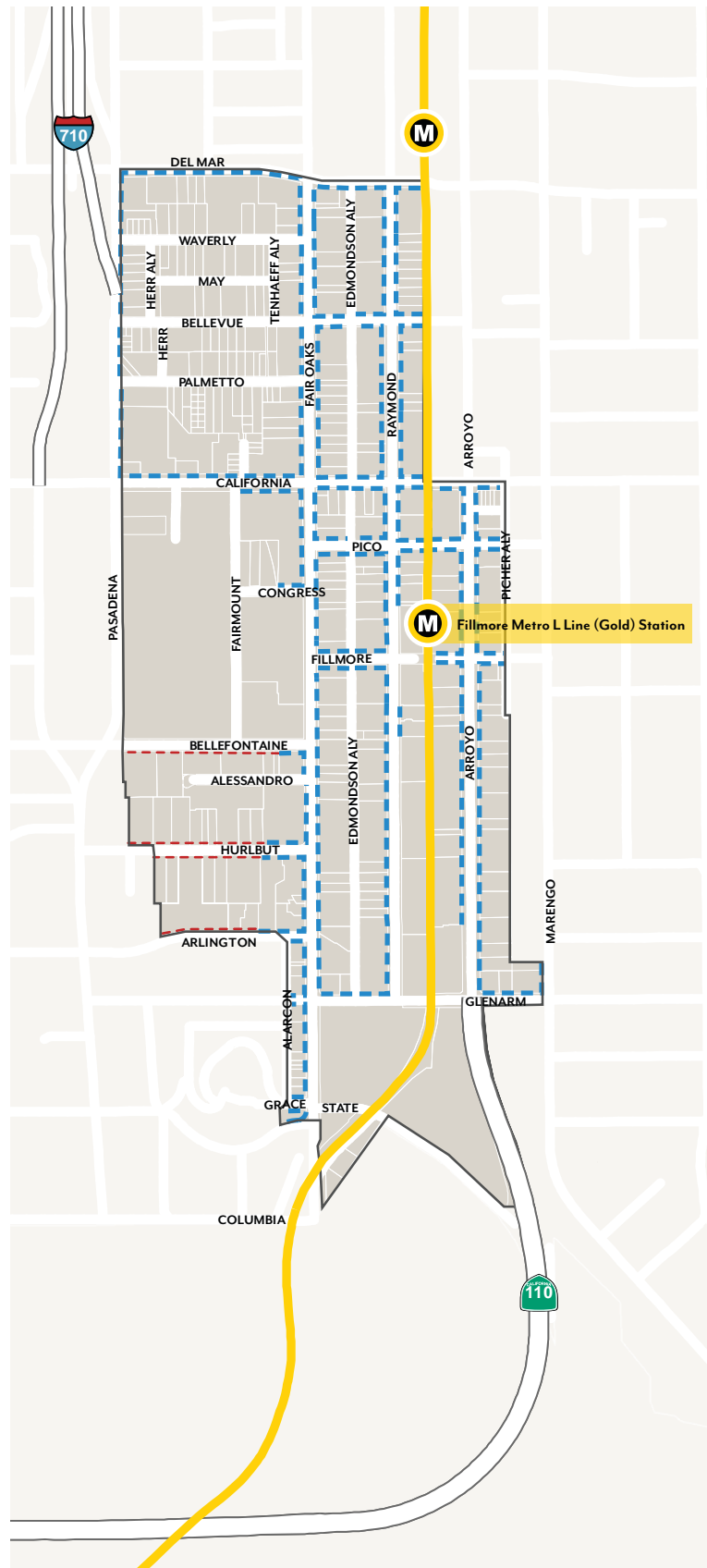
Minimum-Maximum setback range from minimum sidewalk line

- 0 - 3 ft.
- 0 - 5 ft.*
- 0 - 20 ft.
- 5 - 10 ft.
- 0 - 10 ft.
- 10 - 15 ft.
- Development standards shall be as specified by a Conditional Use Permit or Master Plan

* Note: Residential units on the ground floor shall have a minimum 5 ft. setback

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Map 6.2-2: Street Setbacks Frontage



Street Setbacks Frontage

--- 50%

--- 75%

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STREET SETBACK EXAMPLE IMAGES

Street setbacks refer to the space between the public sidewalk and a building. The images below reflect a range of setback conditions allowed in zoning districts throughout the South Fair Oaks Specific Plan Area. Setback standards create a consistent streetwall and help achieve an appropriate level of interaction between the public realm and private properties. Setbacks can enhance the building frontage zone by providing room for landscaping and outdoor dining. Wider setbacks provide a buffer between the sidewalk and residential properties. These examples are illustrative and may not reflect all applicable development standards.



Example of a 0-5' setback



Example of a 5-10' setback



Example of an approximately 10' setback



Example of a 10-20' setback



Example of Recessed Ground Floor



Example of Arcade

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6.2.2 STREETWALL

- A. **Streetwall.** Buildings shall meet or exceed the minimum streetwall height of 25 feet for at least 70% of building frontage, unless the overall building height is lower than the requirement.
1. Streetwall height is measured from the lowest elevation of the existing grade on the minimum sidewalk line.
 2. Features allowed within the streetwall plane include recesses for articulation and modulation (e.g. balconies); streetwall is not required to be continuous.

- B. **Upper Story Stepback.** In AG adjacent to RM districts, Projects shall not exceed 20 feet in height before stepping back 35 feet in depth, except for along Picher Alley where Projects shall not exceed 20 feet in height before stepping back 20 feet in depth. In MUN and MF-32 adjacent to RS districts, Projects shall defer to the encroachment plane per PMC 17.40.160. Stepbacks are measured from the existing grade of the site.
1. Stepback height is measured from the lowest elevation of the existing grade on the minimum sidewalk line. Stepback depth is measured from the minimum sidewalk line.
 2. Allowed uses within the Stepback include balconies, patios, trellises, green roofs, and other open space features per Design Review/Director approval.

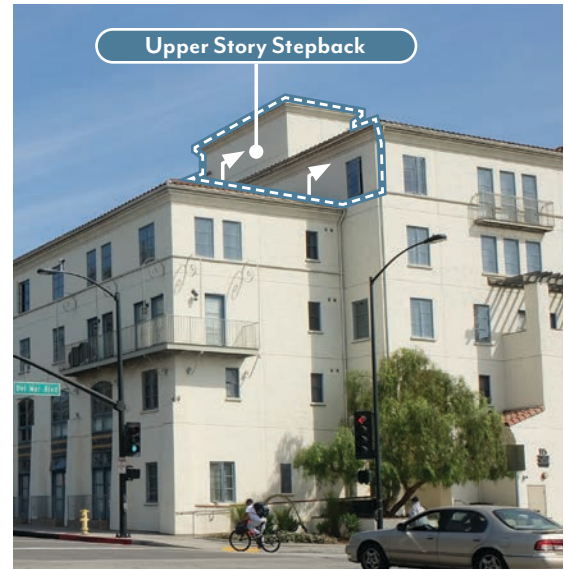
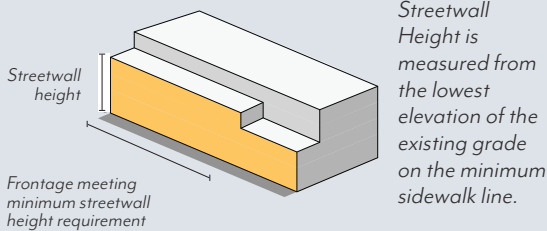
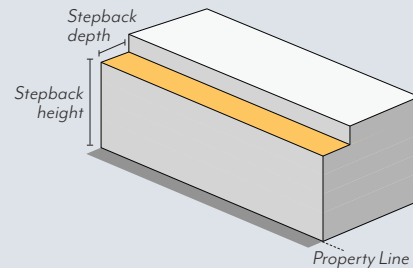


Figure 6.2-3: Minimum Streetwall Height



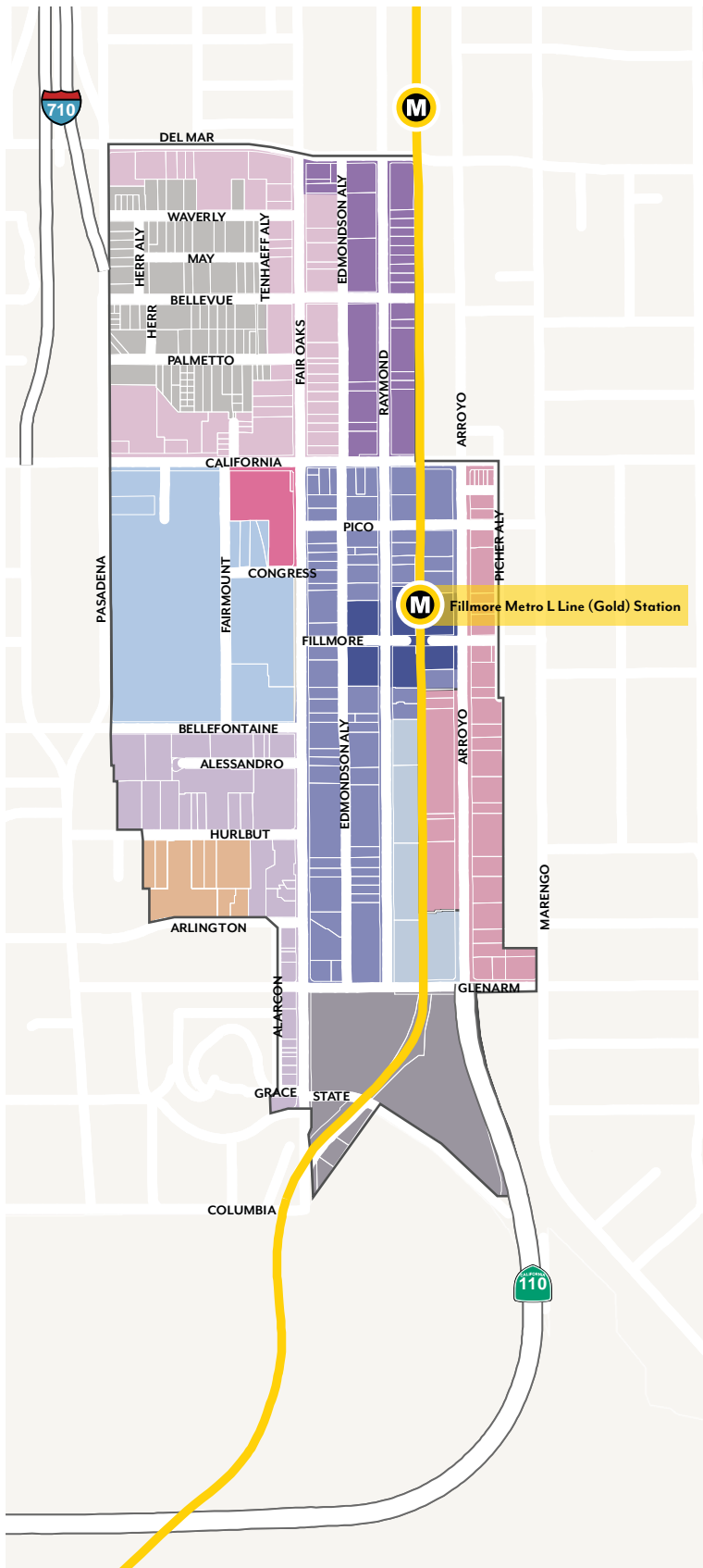
Notes: Diagram used for measurement illustration purposes only.

Figure 6.2-4: Stepbacks



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Map 6.2-3: Massing Cross Sections by Zoning District Key Map



MASSING CROSS SECTIONS BY ZONING DISTRICT

The zoning districts in this map correspond to the numbered cross sections in Figure 6.2-5 through Figure 6.2-16.

Zoning Districts

- SFOSP-Fillmore Transit Neighborhood
- SFOSP-Transit Core
- SFOSP-Raymond Transit District
- SFOSP-Arroyo Gateway
- SFOSP-Institutional Flex
- SFOSP-Low-Medium Commercial
- SFOSP-High Commercial
- SFOSP-R & D Flex
- SFOSP-Mixed-Use Neighborhood
- SFOSP-Multi-Family Residential
- Public Semi-Public*

*Zone is governed by PMC

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MASSING | CROSS-SECTIONS BY ZONING DISTRICT

MSL Minimum Sidewalk Line
PL Property Line
EP Encroachment Plane

Figure 6.2-5: High Commercial (HC)

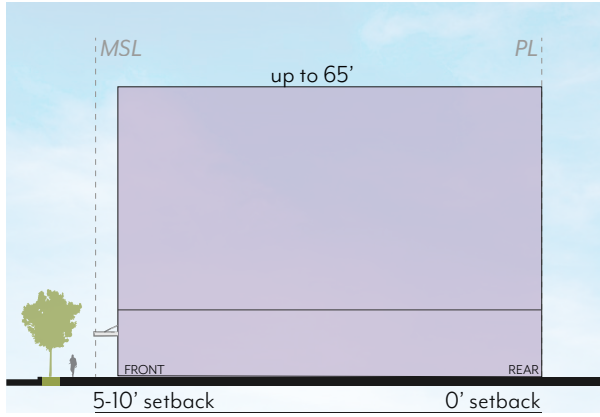


Figure 6.2-6: Low-Med Commercial (LMC)

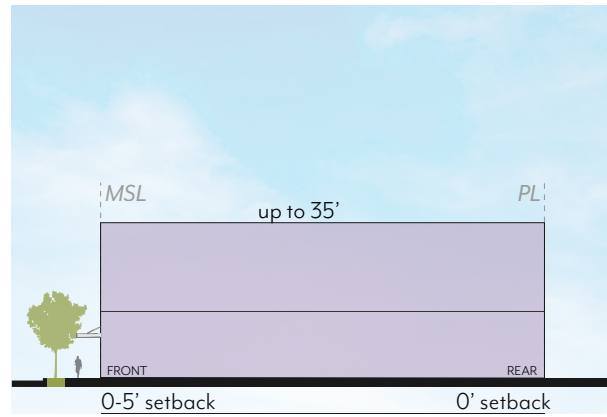


Figure 6.2-7: R&D Flex (RDF)

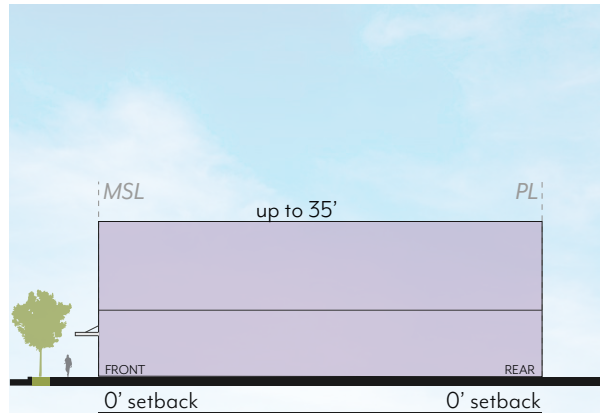


Figure 6.2-8: Transit Core (TC)

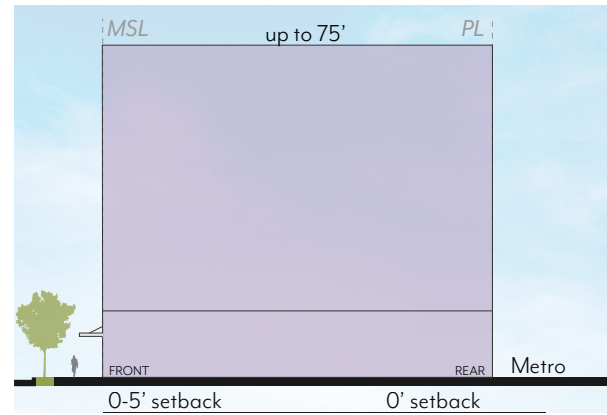


Figure 6.2-9: Fillmore Transit Neighborhood (FTN)

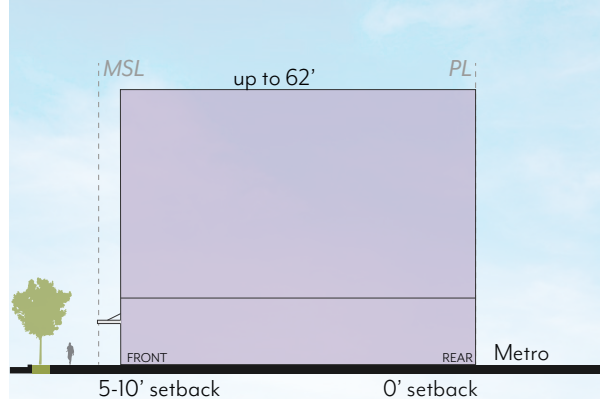
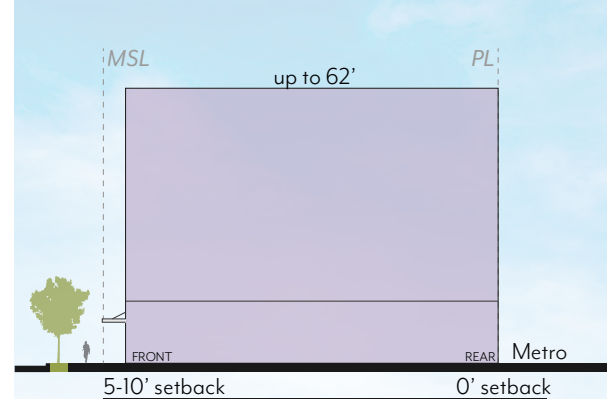


Figure 6.2-10: Raymond Transit District (RTD) 62'



Notes: Diagrams used for measurement illustration purposes only. Multi-Family Zone height limits represent existing standards as of October 2020 and are subject to change.

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MASSING | CROSS-SECTIONS BY ZONING DISTRICT

MSL Minimum Sidewalk Line
PL Property Line
EP Encroachment Plane

Figure 6.2-11: Raymond Transit District (RTD) 75'

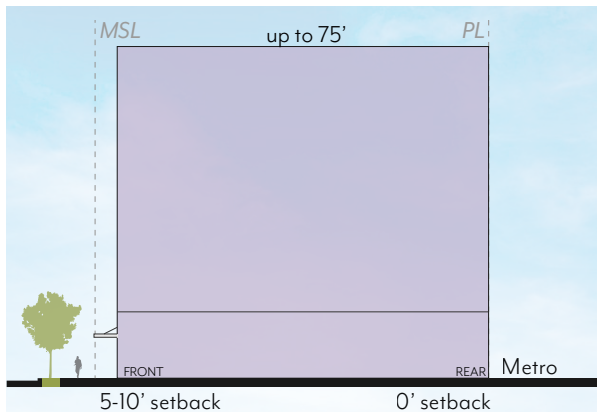
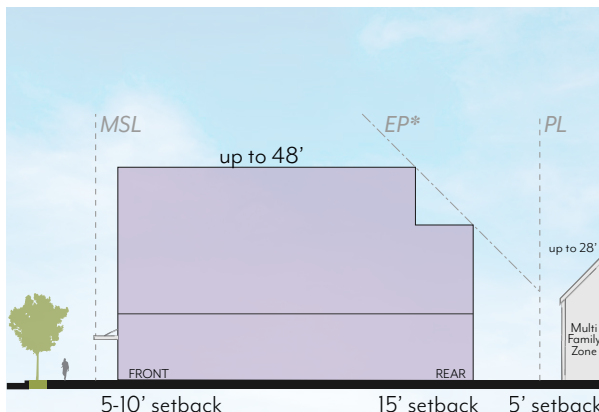
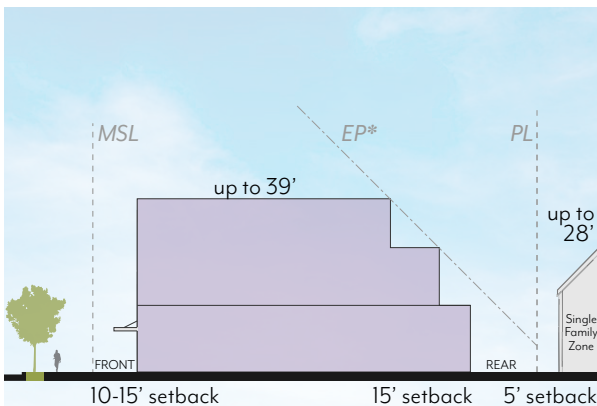


Figure 6.2-12: Arroyo Gateway (AG)



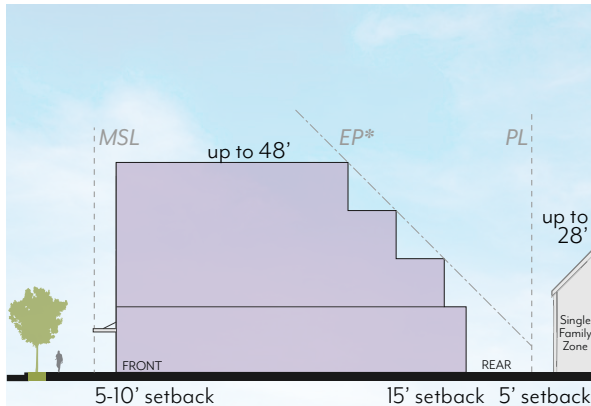
* 45° encroachment plane per PMC 17.40.160

Figure 6.2-13: Mixed-Use Neighborhood (MUN) 48'



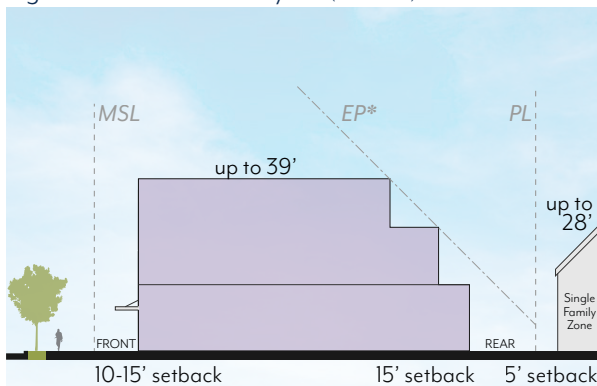
* 45° encroachment plane per PMC 17.40.160

Figure 6.2-14: Mixed-Use Neighborhood (MUN) 39'



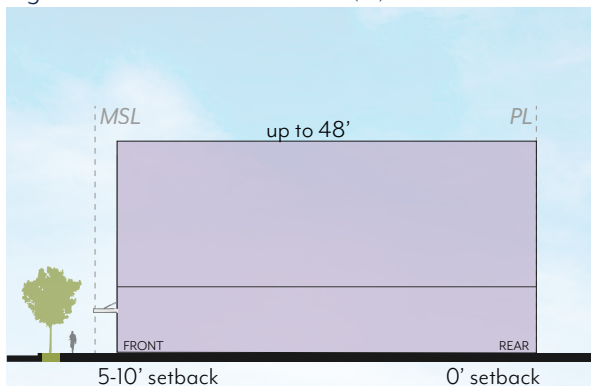
* 45° encroachment plane per PMC 17.40.160

Figure 6.2-15: Multifamily 32 (MF-32)



* 45° encroachment plane per PMC 17.40.160

Figure 6.2-16: Institutional Flex (IF)



Notes: Diagrams used for measurement illustration purposes only. Multi-Family Zone height limits represent existing standards as of October 2020 and are subject to change.

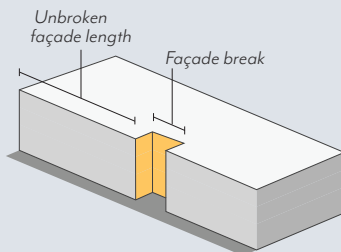
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Development Standards & Design Guidelines

6.2.3 FAÇADES

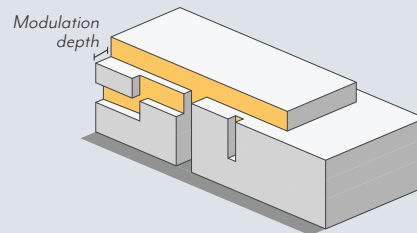
- A. **Length.** Façades over 150 feet in length shall include a break at least 20 feet wide and 10 feet deep, open to the sky.
1. Exceptions allowed for residential buildings with individual unit entrances up to 200 feet in length before a break is required.
- B. **Modulation.** Buildings over 50 feet in length shall modulate a minimum of 25% of the area above the ground floor at least 2 feet in depth from the primary façade plane. Buildings with 2 stories or less are exempt.
1. Modulation is not required to be continuous or open to the sky, and may be recessed or projected, but not beyond the minimum sidewalk line.
- C. **Materials.** At least 5% of each façade shall consist of a secondary material, excluding those used in windows, doors, and railings.
- D. **Transparency.** At least 20% of each façade facing a public street or required paseo shall be comprised of transparent openings. Ground floor transparency requirements shall also apply; see section 6.3.3.
1. Transparent openings may include windows and doors with clear glass or façade openings at least three feet in depth.
 2. The use of mirrored or highly reflective glazing is prohibited.
- E. **Façade exceptions.** Façade length, modulation and transparency requirements established in Section 3.6 A, B, and D may be reduced by 15% if the required findings can be met.
1. Purposes of façade exceptions. The purposes of façade exceptions are to provide for greater flexibility for Projects which provide visual variety and unique, contemporary architecture.
 2. Required findings. The approval of reduced requirements for facades shall require that the Design Commission first make all of the following findings:
 - a. The reduction in façade length, modulation and transparency requirements allows for unique, contemporary architecture and visual variety, per the General Plan;
 - b. The reduction in façade length, modulation and transparency requirements will not be injurious to adjacent properties or uses, or detrimental to environmental quality, quality of life, or the health, safety, and welfare of the public;
 - c. The reduction in façade length, modulation and transparency requirements will promote a superior design solution that enhances the property and its surroundings, without detrimental impacts on urban design quality;
 - d. The reduction in façade length, modulation and transparency requirements is consistent with the objectives and policies of the South Fair Oaks Specific Plan and General Plan.

Figure 6.2-17: Façade Length



Façades over 150 feet in length shall include a break at least 20 feet wide and 10 feet deep, open to the sky.

Figure 6.2-18: Façade Modulation



Façades over 50 feet in length and 2 stories in height shall modulate a minimum of 25% of the area above the ground floor at least 2 feet in depth.

Note: Diagrams used for measurement illustration purposes only.

CREATING VISUAL INTEREST AND BREAKING UP MASS

Façade modulation refers to variations in depth of a building's façade. Modulation can be achieved through architectural elements such as fenestration patterns and window bays, stepbacks, balconies, and full façade breaks. Modulation breaks up building massing, creates visual interest, and provides opportunities for open space.



Balconies and other variations in wall plane depth create visual interest



Façade modulation can be applied to various architectural styles

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6.2.4 HISTORIC ADJACENCY

- A. **Transition Massing.** Projects sharing a property line with a designated historic resource are subject to the following standards.
1. A **minimum street setback** shall be an average of the minimum setback in Map 6.2-1 and that of the resource for at least 20 feet from the shared property line.
 - a. If between two resources, the street setback shall be an average of the setbacks of the two resources.
 2. A **maximum streetwall** height shall be no higher than the height of the historic resource for at least 20 feet from the shared property line. A setback at least 10 feet in depth is required above this height, measured from the modified minimum street setback.
 3. A **maximum setback** height on the interior property line adjacent the resource shall not exceed an encroachment plane sloping upward and inward at a 30-degree angle measured from the vertical, commencing 20 feet above the existing grade at the property line.
 - a. This setback is waived where the adjacent historic resource is built to the shared property line.



Pasadena Humane Society

HONORING HISTORIC SIGNIFICANCE

In addition to preserving historic landmarks throughout the district, modified standards for adjacent properties help to prevent historic structures from appearing diminished or incongruous with new developments that take form in the surrounding area.

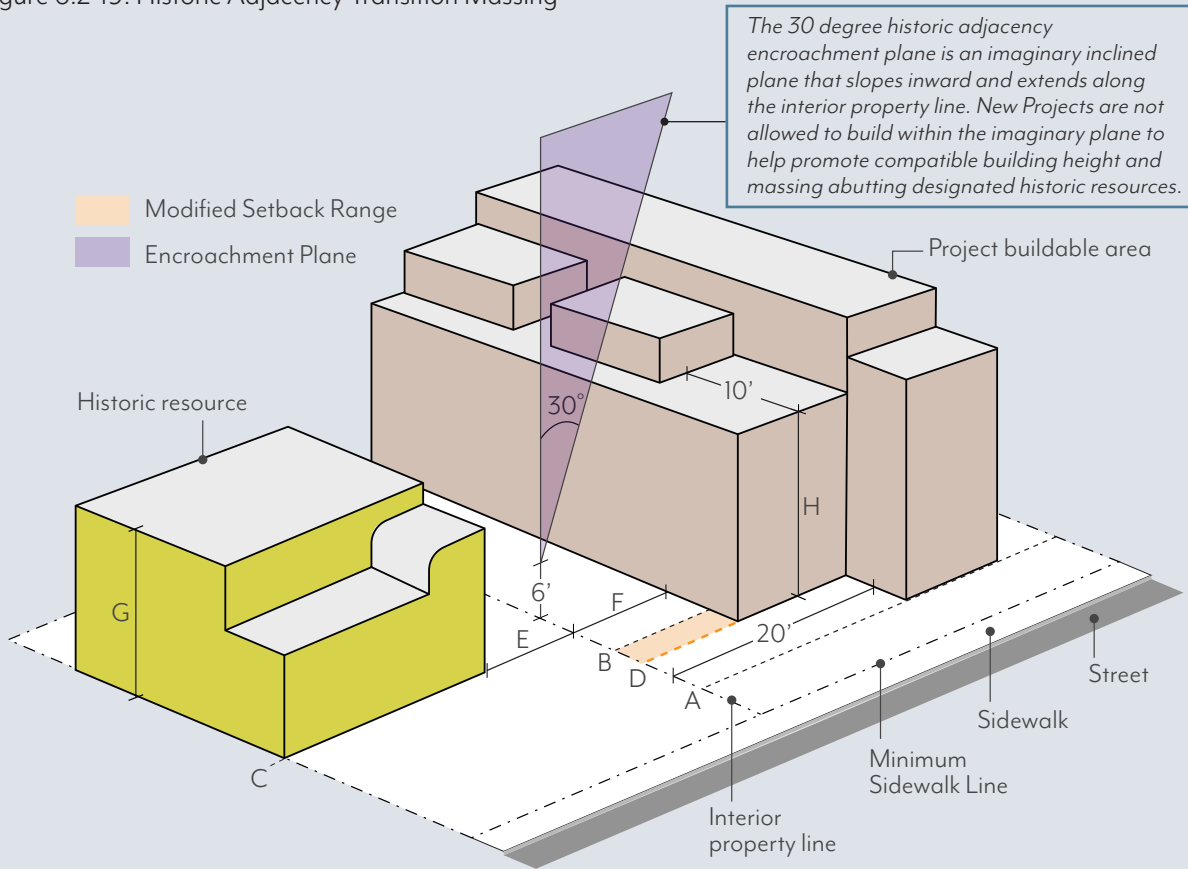


Royal Laundry Complex



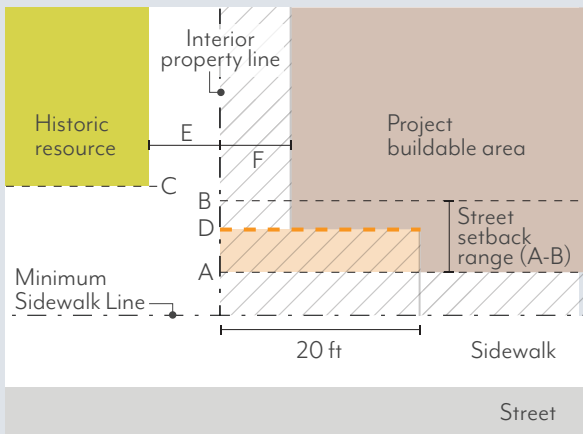
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Figure 6.2-19: Historic Adjacency Transition Massing

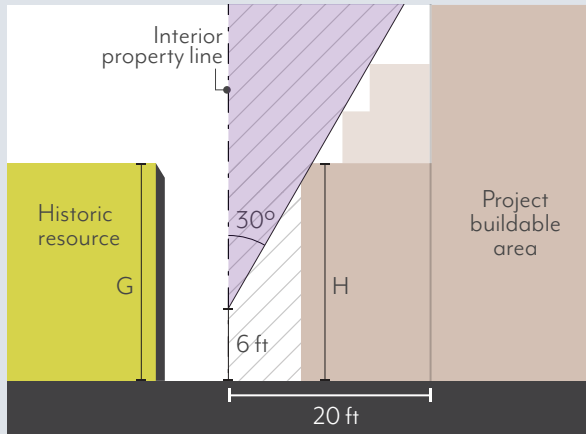


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PLAN VIEW



ELEVATION VIEW



- A: Minimum street setback from setback range
- B: Maximum street setback from setback range
- C: Street setback of historic resource
- D: Modified minimum street setback (average of A & C) within 20' of Interior property line

- E: Interior setback of historic resource
- F: Interior setback of project
- G: Height of historic resource
- H: Maximum height before stepback of 10' in depth within 20' of Interior property line

Note: Diagrams used for measurement illustration purposes only.

Development Standards & Design Guidelines

6.3 GROUND FLOOR DESIGN

These standards are intended to create an inviting, visually engaging, shaded sidewalk and pedestrian environment that supports local residential and commercial activity.

The following standards are covered in detail in this section:

- » 6.3.1 Dimensions
- » 6.3.2 Entrances
- » 6.3.3 Transparency
- » 6.3.4 Arcades
- » 6.3.5 Shade Structures
- » 6.3.6 Blank Walls
- » 6.3.7 Security Bars

Note: Residential lobbies and common spaces shall follow the non-residential requirements. RM-48 and RM-32 zones shall follow PMC.

CREATING A VIBRANT STREET ENVIRONMENT

Successful ground floor design contributes to a vibrant built environment to create an inviting, visually engaging, shaded sidewalk and pedestrian environment that supports commercial activity. Altogether, ground floor treatments increase visual interest and physical access across all building uses to create active frontages.



Shade awnings, lighting, and ground floor transparency all contribute to a comfortable pedestrian experience

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6.3.1 DIMENSIONS

- A. **Residential uses.** Ground floor heights shall be a minimum 10 feet measured floor-to-floor.
- B. **Non-residential uses.** Ground floor heights shall be a minimum 15 feet measured floor-to-floor. Commercial spaces shall have a minimum average depth of 35 feet.



Example of an approximately 10' residential ground floor height



Example of an approximately 15' non-residential ground floor height

Figure 6.3-1: Ground Floor Height

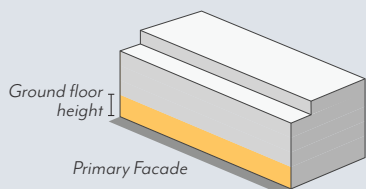
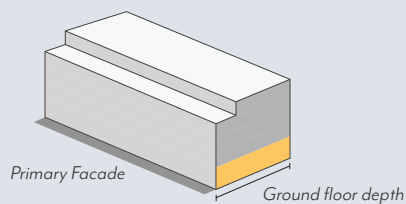


Figure 6.3-2: Ground Floor Depth



Note: Diagrams used for measurement illustration purposes only.

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Development Standards & Design Guidelines

6.3.2 ENTRANCES

- A. **Residential uses.** Primary entries shall be located on the primary frontage for dwelling units adjacent the street.
1. Primary entrances shall be distinguished through architectural features such as front porches, overhead projections, or recessed planes.
 2. Pathways from the sidewalk to any required pedestrian entrances shall be at least 3 feet in width and separate from parking and driveways.
- B. **Non-residential uses.** Primary entrances shall be located on the primary frontage and open into the public realm (e.g. a sidewalk or public open space); secondary entrances at the side or rear of a building are permitted.
1. Doorways shall be recessed at least 32 inches from the minimum sidewalk line adjacent public rights-of-way.
 2. Doorways shall be distinguished by architectural features such as overhead projections (e.g. a canopy or awning) or recessed planes.
 3. Grade separation, measured from finished sidewalk grade, shall be 0 feet for primary doorways facing public rights-of-way. Secondary doorways are not required to be at 0 feet if parcel frontage is sloped.

6.3.3 TRANSPARENCY

- A. **Residential uses.** At least 15% of the building façade shall consist of transparent openings, such as windows and doors with clear glass. The use of mirrored or highly reflective glazing is prohibited.
- B. **Non-residential uses.** At least 60% of each public-facing façade between a height of 3 and 8 feet above sidewalk elevation shall be transparent openings.
1. Transparent openings are defined as glazing that provides views into work, display, sales, lobby, or similar active areas with a minimum depth of 4 feet.
 2. Blinds, drapes, posters, signage, and shelving for product displays visible to the public right-of-way shall obscure no more than 10 percent of the transparent areas of each respective storefront.
 3. The use of mirrored or highly reflective glazing is prohibited.
 - a. **Exceptions:** Medical office may obscure up to 50% of transparent openings to provide additional privacy screening for visitors.
 - b. In RDF and IF, ground floor transparency may be reduced to 30%.

ACCESSIBLE AND ENGAGING FAÇADES

Entrance standards ensure that ground floor spaces are accessible, inviting, and easy to locate for both intentional visitors and passersby. Transparency standards create visual interest and engagement between ground floor uses and the public realm.



Example of appropriate entrance with awnings and a recessed plane



Example of appropriate ground floor transparency with a recessed entrance.

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6.3.4 ARCADES

- A. **Residential and non-residential uses.** Depth of arcades shall be at least 8 feet from back of column to building façade. Buildings with ground floor arcades shall also meet transparency requirements per 4.3.
 - 1. Arcades may be used for:
 - a. pedestrian travel,
 - b. seating/street furniture,
 - c. outdoor dining,
 - d. landscape planters, and/or
 - e. bicycle parking.

6.3.5 SHADE STRUCTURES

- A. **Residential and non-residential uses.** Shade structures may project up to two-thirds of the sidewalk width, so long as they do not conflict with existing trees.

TRANSITIONAL OUTDOOR SPACES

Arcades create a shaded, transitional outdoor space between the public realm and ground floor interior. Shade structures contribute to a comfortable pedestrian experience and serve as inviting design features for ground floor uses.

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Example of an appropriate commercial arcade treatment



Example of an appropriate shade structure

6.3.6 BLANK WALLS

- A. **Residential and non-residential uses.** Windowless expanses of walls on street-facing façades shall not exceed 20 feet in length. These areas shall be mitigated by architectural treatments (e.g. articulation, change in materials) or public art per Design Review/Director approval.

6.3.7 SECURITY BARS

- A. **Residential and non-residential uses.** Exterior and interior security bars are prohibited unless they are designed to be fully hidden from view during business hours with devices such as concealed side pockets and ceiling cavities.



Example of a blank and windowless ground floor wall (Prohibited)



Example of exterior security bars (Prohibited)

6.4 OPEN SPACE

The following standards are intended to:

- » Provide a variety of open space types for gathering, recreation and respite that contribute to enhanced livability within an urban setting
- » Improve building design and site planning through the integration of open space throughout development
- » Correlate open space requirements with number of residents and size of buildings

The following standards are covered in detail in this section:

- » 6.4.1 Open Space Minimum Area Requirements
- » 6.4.2 Private Open Space
- » 6.4.3 Common Open Space
- » 6.4.4 Public Open Space



Private Open Space (Balconies)



Common Open Space (Pool Area)

IMPORTANCE OF OPEN SPACE

High quality, usable and accessible open space across a variety of types contributes to an active public realm and successful building design. A combination of **Private Open Space**, such as balconies and patios, **Common Open Space**, such as shared courtyards, gardens, and pools as well as indoor community rooms and gyms, and **Public Open Space**, such as plazas and paseos, serve a range of purposes, including spaces for relaxation and community gathering for residents, employees, and visitors within an urban setting. Open spaces either on the ground floor or on upper level stories, correlated to the building use and size, can also help to break down building massing creating effective site and building design.

OPEN SPACE CATEGORIES

- » **Private.** Private Open Spaces, e.g. patios and balconies, are not freely open to the public and are only accessible from individual units.
- » **Common.** Common Open Spaces are shared among residents within a building and often take the form of courtyards, plazas, or other amenities, such as pools. Common Open Space can also include shared indoor space, such as community rooms or gyms.
- » **Public.** Public Open Spaces, e.g. plazas, pocket parks, and paseos, are freely available to the public to use and typically include amenities such as seating, landscaping, fountains, and public art.



Public Open Space (Plaza)

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6.4.1 MINIMUM AREA REQUIREMENTS

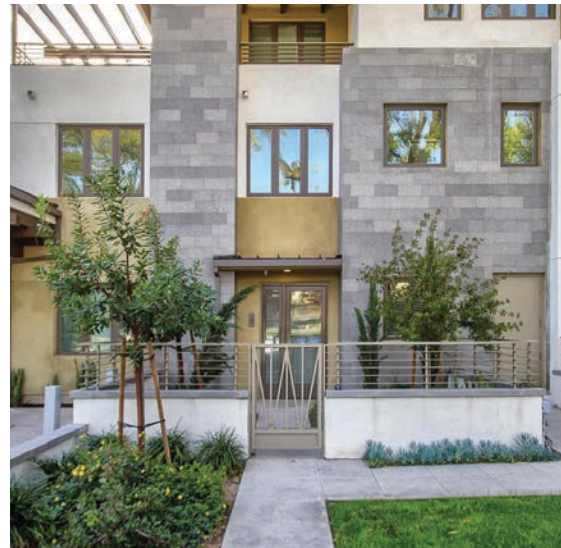
- A. **Private and Common Open Space.** Projects shall provide the minimum area of Open Space based on use and size per Table 6.4-1 below. Areas used regularly for parking, loading or storage do not count towards minimum Open Space requirements.
 - 1. **Residential** projects shall provide a minimum area of Open Space based on unit types set in Table 6.4-1.
 - 2. **Non-residential** projects with more than 40,000 square feet of non-residential uses shall provide 5% of the gross non-residential floor area as Open Space. Open space may be any mix of Public, Common, or Private space. Projects with 40,000 square feet or less of non-residential space are exempt from this requirement.
 - 3. **Mixed-use** projects comprised of residential and non-residential uses shall comply with requirements applicable to each type of use.
- B. **Public Open Space.** Projects with more than 60,000 square feet of gross floor area (GFA) shall provide a minimum area of Public Open Space based on a percentage of GFA set in Table 6.4-2.
 - 1. **Exceptions.** If a parcel, or portion of a parcel, is within 500 feet of the Metro L Line (Gold) Fillmore or Del Mar station platform footprints, Projects of 60,000 sf or more, shall provide 4% of GFA for public open space.

APPROPRIATE AMOUNT OF OPEN SPACE

Open space area requirements ensure that a building's open space correlates appropriately to the number of residents and size of the building. Private open space provides residents with access to light, air, landscaping, and views. Balconies add visual interest to building façades through articulation.

6.4.2 PRIVATE OPEN SPACE

- A. **Distribution.** No more than 40% of the required residential Open Space shall be private to individual tenants.
 - 1. All Private Open Space shall be outdoors.
- B. **Dimensions.** A minimum area of 36 square feet with a dimension of at least 5 feet in width and 8 feet in height is required for Private Open Space.
- C. **Balconies and patios.** Balconies and patios may be located within a required setback.
 - 1. Balconies may project up to 4 feet from the wall plane but shall not project past the property line.
- D. **Roof decks.** Private roof decks shall cover no more than one-third of the roof area.



Private Open Space (Front Patio)

Table 6.4-1: Residential Open Space by Unit Type

	Studio	1-BR	2-BR	3+ BR
Per Unit (Square Feet)	125	150	200	250

Table 6.4-2: Public Open Space by Project Size¹

	60k-119k	120k- 159k	160k- 199k	>200k
Per Project (Square Feet)	2% GFA	3% GFA	4% GFA	5% GFA

¹ If a parcel, or portion of a parcel, is within 500 feet of the Metro L Line (Gold) Fillmore or Del Mar station platform footprints, Projects of 60,000 sf or more, shall provide 4% of GFA for public open space.

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6.4.3 COMMON OPEN SPACE

- A. **Distribution.** At least 60% of the required residential Open Space shall be common or shared among the tenants.
 - 1. At least 70% of Common Open Space shall be outdoors and open to the sky.
 - 2. No more than 30% of Common Open Space may be indoors. Indoor Common Open Space may include a shared community room, fitness center, or similar but does not include spaces used primarily for circulation.
 - 3. No more than 60% of Common Open Space may be on a building's rooftop, defined as any roof area above the top two floors of the structure.
- B. **Dimensions.** A minimum area of 400 square feet with a dimension of at least 15 feet in each direction is required for Common Open Space.
- C. **Hardscape.** A maximum of 25% of Common Open Space may be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate, and/or other alternative paving per Design Review/Director approval.
- D. **Landscape.** A minimum of 25% of Common Open Space shall be planted area at least 30 inches in each dimension. Plant materials shall be selected in compliance with PMC17.44.050 - Water Efficient Landscape: Incorporation of Model Water Efficient Landscape Ordinance.
- E. **Trees.** A minimum of one 24-inch box tree per project or per each 500 square feet of Common Open Space, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50% of trees planted shall be shade trees.
- F. **Water features.** A maximum of 5% of Common Open Space shall be fountains, reflecting pools, or other water features. Swimming pools are not considered water features.
- G. **Roof decks.** Common roof decks shall be set back 5 feet from the building edge on all sides and cover no more than one-third of the roof area.
- H. **Access.** Common Open Spaces may be accessible to the public if desired but is not required to meet Public Open Space requirements, though the same area shall not count towards both Common and Public Open Space.

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COMMON OPEN SPACES

Common open spaces provide areas for gathering, recreation, and respite within a property that contribute to enhanced livability within an urban setting.



Enhanced paving and landscaping can improve the aesthetics and navigation of open spaces



Landscaping and water features can be used to provide shade, seating, and improve aesthetics of the open space

6.4.4 PUBLIC OPEN SPACE

- A. **Dimensions.** A minimum area of 400 square feet with a dimension of at least 20 feet in each direction is required for Public Open Space.
- B. **Signage.** Public Open Space shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and including opening hours.
- C. **Hours.** At a minimum, Public Open Space shall be open to the general public from 8am to 8pm.
- D. **Elevation.** A majority of Public Open Space shall be provided at ground level.
 - 1. For Projects requiring less than 3,000 square feet of Public Open Space, all required space shall be provided at ground level with a primary entrance at sidewalk elevation.
 - 2. For Projects requiring more 3,000 square feet of Public Open Space, at least 3,000 square feet of Public Open Space shall be provided at ground level with a primary entrance at sidewalk elevation.
- E. **Hardscape.** A maximum of 25% of Public Open Space may be paved in standard concrete. Remaining paved areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate, and/or other alternative paving per Design Review/Director approval.
- F. **Landscape.** A minimum of 25% of Public Open Space shall be planted area at least 30 inches in each dimension. Plant materials shall be selected in compliance with PMC17.44.050 - Water Efficient Landscape: Incorporation of Model Water Efficient Landscape Ordinance.
 - 1. Vertical landscaping may substitute for planted area, in which case the area requirement is halved. Green walls shall consist of their own substructure and dedicated hydration system; green facades, composed of climbing vines or other plants, are not considered vertical landscaping for the purposes of this standard.
- G. **Trees.** A minimum of one 24-inch box tree per project or per each 750 of Public Open Space, whichever is greater, shall be planted. For projects with 2 or more trees, at least 50% of trees planted shall be shade trees.
- H. **Seating.** A minimum of 1 seat shall be provided per 300 square feet.
- I. **Credit.** Public Open Space in excess of the minimum may apply towards up to 30% of a Common Open Space requirement.
- J. **Paseos.** Selected parcels indentified in Map 6.4-1 are required to meet the minimum Public Open Space through the provision of a paseo, or pedestrian passageway, that connects a public street to another public street or alley.
 - 1. Refer to Paseo Standards and Guidelines in Section 5.3.
- K. **Plazas.** If a Project includes a parcel with a plaza location identified in Map 6.4-1 and Public Open Space is required to be provided, the open space requirement must be met through the provision of a plaza in the location shown in Map 6.4-1. Note that the plaza footprints in Map 6.4-1 do not accurately reflect the specific square footage requirement or configuration of a given Project, but are intended to show the corner where the plaza must be located. Figure 6.4-2 includes possible configurations for the plaza requirements at the southwest corner of Fillmore Street and Arroyo Parkway.
 - 1. Plazas shall have a dimension of 40 feet in each direction and be at least 75% open to the sky.
 - 2. Plazas shall be at ground level and be ADA accessible.

PUBLIC OPEN SPACES

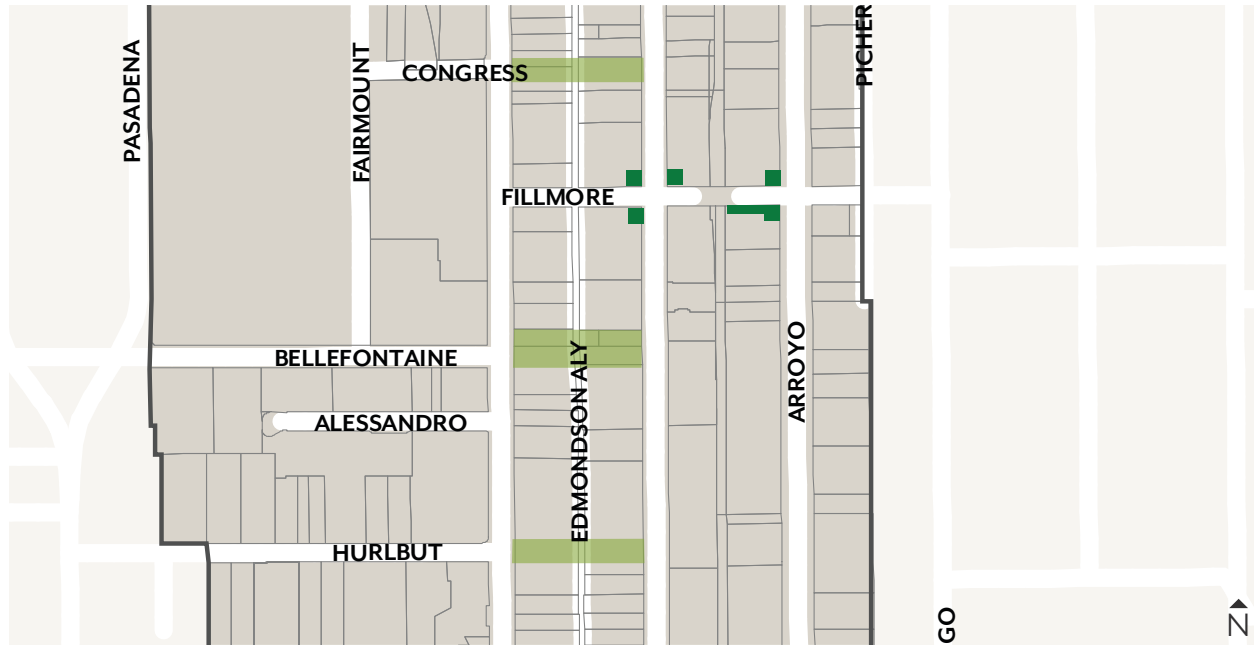
Public open spaces create a livable urban environment and provide community gathering spaces supportive of the commercial uses.



Landscaping, seating, shade, lighting, and enhanced paving create a comfortable public open space and community landmark

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Map 6.4-1: Public Open Space Requirement Location



Required Open Space Locations

- Required Paseo Location**
 Exact siting of paseo subject to discretion of Planning Director to satisfy the intent of throughblock connectivity

- Required Plaza Location***
 *Note: exact size is to be determined by required public open space.



A public corner plaza creates a space to gather or rest, including amenities such as seating, landscaping, shade trees, and public art

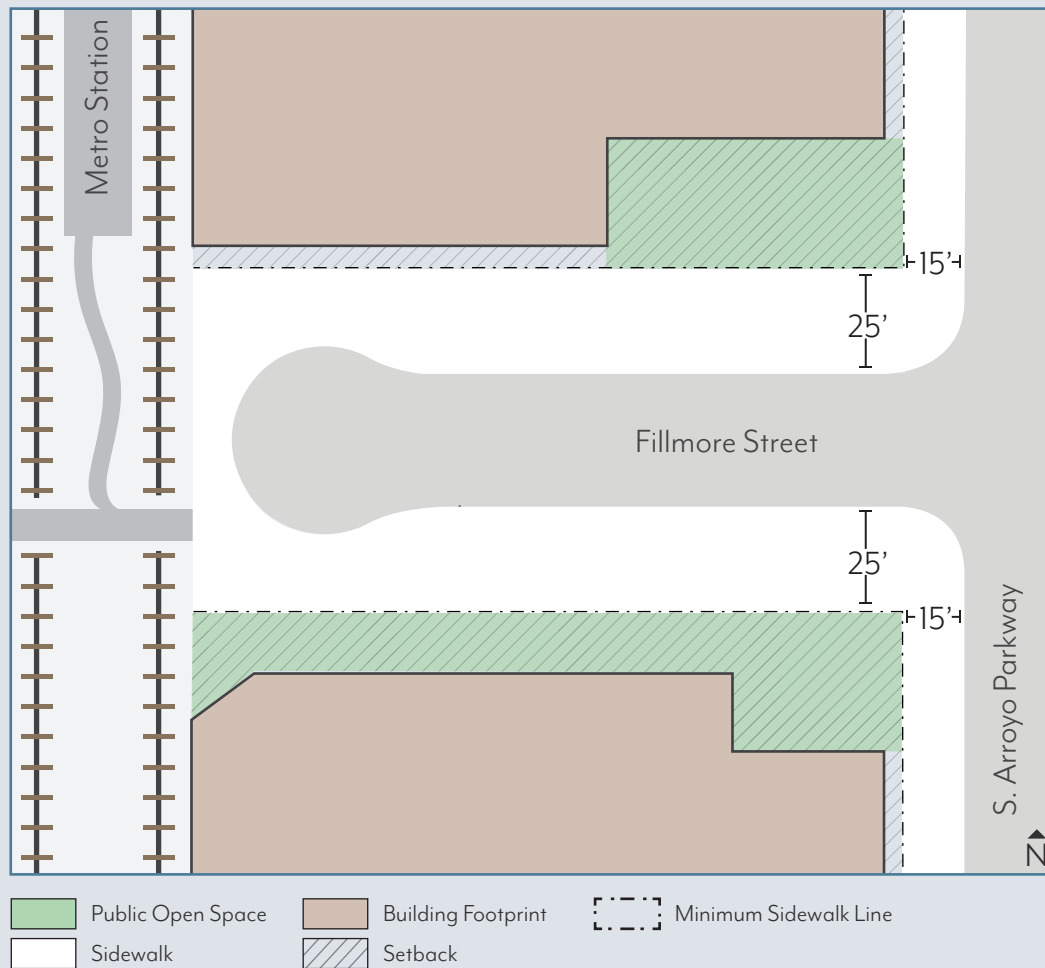
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Figure 6.4-3: Possible Configurations for Public Open Space Plaza Requirement at Southwest Corner of Fillmore Street and Arroyo Parkway

The intent of the South Fair Oaks Specific Plan is to support the implementation of a wide promenade entrance to Metro L (Gold) Line Fillmore Station entrance from Arroyo Parkway.

For projects on the southwest corner of Fillmore Street and Arroyo Parkway with less than 3,000 square feet of public open space required, a linear configuration should be prioritized, providing a direct sight line from Arroyo Parkway to Fillmore Station entrance. For projects with over 3,000 square feet of public open space required, linear open space should be supplemented with a corner plaza, as illustrated below.

Note: This figure is an illustrative open space configuration and does not reflect exact requirements for open space dimensions or building footprint design.



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Figure 6.4-4: Illustrative Open Space Configuration at Fillmore Street and Arroyo Parkway

Note: This figure is an illustrative open space configuration and does not reflect exact requirements for open space dimensions, building design, or street design.





6.5 VEHICLE ACCESS & PARKING

The vehicle access and parking standards in this section are intended to:

- » Reduce the visual impacts of parking
- » Regulate appropriate parking supply and location in a manner that prioritizes pedestrian access and multi-modal activity
- » Encourage change of use and adaptive reuse of existing buildings through parking reductions and exemptions
- » Promote a more efficient use of parking spaces through shared parking among multiple uses within a project
- » Increase design standards for parking structures through ensuring habitable floor areas between parking and street frontage and screening

The following standards are covered in detail in this section:

- » 6.5.1 Vehicle Access
- » 6.5.2 Vehicle Parking Minimums
- » 6.5.3 Vehicle Parking Layout and Design

IMPORTANCE OF PARKING

Vehicle parking access, location and supply influences the street environment, multi-modal travel and overall development. Minimizing vehicular access, such as entries and driveways, can help to promote continuous sidewalk activity and safer travel across modes. Similarly, minimizing surface parking lot size and locations (such as placing lots behind buildings or a landscaped open space), supports the success of street-fronting activity, such as pedestrian travel and commercial frontages. The number of required parking spots is another defining factor that shapes urban travel and development. By establishing an appropriate number of parking spots by land use and size of development, residential and commercial activity can be supported while also attracting a variety of new development. Through tailored standards as well as parking reductions and exemptions for certain uses and conditions, space efficiency and cost savings are promoted.

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6.5.1 VEHICLE ACCESS

- A. **Location.** Driveways are not permitted on primary frontages when there is access from a secondary street.
- B. **Number.** For Projects with less than 200 feet of primary street frontage, only one two-lane driveway shall be permitted. Two two-way driveways shall be permitted on Projects with more than 200 feet of primary street frontage.
- C. **Changes of use.** Projects in RDF, LMC, and IF involving changes of use in structures built prior to 1970 or in designated historic structures that would result in an increased parking requirement shall be exempt from providing additional parking.
- D. **Outdoor dining up to 2,000 square feet.** For the first 2,000 square feet of outdoor dining area, no parking is required.

6.5.2 VEHICLE PARKING

- A. **Number of Spaces.** Projects shall provide the minimum number of parking spaces based on use and size as set forth in Table 6.5-1. A maximum number of parking spaces may apply per PMC17.50.340.
 - 1. Exemptions allowed for:
 - a. **Commercial uses less than 5,000 square feet.** For Projects with less than 5,000 square feet of commercial uses, no parking is required. Commercial uses include Recreation, Education & Public Assembly; Commercial Entertainment; Commercial Recreation; Office, Professional & Business Support; Retail Sales; and Services categories.
 - b. **Historic resources and preservation of older buildings.** Any Projects on a parcel with a designated historic resource or buildings constructed prior to 1950 that involve new construction or enlargement of an existing structure shall provide 25% of the minimum parking requirement.
- 2. Reductions allowed for:
 - a. **Transit-oriented development for Fillmore and Del Mar Metro Stations.**
 - » Reductions in parking requirements shall be available to Projects within half-mile (2,640 feet) of Metro L (Gold) Line Fillmore and Del Mar Metro station platforms per PMC17.50.340.
 - » If a parcel, or portion of a parcel, is within 500 feet of the Metro L (Gold) Line Fillmore or Del Mar station platforms, Projects are permitted a 30% parking reduction.
 - b. **Shared parking.** Parking may be shared among multiple uses per PMC17.46.050.
- B. **Unbundled parking.** For any building with new residential units, parking shall be unbundled from the rents, sale prices, or other fees charged for occupying living space. Automobile parking spaces shall be leased or sold separately from the rental or purchase fees, such that renters or buyers have the option of renting or buying the space at a lower price than if automobile parking was included.
 - 1. Affordable units are not subject to this provision and are required to include one parking space for the unit in the base rent or sales price.

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Development Standards & Design Guidelines

Table 6.5-1: Parking by Land Use

	Minimum	Notes
Retail Sales	3 per 1,000 sf*	For Medical Offices >5,000 sf, refer to PMC17.46
Services (except Lodging)		
Office, Professional and Business Support		
Lodging (Hotels & Motels)	0.5 per room	First 15,000 sf of banquet/restaurant space excluded
Residential	≤1-bed: 1 per unit ≥2-bed: 1.5 per unit	Residential guest parking can be shared with commercial parking in mixed-use developments
Live/work	1.5/unit	
Other uses	Refer to PMC17.46	*Lower minimums specified by PMC for specific use categories shall supersede this requirement.

6.5.3 VEHICLE PARKING LAYOUT & DESIGN

- A. **Surface parking.** Parking lots shall be set back at least 30 feet from the primary frontage and 10 feet from any secondary frontage. Parking shall be buffered by habitable floor area or landscaped open space.
1. Landscaping shall include hedges or shrubs at least 3 feet in height at the time of planting, and no more than 42 inches in height in the future. These hedges or shrubs need not be planted within the entire landscaped area but shall form a continuous visual screen.
 2. **Exceptions:** In RDF, parking lots shall be set back at least 20 feet from the primary frontage.
- B. **Podium parking.** No more than one story of above-grade parking is permitted within habitable buildings. Multiple stories of above ground parking are permitted within wrap style developments or parking structures if the project meets the parking structure standards below.
1. Screening shall hide parking areas visible from a public street, using heavy-gauge metal, precast concrete panels, laminated glass, green walls, photovoltaic panels or other material per Design Review/Director approval.
- C. **Parking structures.** Structures shall be buffered with habitable floor area between the parking and any street frontage (not including alleys), except for access and driveways.
1. Elevators and stairs shall be located adjacent sidewalks or paseos.
 2. Screening shall hide parking areas visible from a public street, using heavy-gauge metal, precast concrete panels, laminated glass, green walls, photovoltaic panels or other material per Design Review/Director approval.

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