

Draft East Colorado Specific Plan

Public Workshops - Round Three

July 16, 2020



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NOT ALL CHAPTERS OF THE SPECIFIC PLAN DOCUMENT ARE INCLUDED FOR PUBLIC REVIEW

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Note: This Draft East Colorado Specific Plan document is intended for public review at the Our Pasadena Public Workshops - Round Three (Virtual Open House). This document includes draft content for the three chapters of the Specific Plan that introduce new regulations, standards, and guidelines for development; this draft does not include introductory and administrative chapters, policies, definitions, or appendices. The draft standards presented in this document are informed by multiple stages of prior community input and extensive technical analysis. This document is made public for the purpose of receiving further community feedback, and contents are subject to change.

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Ch. 4 Land Use and Urban Form

Land Use and Urban Form 4
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LAND USE AND URBAN FORM

IMPORTANCE

The Land Use regulations in this chapter are intended to guide development and Land Use decision making to achieve the East Colorado Specific Plan Vision. Permitted uses are intended to foster a pedestrian-oriented setting that supports a robust commercial corridor with active uses and destinations for residents, students, and transit users.

Land Use regulations are tools that can be used to maintain the character of a particular neighborhood, or to guide a neighborhood's evolution toward a character that better supports residents, businesses and employees, and visitors. While broader land use categories are assigned in the General Plan, the Specific Plan establishes a detailed list of allowed land use categories and the permit requirements or limitations for each zoning district within the Specific Plan Area.

CHAPTER OVERVIEW

The Land Use and Urban Form chapter includes a map of allowed land uses (simplified into residential, commercial, and mixed uses) as they apply to the Specific Plan Area in general, as well as ground floor spaces. The map is followed by a detailed table indicating which land uses are allowed within each zoning district of the Specific Plan area. Certain uses may be subject to special conditions or permitting, requiring an application and approval process determining whether the proposed use is permitted, conditionally permitted, prohibited, or allowed as a temporary use.

» **Map 4.1-1: Allowed Use and Ground Floor Requirements**

» **Table 4.1-1: Allowed Uses and Permit Requirements**

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Commercial Use: Ground Floor Retail



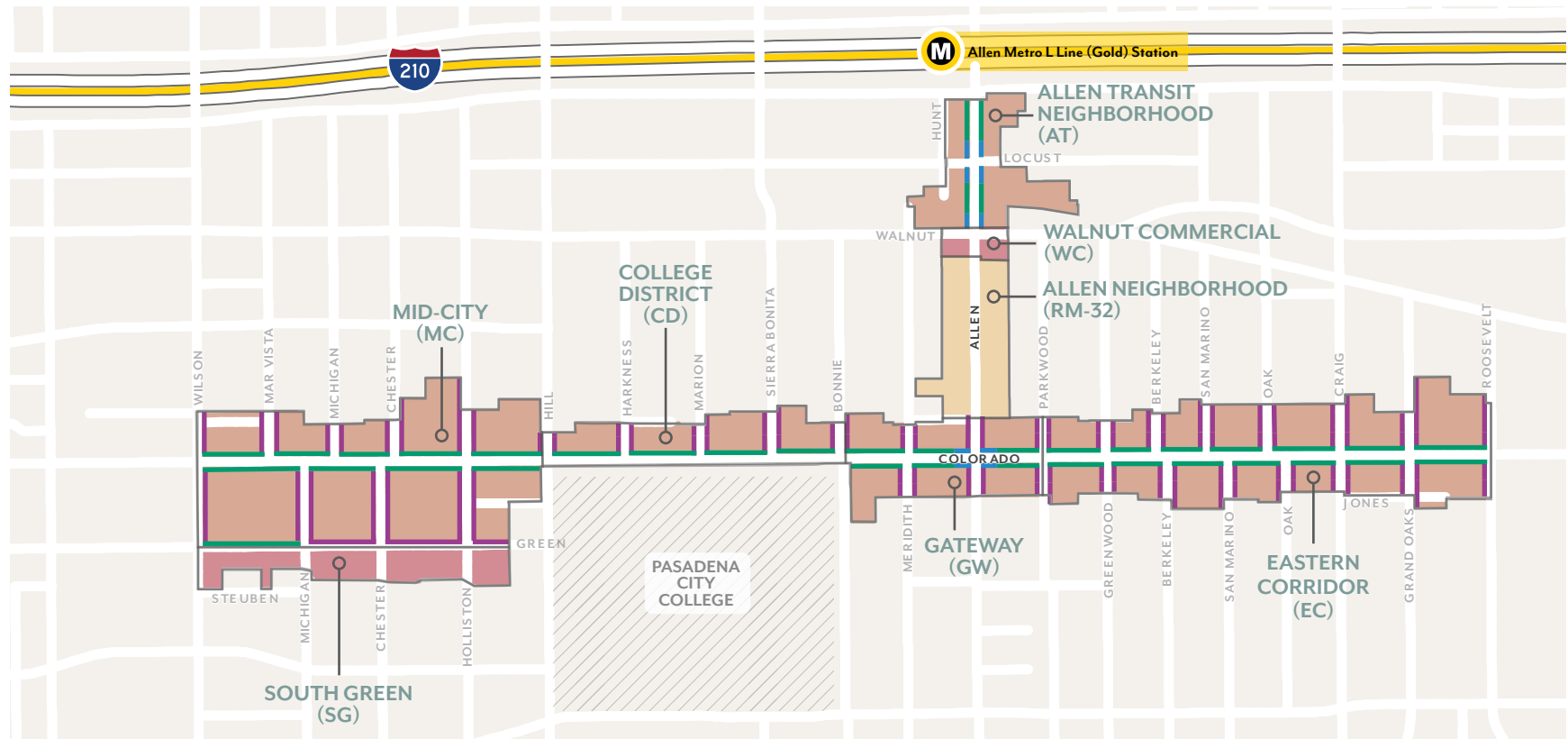
Residential Use: Ground Floor Residential Units



Mixed Use: Ground Floor Dining

4.1 ALLOWED LAND USES

Map 4.1-1: Allowed Use and Ground Floor Requirements



Allowed Uses

- Residential
- Commercial
- Mixed (horizontal/vertical)

Ground Floor

- Commercial required (70% of building frontage)
- Commercial and/or residential permitted
- Commercial and/or residential permitted - residential units not permitted within first 35' of primary frontage; common space (lobby, amenity space) allowed but must meet non-residential ground floor requirements

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Land Use and Urban Form

Table 4.1-1: Allowed Uses and Permit Requirements

SYMBOL	PERMIT REQUIREMENTS AND USE LIMITATIONS	PROCEDURE IS IN SECTION:
P	Permitted use, Code Compliance Certificate required.	17.61.020
MC	Conditional use, Minor Conditional Use Permit required.	17.61.050
C	Conditional use, Conditional Use Permit required.	17.61.050
E	Conditional use, Expressive Use Permit required.	17.61.060
A	Use permitted only as accessory to a primary permitted use	
TUP	Temporary use, Temporary Use Permit required.	17.61.040
—	Use not allowed. (See Section 17.21.030.A regarding uses not listed.)	
(L#)	“(L#)” designates limited uses to comply with specific limitations listed at the end of the table.	To be identified

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Zoning Code Section for Additional Relevant Standards/Notes
	ECSP-MC	ECSP-CD	ECSP-AT	ECSP-WC	ECSP-GW	ECSP-EC	ECSP-SG	
RESIDENTIAL USES								
Family Day Care								
Large	P	P	P	—	P	P	—	
Small	P	P	P	—	P	P	—	
Group Residential Types								
Congregate Housing	P (L2)	—	P (L2)	—	P (L2)	P (L2)	—	
Senior Group Residential	P (L2)	—	P (L2)	—	P (L2)	P (L2)	—	
Residential								
Accessory dwelling unit	—	—	—	—	—	—	—	For existing residential only; 17.50.275
Live/Work Units	P (L2)	P (L2)	P (L2)	—	P (L2)	P (L2)	—	17.50.370
Multi-family Residential	P (L2)	P (L2)	P (L2)	—	P (L2)	P (L2)	—	17.50.350

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Land Use and Urban Form

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Zoning Code Section for Additional Relevant Standards/Notes
	ECSP-MC	ECSP-CD	ECSP-AT	ECSP-WC	ECSP-GW	ECSP-EC	ECSP-SG	
Single-Family Residential	—	—	—	—	—	—	—	
Home occupations	P (L2)	P (L2)	P (L2)	—	P (L2)	P (L2)	—	17.50.110
Residential Accessory Uses and Structures	P (L1)	P (L1)	P (L1)	—	P (L1)	P (L1)	—	17.50.250
Residential Care Facilities								
General	C	C (L2)	C (L2)	C	C	C	C	
Limited	C	C (L2)	P (L2)	P	C	C	—	
Senior	P	—	P (L2)	—	P	P	—	
Hospice, General	C	C (L2)	—	—	—	C	C	
Hospice, Limited	P	P (L2)	—	—	—	P	P	
Supportive Housing								
Emergency Shelters	MC	MC	—	MC	MC	MC	—	
Emergency Shelters, Limited	MC	MC	—	MC	MC	MC	—	
Supportive Housing	P (L2)	P (L2)	P (L2)	—	—	P (L2)	—	
Transitional Housing	P (L2)	P (L2)	P (L2)	—	—	P (L2)	—	
RECREATION, EDUCATION & PUBLIC ASSEMBLY USES (2, 3)								
Cultural & Public Assembly								
Religious Facilities	C	C	C	C	C	C	C	17.50.230
Mortuary, Funeral Home	MC	MC	MC	MC	MC	MC	MC	17.50.230
Cremation/Interment Services	MC	MC	MC	MC	MC	MC	MC	
With Temporary Homeless Shelter	MC	MC	MC	MC	MC	MC	MC	17.50.230
Assembly Facilities	C	C	C	C	C	C	C	17.50.230
Cultural Institution and Facility	P	P	P	P	P	P	P	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Zoning Code Section for Additional Relevant Standards/Notes
	ECSP-MC	ECSP-CD	ECSP-AT	ECSP-WC	ECSP-GW	ECSP-EC	ECSP-SG	
College or Educational Institution								
Nontraditional campus setting	P	P	P	P	P	P	P	
Traditional Campus Setting	MC	MC	—	—	—	C	—	
Recreation								
Commercial Recreation - Indoor	P	P	P	P	P	P	P	17.50.130
Commercial Recreation - Outdoor	—	—	—	—	—	—	C	17.50.130
Gardens (Neighborhood / Community)	P	P	P	P	P	P	P	
Park and Recreation Facilities	P	P	P	P	P	P	P	
Stadiums and Arenas	—	—	—	—	—	—	—	
Schools								
Schools - Public and Private	C	C (LI)	C	—	—	C	C (LI)	17.50.270
Schools - Specialized Education and Training	P	P	P	P	P	P	P (LI)	17.61.050.J CUP required for new construction over 25,000 s.f.
BUSINESS, COMMERCIAL, AND RETAIL SERVICES (2, 3)								
Alcohol Sales								
Beer and wine	C	C	C	C	C	C	C	17.50.040
Full alcohol sales	C	C	C	C	C	C	C	17.50.040
Animal Sales and Services								
Animal Boarding	—	—	—	—	—	—	—	
Animal Clinic/Hospital	—	—	—	—	—	P	—	17.50.050
Animal Grooming	P	P	P	P	P	P	P	
Animal Retail sales	P	P	P	P	P	P	P	
Animal Shelter	—	—	—	—	—	C	—	

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Land Use and Urban Form

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Zoning Code Section for Additional Relevant Standards/Notes
	ECSP-MC	ECSP-CD	ECSP-AT	ECSP-WC	ECSP-GW	ECSP-EC	ECSP-SG	
Auto/Vehicle Sales and Services								
Alternative Fuels/Recharging Facilities (2, 3)	—	—	—	P	—	P	—	17.40.070; 17.61.050.J CUP required for new construction over 25,000 s.f.
Automobile Rental	—	—	—	P	—	P	—	17.61.050.J CUP required for new construction over 25,000 s.f.
Automobile Showrooms	P	—	—	P	P	P	P	
Vehicle Services - Repair	—	—	—	—	—	P	—	17.50.360, 17.61.050.J CUP required for new construction over 25,000 s.f.
Vehicle Services – Washing/Detailing	—	—	—	—	—	—	—	17.50.290, 17.61.050.J CUP required for new construction over 25,000 s.f.
Vehicle Services - Washing/Detailing, Small-Scale	—	—	—	—	—	—	—	17.50.290
Vehicles Services – Sales/Leasing	—	—	—	—	—	P	—	17.50.360, 17.61.050.J CUP required for new construction over 25,000 s.f.
Vehicles Services - Sales/Leasing, Limited	—	—	—	P	—	P	—	17.50.360
Vehicle Services - Service Stations	—	—	—	—	—	—	—	17.50.290, 17.61.050.J CUP required for new construction over 25,000 s.f.
Vehicle Storage (2)	—	—	—	—	—	—	—	17.40.070; 17.61.050.J CUP required for new construction over 25,000 s.f.

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (I)	PERMIT REQUIREMENT BY ZONE							Zoning Code Section for Additional Relevant Standards/Notes
	ECSP-MC	ECSP-CD	ECSP-AT	ECSP-WC	ECSP-GW	ECSP-EC	ECSP-SG	
Banks and financial Institutions								17.61.050.J CUP required for new construction over 25,000 s.f.
Automated Teller Machines (ATM)	P	P	P	P	P	P	P	17.50.060
Banks and Credit Unions (Retail)	P	P	P	P	P	P	P	
Banks and Credit Unions (Non-Retail)	—	—	—	P	—	P	P	
Conference Center								
Conference Center	—	—	—	—	—	—	—	
Day Care Facility								
Adult Day-Care - General	C	C (LI)	C (LI)	C	C (LI)	C	C (LI)	Performance standards required
Adult Day-Care - Limited	P	P (LI)	—	P	—	P	P (LI)	Performance standards required
Child Day Care	P	P	P	P	P	P	P	17.50.080
Eating and Drinking Establishments								17.61.050.J CUP required for new construction over 25,000 s.f.
Bar, Night Club, or Tavern	C	C	C	C	C	C	C	17.50.040
Restaurants, Full Service	P	P	P	P	P	P	P	17.50.260
Restaurant, Limited Service	P	P	P	P	P	P	P	
Restaurant, Take-Out Only	P	P	P	P	P	P	P	
Restaurants with Limited Live Entertainment	P	P	P	P	P	P	P	Performance standards required
Restaurants with Walk-Up Window	C	C	C	C	C	C	C	17.50.260
Restaurants with Drive Through	—	—	—	—	—	—	—	

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Land Use and Urban Form

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Zoning Code Section for Additional Relevant Standards/Notes
	ECSP-MC	ECSP-CD	ECSP-AT	ECSP-WC	ECSP-GW	ECSP-EC	ECSP-SG	
Entertainment								
Commercial Entertainment	E	E	E	E	E	E	E	17.50.130
Electronic Game Centers	P	P	P	P	P	P	P	17.50.100
Sexually Oriented Business	—	—	—	—	—	—	—	17.50.295
Food and Beverage Sales								
Convenience Stores	P	P	P	P	P	P	P	
Farmers' Market	P	P	P	P	P	P	P	
General Market	P	P	P	P	P	P	P	
Liquor Stores	C	C	C	C	C	C	C	17.50.040
Group Housing								
Single-Room Occupancy	P	P	P	—	P	P	P	Commercial use, prohibited in residential zones. 17.50.300
Hospitals, Clinics and Care Facilities								
Clinic	P	P	P	P	P	P	P	
Extended Care	MC (L1)	—	—	MC	—	MC	MC	
Life/Care Facilities	MC (L1)	MC (L1)	MC (L1)	MC (L1)	MC (L1)	MC	MC (L1)	17.50.120
Hospitality House	MC (L1)	MC (L1)	MC (L1)	MC (L1)	MC (L1)	MC	MC (L1)	
Hospital	—	—	—	—	—	—	—	
Skilled Nursing Facility	C (L1)	C (L1)	—	C (L1)	C (L1)	C	C (L1)	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (I)	PERMIT REQUIREMENT BY ZONE							Zoning Code Section for Additional Relevant Standards/Notes
	ECSP-MC	ECSP-CD	ECSP-AT	ECSP-WC	ECSP-GW	ECSP-EC	ECSP-SG	
Offices								17.61.050.J CUP required for new construction over 25,000 s.f.
Accessory	P (LI)	P (LI)	P (LI)	P (LI)	P (LI)	P (LI)	P (LI)	office percentage limitation to be developed
Administrative Business Professional	P	P (LI)	P	P	P (LI)	P	P (LI)	office percentage limitation to be developed
Government	P (LI)	P (LI)	P (LI)	P (LI)	P (LI)	P	P (LI)	
Laboratories	—	—	—	—	—	P	—	
Medical and Dental	P	P	P	P	P	P	P	office percentage limitation to be developed
Walk-In Clientele	P	P	P	P	P	P	P	
Research and Development - Offices	P	P (LI)	P	P	P (LI)	P	P (LI)	17.50.240 office percentage limitation to be developed
Personal Services								17.61.050.J CUP required for new construction over 25,000 s.f.
Personal Improvement Services	P	P	P	P	P	P	P	
Personal Services	P	P	P	P	P	P	P	
Massage Establishments	C	C	—	C	C	C	C	17.50.155
Personal Services, Restricted	—	—	—	—	—	—	—	17.50.200
Tattoo and Body Modification	P	P	P	P	P	P	P	

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Land Use and Urban Form

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (I)	PERMIT REQUIREMENT BY ZONE							Zoning Code Section for Additional Relevant Standards/Notes
	ECSP-MC	ECSP-CD	ECSP-AT	ECSP-WC	ECSP-GW	ECSP-EC	ECSP-SG	
Printing and Publishing								
General	P	P (LI)	—	P	P (LI)	P	P (LI)	17.61.050.J CUP required for new construction over 25,000 s.f.
Limited	P	P	P	P	P	P	P	17.61.050.J CUP required for new construction over 25,000 s.f.
General Services								
Business Services	P	P	P	P	P	P	P	
Catering Services	P	P (LI)	—	P	P (LI)	P	P (LI)	
Charitable Institutions	P	P	P	P	P	P	P	
Commercial Nurseries	—	—	—	—	—	—	—	17.50.180
Commercial Growing Areas	—	—	—	—	—	—	—	
Drive-Through Business (non-restaurant)	—	—	—	—	—	—	—	
Maintenance or Repair Services	—	—	—	—	—	—	—	17.61.050.J CUP required for new construction over 25,000 s.f.
Public Safety Facilities	C	C	C	C	C	C	C	
Detention Facility	—	—	—	—	—	—	—	
Transient Lodging								
Bed and breakfast inns	—	—	—	—	—	—	—	17.50.140
Hotels, motels	C	C	—	C	C	C	C	17.50.150

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (I)	PERMIT REQUIREMENT BY ZONE							Zoning Code Section for Additional Relevant Standards/Notes
	ECSP-MC	ECSP-CD	ECSP-AT	ECSP-WC	ECSP-GW	ECSP-EC	ECSP-SG	
Retail Sales								
Big Box Retail	—	—	—	—	—	—	—	
Building Materials, and Supplies Sales	—	—	—	—	—	P	—	
Firearm Sales	—	—	—	—	—	—	—	
General Retail	P	P	P	P	P	P		
Pawnshops	—	—	—	—	—	—	—	17.50.200
Significant Tobacco Retailers	C	C	—	C	C	C	C	17.50.330; 17.61.050.J CUP required for new construction over 25,000 s.f.
Industrial Services								
Construction and Material Yard	—	—	—	—	—	—	—	
Custom Manufacturing / Artisan Production	P	—	—	P (LI)	—	P	—	
Industry, General	—	—	—	—	—	—	—	
Industry, Limited	MC	—	—	MC	MC	MC	—	
Maintenance and Service Facilities	—	—	—	—	—	—	—	
Research and Development - Laboratories	P (LI)	P (LI)	P (LI)	—	—	P (LI)	P (LI)	17.50.240
Self-Storage	—	—	—	—	—	—	—	
Recycling Facilities								
Donation Collections Facilities	—	—	—	—	—	P (LI)	—	
Recycling - Large Collection Facilities	—	—	—	—	—	—	—	
Recycling - Small Collection Facilities	—	C (LI)	—	C (LI)	—	C (LI)	—	17.50.220
Reverse Vending Machine	—	—	—	—	—	—	—	

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Land Use and Urban Form

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Zoning Code Section for Additional Relevant Standards/Notes
	ECSP-MC	ECSP-CD	ECSP-AT	ECSP-WC	ECSP-GW	ECSP-EC	ECSP-SG	
Wholesaling								
Wholesaling, Commercial	—	—	—	—	—	P	—	
Distribution and Storage	—	—	—	—	—	—	—	
Distribution and Storage, Small Scale	—	—	—	—	—	C	—	
Communications facilities (2, 3)								17.40.070; 17.61.050.J CUP required for new construction over 25,000 s.f.
Accessory Antenna Arrays	A	A	A	A	A	A	A	
Antennas and Transmission Towers	C	C	C	C	C	C	C	
Equipment Within Buildings	C	C	C	C	C	C	C	
Wireless Telecommunications Facilities - Minor	MC	MC	MC	MC	MC	MC	MC	17.50.310
Wireless Telecommunications Facilities - Major	C	C	C	C	C	C	C	17.50.310
Wireless Telecommunications Facilities - SCL	P	P	P	P	P	P	P	17.50.310
Transportation								
Commercial Off-Street Parking (3)	A	MC	A	MC	MC	MC	MC	17.40.070
Heliports	C	—	—	—	—	—	—	
Mobility Hub	P	P	P	P	P	P	P	
Transit Stations or Terminals	—	—	C	—	—	—	—	
Transportation Dispatch Facilities	—	—	—	—	—	—	—	

ALLOWED USES AND PERMIT REQUIREMENTS BY ZONING DISTRICTS								
LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Zoning Code Section for Additional Relevant Standards/Notes
	ECSP-MC	ECSP-CD	ECSP-AT	ECSP-WC	ECSP-GW	ECSP-EC	ECSP-SG	
Truck and Freight Terminals	—	—	—	—	—	—	—	
Utilities								
Major	C	C	C	C	C	C	C	
Minor	P	P	P	P	P	P	P	
TEMPORARY USES								
Filming, long-term	MC	MC	MC	MC	MC	MC	MC	
Filming, short-term	P	P	P	P	P	P	P	
Street fairs	P	P	P	P	P	P	P	
Tents	TUP	TUP	TUP	TUP	TUP	TUP	TUP	17.50.320
Personal Property Sales	P	P	P	—	P	P	P	Permit required: 17.50.190
Seasonal Merchandise Sales	P	P	P	P	P	P	P	17.50.180; 17.61.050.J CUP required for new construction over 25,000 s.f.
Swap Meets	TUP	TUP	—	—	TUP	—	TUP	17.61.050.J CUP required for new construction over 25,000 s.f.
Other Temporary Uses	TUP	TUP	TUP	TUP	TUP	TUP	TUP	

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TABLE 4.1-1 NOTES:

- (1) See Section 17.80.020 for definitions of the listed land uses.
- (2) If within 300 feet of an R District this use shall be limited to 10 one-way truck trips by large trucks per day per six-day work week. This restriction shall apply to new uses and uses that expand by more than 30 percent of the gross floor area. This restriction shall not apply if the site or the adjacent R District is within 500 feet of a freeway.
- (3) No more than five large trucks (except trucks associated with vehicle services - sales and leasing) shall be stored on each lot. This restriction shall apply to new uses or uses that expand by more than 30 percent of the gross floor area. 17.40.070

TABLE 4.1-1 SPECIFIC LIMITATIONS:

- (L1) **Ground Floor Uses.** Use listed is not allowed on the ground floor within the first 35 feet from the minimum sidewalk line on Colorado Boulevard, Green Street, Allen Avenue. Entries to upper floors or rear buildings are allowed on the ground floor.
- (L2) **Residential Units.** Residential units are not permitted within first 35 feet from the minimum sidewalk line on Colorado Boulevard, Green Street (west of Michigan), and Allen Avenue (see Map 4.1-1: Allowed Use and Ground Floor Requirements).
 - » **Exception:** Residential common areas, such as lobbies, gyms, kitchens, entertainment areas, are permitted if they meet ground floor commercial design requirements in Section 6.4 Ground Floor Design, except for parcels with street frontages on corner lots.

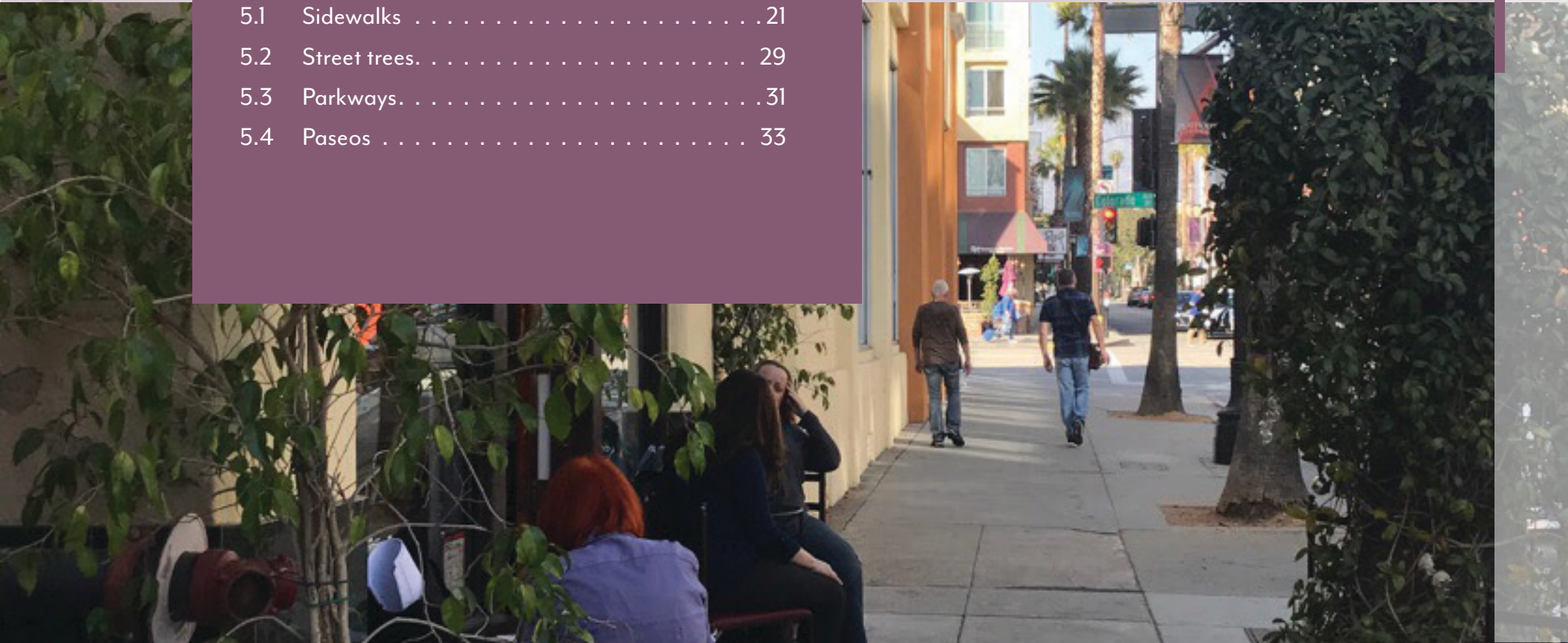
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PUBLIC REALM STANDARDS & DESIGN GUIDELINES

IMPORTANCE

The public realm standards and design guidelines in this chapter serve to implement the General Plan vision for East Colorado Specific Plan Area and achieve objectives of the Pasadena Street Design Guide and Pasadena Master Street Tree Plan. To improve the public realm for users of all abilities, and to provide enough space for simultaneous uses of the sidewalk, these standards and guidelines ensure that new developments contribute to the safety, accessibility, and connectivity of their surrounding streetscape network. Many features that are critical to ‘walkability’ depend on the width and organization of the sidewalk, and the frequency of connections between amenities and nodes of activity. For example, consistent street trees provide shade and other aesthetic and environmental benefits, and sidewalk seating for restaurants and cafés activate the public realm and boost business. However, the success of both relies on the sidewalk offering ample and well-organized space to prevent conflicts with pedestrians. Walkable neighborhoods also have convenient and intuitive connections, and features such as mid-block pedestrian walkways or “paseos” can reduce walking distance and while adding public open space and additional amenities.



A well-designed public realm provides comfortable and accessible space for people of all abilities.

CHAPTER OVERVIEW

The public realm standards and guidelines in this chapter address and regulate pedestrian infrastructure and amenities to support a safe, accessible, and comfortable pedestrian experience. The standards and guidelines are presented in the following pages as follows:

- » **5.1 Sidewalks.** Addresses minimum sidewalk widths and sidewalk zones.
- » **5.2 Street Trees.** Addresses street tree placement and preferred species.
- » **5.3 Parkway.** Addresses parkway dimensions, amenities, and materials.
- » **5.4 Paseos.** Addresses placement and design of mid-block paseos.

Each section includes rationale for the standard followed by sub-sections for individual standards, if applicable. Each standard is introduced in text and/or table format with diagrams and images to illustrate regulations. Supplementary text boxes are provided for additional context on most standards and diagrams. Note that diagrams are provided for the purposes of communicating measurements and images are included to illustrate potential outcomes of the standards; neither are suggestive of regulated architectural styles.

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5.1 SIDEWALKS

The following sidewalk standards are intended to:

- » Ensure a minimum sidewalk width is achieved, appropriate to support future development densities, intensities, uses, and pedestrian volumes;
- » Provide sufficient sidewalk width to support dedicated amenity zones, walk zones and frontage zones; and
- » Increase shade and stormwater capture through increased street trees and parkways.

The following standards are covered in detail in this section:

- » 5.1.1 Sidewalk Zones
- » 5.1.2 Minimum Sidewalk Width

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IMPORTANCE OF SIDEWALKS

Sidewalks play an important and multi-faceted role in the built environment, serving as spaces for pedestrian travel, entryways, sidewalk dining, street trees and landscaping, as well as a variety of amenities, such as benches, bus shelters, bicycle racks and trash receptacles. Sidewalk width standards correlate to the level of activity and surrounding densities, intensities, and uses. Ensuring sufficient widths and establishing distinct zones help to ensure that the sidewalk environment can support all functional activities.



Sidewalks with sufficient width can support pedestrian travel as well as space for various amenities, including outdoor dining and street trees

5.1.1 SIDEWALK ZONES

PASADENA STREET DESIGN GUIDE

Pasadena's Street Design Guide provides a framework for understanding the way sidewalks are used, and organizes sidewalks into zones to avoid conflict between various uses and amenities. Requirements vary based on the level of activity, land uses, intensities, and densities, as well as special conditions. Through designating specific zones, the East Colorado Specific Plan can help enhance the pedestrian experience by increasing sidewalk widths, enabling more shade coverage and opportunities for amenities such as sidewalk seating and landscaping.

The Pasadena Street Design Guide organizes sidewalks into the following three sidewalk zones, which provide a basis for standards in the Specific Plan:

- » **Amenity / Curb Zone.** The Amenity / Curb Zone is the portion of the sidewalk directly adjacent to the street right-of-way. This zone typically includes street trees, street lights, parkways, street furniture, and bus shelters.
- » **Walk Zone.** The Walk Zone is the portion of the sidewalk dedicated to pedestrian travel and should be free of obstruction.
- » **Building Frontage Zone.** The Building Frontage Zone is adjacent to private property and allows for door openings from buildings, bicycle parking, and sidewalk seating.

Figure 5.1-1: Sidewalk Zones



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SIDEWALK ZONE EXAMPLE IMAGES

The images below reflect examples of appropriate conditions for the three sidewalk zones. These examples are illustrative and may not reflect all applicable development standards.

BUILDING FRONTAGE ZONE



Frontage zones may be used to accommodate outdoor dining



Frontage zones may include planters to enhance the ground floor

WALK ZONE



Walk zones of 5 feet allow two people to walk together comfortably



Walk zones may extend into frontage zones if desired by the property owner

AMENITY/CURB ZONE



Grass or turf parkways with shade trees are appropriate for residential areas



Commercial sidewalks may include shade trees, landscaping, and seating options

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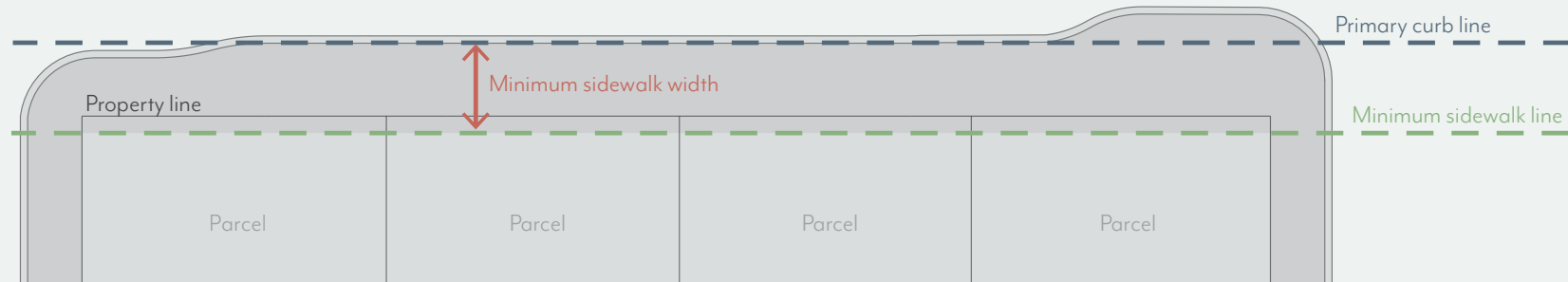
5.1.2 MINIMUM SIDEWALK WIDTH

- A. **Minimum Sidewalk.** Projects shall provide sidewalks that meet the minimum sidewalk width requirements per Map 5.1-1, as measured from the Primary Curb Line, as shown in Figure 5.1-2. Where the existing sidewalk right-of-way is less, the Project shall accommodate the minimum sidewalk width. This area shall be paved for the purposes of public use and any improvements shall be installed and maintained by the property owner.
- B. **Sidewalk Zones.** Sidewalks must provide sidewalk zones to the dimensions illustrated in Figures 5.1-3 to 5.1-10.
- C. **Amenity Zone.**
1. The Amenity Zone may be used for:
 - a. Driveways
 - b. Street furniture
 - c. Street trees
 - d. Parkway
 - e. Bicycle parking
 - f. Bus shelters
 2. Sidewalks shall meet parkway standards included in section 5.3.
- D. **Walk Zone.** Sidewalks shall maintain a minimum continuous path of travel for pedestrians at the width illustrated in Figures 5.1-3 to 5.1-10. This area shall be free of all furnishings, landscaping, or obstructions.
- E. **Frontage Zone.** No minimum width is required for Frontage Zones. The Frontage Zone shall only be used for:
1. Pedestrian travel
 2. Seating
 3. Outdoor dining, with a public sidewalk occupancy permit
 4. Landscape planters, to accentuate building entrances only
 5. Bicycle parking
 6. Shade structures

Figure 5.1-2: Minimum Sidewalk Width Measurement

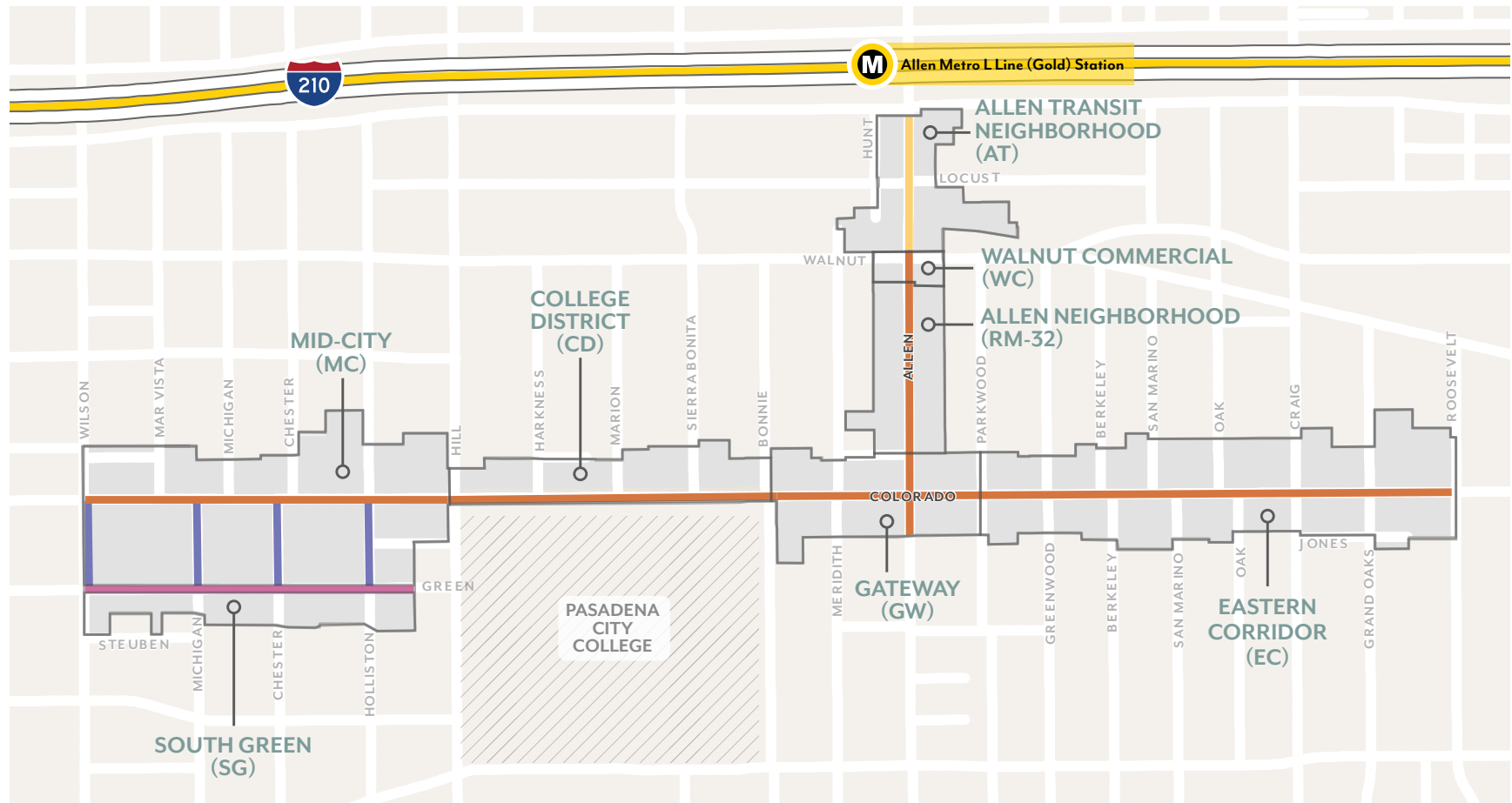
The minimum sidewalk line is the line created by measuring the minimum sidewalk width (as shown in Figure 5.1-2) from the Primary Curb Line. The Primary Curb Line is the predominant back of curb line of a given block, and shall not include “bulb outs” or reductions in sidewalk width at intersections.

As illustrated here, some parcels may not currently provide sufficient width to meet the minimum sidewalk requirement. In these cases, the property owner must provide additional paved area through an easement. FAR shall be calculated based on full parcel area, not the reduced area if required to meet sidewalk width minimum.



Map 5.1-1: Minimum Sidewalk Widths

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Public Realm Standards & Design Guidelines

MINIMUM SIDEWALK WIDTH | CROSS-SECTIONS BY STREET AND SUB-AREA

Figure 5.1-3: Sidewalks - Colorado Boulevard (Mid-City, Gateway)

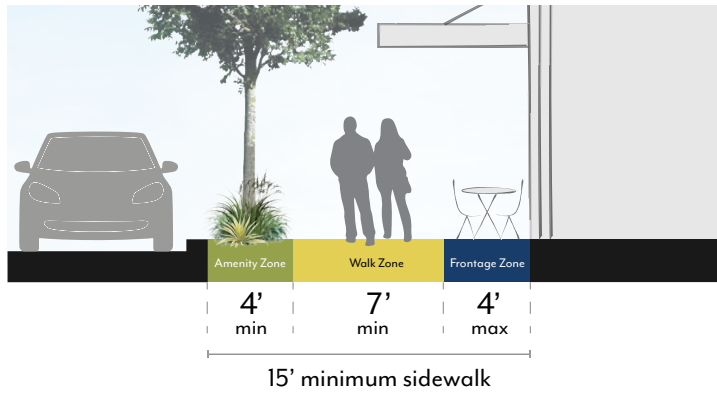


Figure 5.1-4: Sidewalks - Colorado Boulevard (College District)



Figure 5.1-5: Sidewalks - Colorado Boulevard (Eastern Corridor)

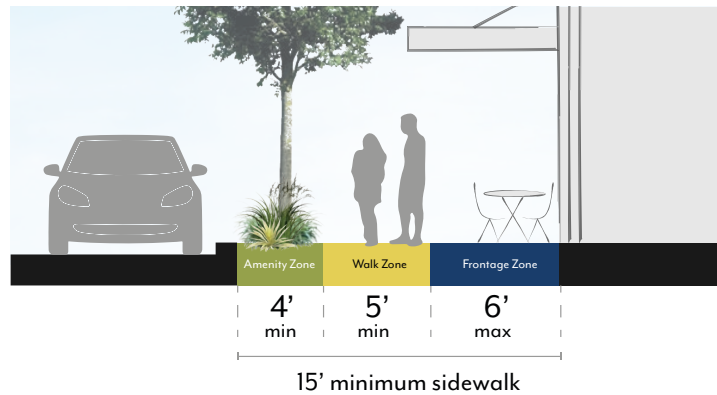


Figure 5.1-6: Sidewalks - Green Street (Mid-City & South Green)



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MINIMUM SIDEWALK WIDTH | CROSS-SECTIONS BY STREET AND SUB-AREA

Figure 5.1-7: Sidewalks - Wilson, Michigan, Chest, and Holliston Avenues (Mid-City)

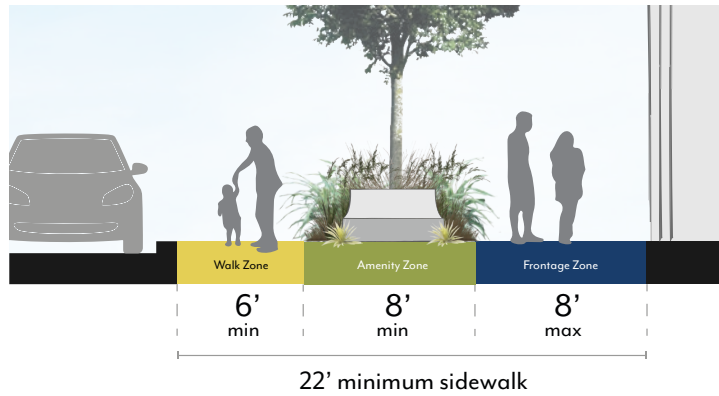


Figure 5.1-8: Sidewalks - Allen Avenue (Allen Transit Neighborhood)

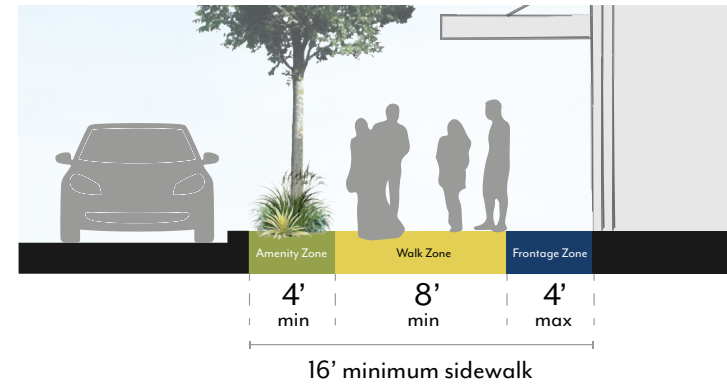


Figure 5.1-9: Sidewalks - Allen Avenue (Allen Neighborhood)

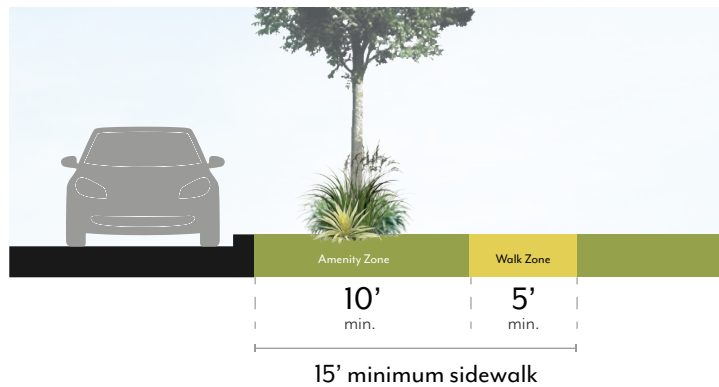
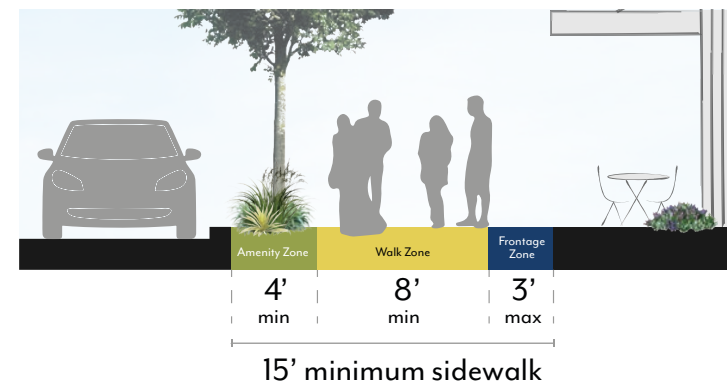


Figure 5.1-10: Sidewalks - Allen Avenue (Gateway and Wanut Commercial)



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SIDEWALK WIDTH EXAMPLE IMAGES

Sidewalk widths of at least 12' are required throughout the Specific Plan Area to provide space for a clear walk zone and basic amenities such as landscaping, lighting, signage, and bicycle parking. Sidewalks of 15', 16', and 22' are required where feasible to increase flexibility of amenity placement and clear paths of travel.



Example of approximately 12 foot sidewalk



Example of approximately 15 foot sidewalk



Example of approximately 16 foot sidewalk



Example of approximately 22 foot sidewalk

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5.2 STREET TREES

This section is currently under development.

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5.3 PARKWAYS

The following Parkway standards and guidelines are intended to:

- » Enhance pedestrian conditions through increased landscaping at sidewalk level
- » Provide a visual buffer between parking lane and sidewalk
- » Improve stormwater capture and increase permeability of sidewalk zone
- » Improve street tree health

The following standards and guidelines are covered in detail in this section:

- » 5.3.1 Parkway Frequency
- » 5.3.2 Parkway Design

IMPORTANCE OF PARKWAYS

Parkways are landscaped or permeable areas within the sidewalk that play an important role in today's urban landscape by improving pedestrian comfort, increasing sustainability, and enhancing the aesthetic character of the public realm. By increasing the permeable area around street trees, parkways increase rain and stormwater capture, leading to improved street tree health and larger tree canopies, which creates cooler temperatures for pedestrians and reduces pollution in our nearby waterways. Parkway also provide a visual buffer between the pedestrian and moving or parked vehicles, which further improves pedestrian comfort and creates a more attractive sidewalk environment. Typically residential neighborhoods can accommodate large, uninterrupted areas of parkways within the sidewalk. In commercial and mixed use areas, available space for parkways may be constrained by bus shelters, street lights, and the need to accommodate higher levels of pedestrian traffic; however, significant parkway opportunities still exist on these corridors.



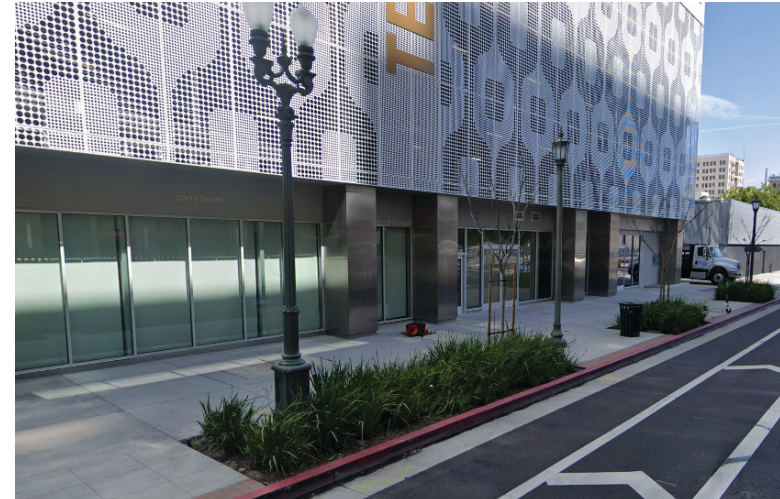
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5.3.1 PARKWAY FREQUENCY

- A. **Parkway frequency.** Parkways shall be provided according to the minimum frequency illustrated in Map 5.3-1, measured as a percentage of the parcel frontage.

5.3.2 PARKWAY DESIGN

- A. **Minimum parkways.** Parkways shall be provided according to the minimum widths illustrated in Figures 5.1-3 to 5.1-10.
- B. **Access.** Sidewalks shall include an access space measured from the primary curb line that includes a minimum 18-inch paved area to allow access to and from vehicles parked on the street.
- C. **Stormwater capture.** Parkways shall be designed to collect and retain or treat runoff from the sidewalk. The center 2 inches of the parkway shall be depressed 3-4 inches to form a shallow swale to collect sidewalk stormwater. Alternative means of storing runoff may be provided to per the approval of the Department of Public Works.



Example of commercial parkway



Example of residential parkway

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Map 5.3-1: Parkway Frequency



**Parkway Requirement
(% of parcel frontage)**

- — — 60%
- — — 30%

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5.4 PASEOS

Some developments in the plan area are required to provide paseos to meet requirements for Public Open Space. The location of future paseos are identified in map 6.5-1 (Public Space). All paseos must adhere to the Public Open Space standards as set forth in section 6.5.4. The following Paseos guidelines are intended to:

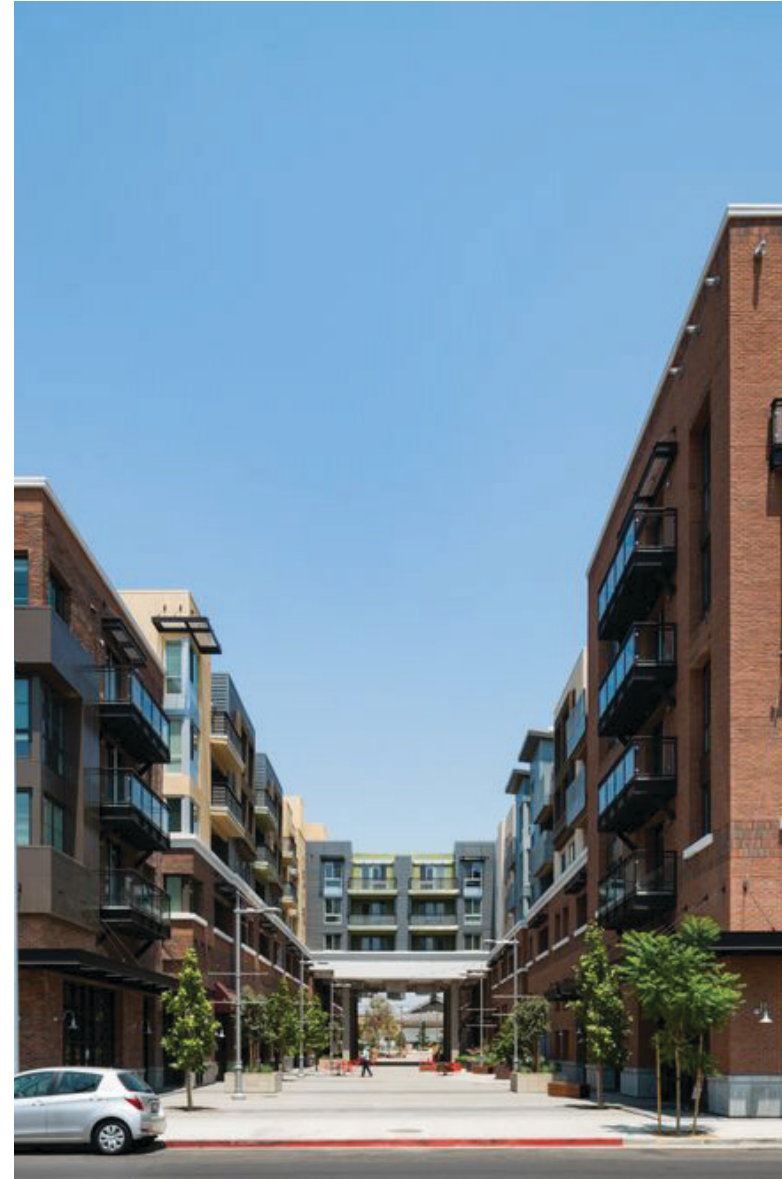
- » Increase pedestrian connectivity and visual interest by reducing large block sizes
- » Provide additional public open space while improving walkability and creating safe spaces for pedestrian travel
- » Supplement the Paseo Standards included in section 6.5.4.

The following guidelines are covered in detail in this section:

- » 5.4.1 Framing
- » 5.4.2 Accessibility and Safety
- » 5.4.3 Hardscape
- » 5.4.4 Landscaping
- » 5.4.5 Seating
- » 5.4.6 Lighting
- » 5.4.7 Additional Amenities and Programming

IMPORTANCE OF PASEOS

Paseos are pedestrian-only pathways that connect two streets. Paseos function as linear public open spaces that break up large urban blocks and provide additional pedestrian connectivity within neighborhoods. Paseos should be designed to a pedestrian scale and incorporate amenities such as seating, public art, shading, and landscaping. In the Mid-City subarea, paseos are required on blocks over 400 feet in length, as depicted in Map 6.5-1.



5.4.1 FRAMING

- A. Walls facing the paseo should adhere to façade modulation standards defined in section 6.3.4 and blank walls standards defined in section 6.4.7
- B. In addition to meeting the parking standards defined in section 6.6.2, parking lots or structures facing a paseo should be screened with landscaping or creative, pedestrian-friendly architecture per Design Review/Director Approval.
- C. Storefronts (commercial), and unit entries or stoops (residential) should front onto the paseo when possible.
- D. Projects should maintain direct sight lines between paseo entrances when possible. If paseos are required to jog due to project constraints, an open space of at least 50 feet x 50 feet at the point of connection is encouraged to increase safety and minimize impacts of obstructed sight lines.

5.4.2 ACCESSIBILITY AND SAFETY

- A. Paseos should be physically and visually accessible from the public sidewalk.
- B. No fences, walls, or entry gates should block passage through the paseo during the established hours.
- C. Vehicular access to the paseo should be permitted for fire access and occasional commercial loading only. Commercial loading should be limited to specific hours of low public usage.
- D. Paseo entrances, storefronts, unit entries, and stoops facing the paseo should be designed and lighted to prevent hiding spaces.
- E. Property owners may close commercial paseos to the public for private events no more than once per month.

5.4.3 HARDSCAPE

- A. Paseos should be paved with high-quality, durable materials that complement the architectural style of adjacent buildings.

5.4.4 LANDSCAPING

- A. Landscaped areas should contain a combination of low, medium, and tall plant materials as appropriate. Larger plants and shade trees should be placed to allow for clear walkways.
- B. Landscaping should be used to activate building facades, soften building contours, highlight important architectural features, screen less attractive elements, add color, texture, and visual interest, and provide shade.
- C. Landscape elements in non-fixed planters are encouraged to enhance areas where in-ground landscaping is infeasible or limited.
- D. The property owner or his/her agent should maintain landscaping within the paseo.



Public paseos provide walkable connections, and can offer opportunities for outdoor dining. Landscaping and trees provide shade and improve aesthetics.

5.4.5 SEATING

- A. A variety of fixed and movable seating options should be provided. Ideas for seating include: moveable chairs, fixed benches, seat walls, planter ledges, fountain borders, and seating steps.
- B. While the minimum seating requirement should be met with seats designed for comfort, additional seating can take more creative forms as part of public art and landscaping designs.

5.4.6 LIGHTING

- A. Paseos should include a sufficient amount of lighting for night-time use.
- B. Lighting should be an integral component of the overall paseo design and is encouraged to be incorporated in public art.
- C. Lighting should be pedestrian scaled, including both low-level pathway lighting and overhead wall mounted fixtures.

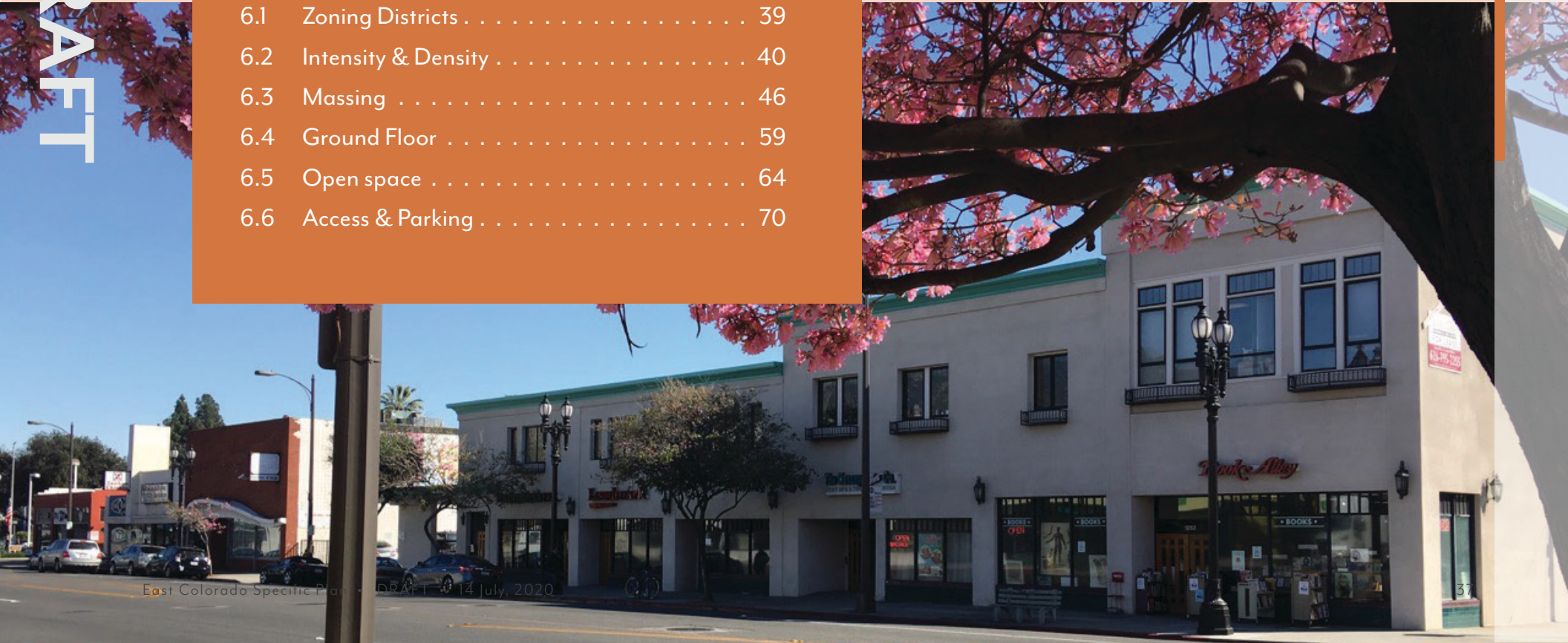
5.4.7 ADDITIONAL AMENITIES & PROGRAMMING

- A. A waste receptacle should be provided for every 5,000 square feet of the paseo (i.e. two for a paseo 400 feet in length)
- B. Waste receptacles should be clearly marked and designed to complement surrounding architecture and materials.
- C. A mix of direct sunlight and shade should be provided through shade structures, landscaping, and building massing.
- D. Paseos should include at least one special feature such as a public art piece or water feature.
- E. Bike racks and scooter parking areas should be provided near entrances, without obstructing walkways.
- F. Paseos should be considered sidewalks for the purposes of permitting street vending in compliance with Pasadena Municipal Code Section 12.10 - Sidewalk Vendors and California Senate Bill 946 (Safe Sidewalk Vending Act).
- G. Non-transactional programming should be encouraged to activate the space without financial barriers to entry.

Ch. 6 Development & Design Standards

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DEVELOPMENT & DESIGN STANDARDS

IMPORTANCE

The development and design standards in this chapter serve to implement the General Plan vision for East Colorado Specific Plan Area as “a series of pedestrian-oriented villages and districts with unique identities, bolstered by their vibrant mix of uses, amenities and streetscapes improving their walkability and appearance.” Development and design standards can both regulate and stimulate development to achieve this vision. The standards identified for the East Colorado Specific Plan facilitate a range of housing types and businesses, shopping, services, and entertainment opportunities within a vibrant mixed-use environment. While the standards in this chapter are focused on achieving a forward-thinking vision, they also serve to guide development with contextual sensitivity to historic landmarks and neighboring residential communities.



CHAPTER OVERVIEW

The development and design standards in this chapter address and regulate new development, working together to facilitate high-quality, context-sensitive buildings which support a vibrant, mixed-use community in the East Colorado Specific Plan Area. Each development and design standard serves a distinct purpose and collectively forms a holistic toolbox of strategies. The following standards are presented in this chapter:

- » **6.1 Zoning Districts.** Introduces the East Colorado Specific Plan zoning districts, identified as unique areas in need of tailored standards
- » **6.2 Intensity & Density.** Addresses residential density, commercial intensity, and building heights.
- » **6.3 Massing.** Covers a series of development and design standards which work together to shape development.
- » **6.4 Ground Floor.** Focuses on the street level of developments.
- » **6.5 Open Space.** Introduces standards for private, common, and public use.
- » **6.6 Access & Parking.** Addresses vehicle access and parking standards, as well as standards which address parking garages.

Each section includes rationale for the standard followed by sub-sections for individual standards, if applicable. Within each standard, introductory text is provided for additional context, followed by standards in text and/or table format with diagrams and images to illustrate regulations. Note that diagrams are provided for the purposes of communicating measurements and images are included to illustrate potential outcomes of the standards; neither are suggestive of regulated architectural styles.

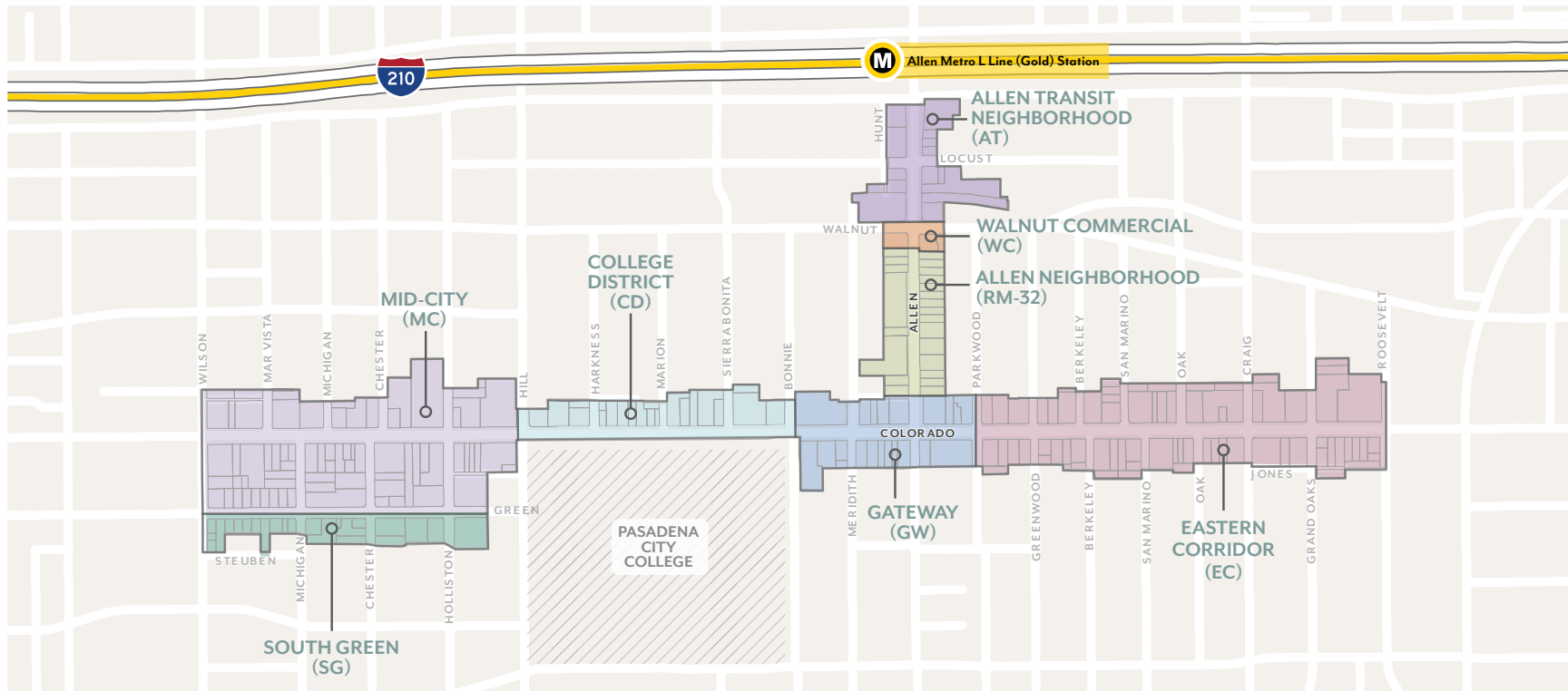
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6.1 ZONING DISTRICTS

The East Colorado Specific Plan consists of eight (8) sub-areas, as described in Chapter 4. Each sub-area has been translated into a zone, referred as a Zoning District. Map 6.1-1 identifies the Zoning Districts for the Specific Plan by sub-area.

SUB-AREA	ZONING DISTRICT
Mid-City (MC)	ECSP-MC
South Green (SG)	ECSP-SG
Allen Neighborhood (RM-32)	ECSP-RM-32
College District (CD)	ECSP-CD
Gateway (GW)	ECSP-GW
Eastern Corridor (EC)	ECSP-EC
Allen Transit Neighborhood (AT)	ECSP-AT

Map 6.1-1: East Colorado Specific Plans Zoning Districts by Sub-Area



Zoning District

ECSP-MC	ECSP-CD	ECSP-EC	ECSP-AT	Assessor Parcel
ECSP-SG	ECSP-GW	ECSP-WC	ECSP-RM-32*	

*RM-32 is not a unique zone to this planning area; it is defined by PMCI7.20

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Development Standards & Design Guidelines

6.2 INTENSITY & DENSITY

The General Plan Land Use Element designates a range of intensities and densities in the East Colorado Specific Plan Area to support the vision of a series of pedestrian-oriented villages and districts with unique identities, bolstered by their vibrant mix of uses, amenities and streetscapes.

The standards in this section are intended to:

- » Implement the General Plan densities (du/ac) and floor area ratios (FAR)
- » Foster a mixed-use community that supports integrated residential and non-residential uses appropriately scaled to the surrounding areas
- » Support provision of larger unit sizes in the Mid-City sub-area suitable for families and students

The following standards are covered in detail in this section:

- » 6.2.1 Density and FAR
- » 6.2.2 Height

DEFINING SCALE

The overall scale of new development is primarily determined by building intensity, density, and height. Intensity relates to the ratio of a building's floor area to its land area, measured in floor area ratio (FAR). Density relates to the number of dwelling units per acre (du/ac) in a residential building.



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6.2.1 DENSITY AND FAR

- A. **DU/AC and FAR.** Projects shall not exceed the allowable dwelling units per acre (du/ac) and/or floor area ratio (FAR) maximums set in Table 6.2-1. The maximums are based on gross parcel size; a reduction in buildable area due to dedications/easements or setbacks shall not reduce allowable maximums. Parking and loading areas are excluded from FAR calculations.
 - » **Residential** projects are subject to **du/ac maximums**.
 - » **Non-residential** projects are subject to **FAR maximums**.
 - » **Mixed-use** projects are subject to **both du/ac and FAR maximums**.
- B. **Unit mix.** For residential Projects in Mid-City with 50 units or more, 20% of the total number of units shall have three bedrooms or more.

SCALED DEVELOPMENT & HOUSING NEEDS

FAR maximums in the Eastern Corridor and Walnut Commercial sub-areas aim to maintain a lower-scale development character while other sub-areas a mid-scale commercial character. Density maximums in Mid-City, Gateway, and Allen Transit Neighborhood sub-areas allow for higher residential capacity in order to meet local and regional housing needs, support local businesses, and encourage transit use.

Table 6.2-1: Maximum Intensity, Density, and Height by Sub-area

	MC	SG	CD	GW	EC	WC	AT
Maximum FAR	2.25	2.25	2.25	2.25	1.0 *	1.0	2.25
Maximum du/ac	87	—	64	87	32 *	—	87
Maximum height	63'	48'	51'	63'	39' *	36'	63'

* **Exception:** Maximums of **2.25 FAR**, **87 du/ac**, and **48' height** apply to buildings located in Eastern Corridor between Grand Oaks Ave and Roosevelt Ave “—” = Not Applicable

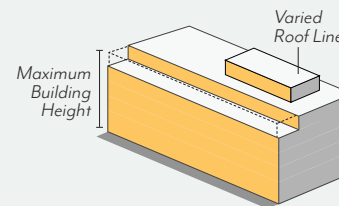
6.2.2 HEIGHT

- A. **Height limits.** Projects shall not exceed the allowable height limits set in Table 6.2-1. Height is measured from the existing grade of the site to an imaginary plane located above but parallel to the grade.
 1. **Varied roof lines.** The maximum allowable height of each building measured to the top of a projection may exceed the maximum building height by up to 12 feet for no more than 30% of the proposed footprint of that respective building.
 - a. Multiple buildings with an above-grade connection shall be treated as one building with a combined proposed footprint area. Buildings connected only through subterranean parking shall be considered separate when calculating proposed footprint area.
 - b. This allowance is not applicable to other development standards relating to building scale and massing, such as setbacks.
 - c. This allowance may not be used with the height concession set in PMC17.43.055.
 2. **Other exceptions,** including for appurtenances and railings, allowed per PMC17.40.060.

BUILDING HEIGHT

Height standards ensure that developments are built in relationship to their surrounding context, creating overall architectural cohesion throughout a neighborhood or corridor.

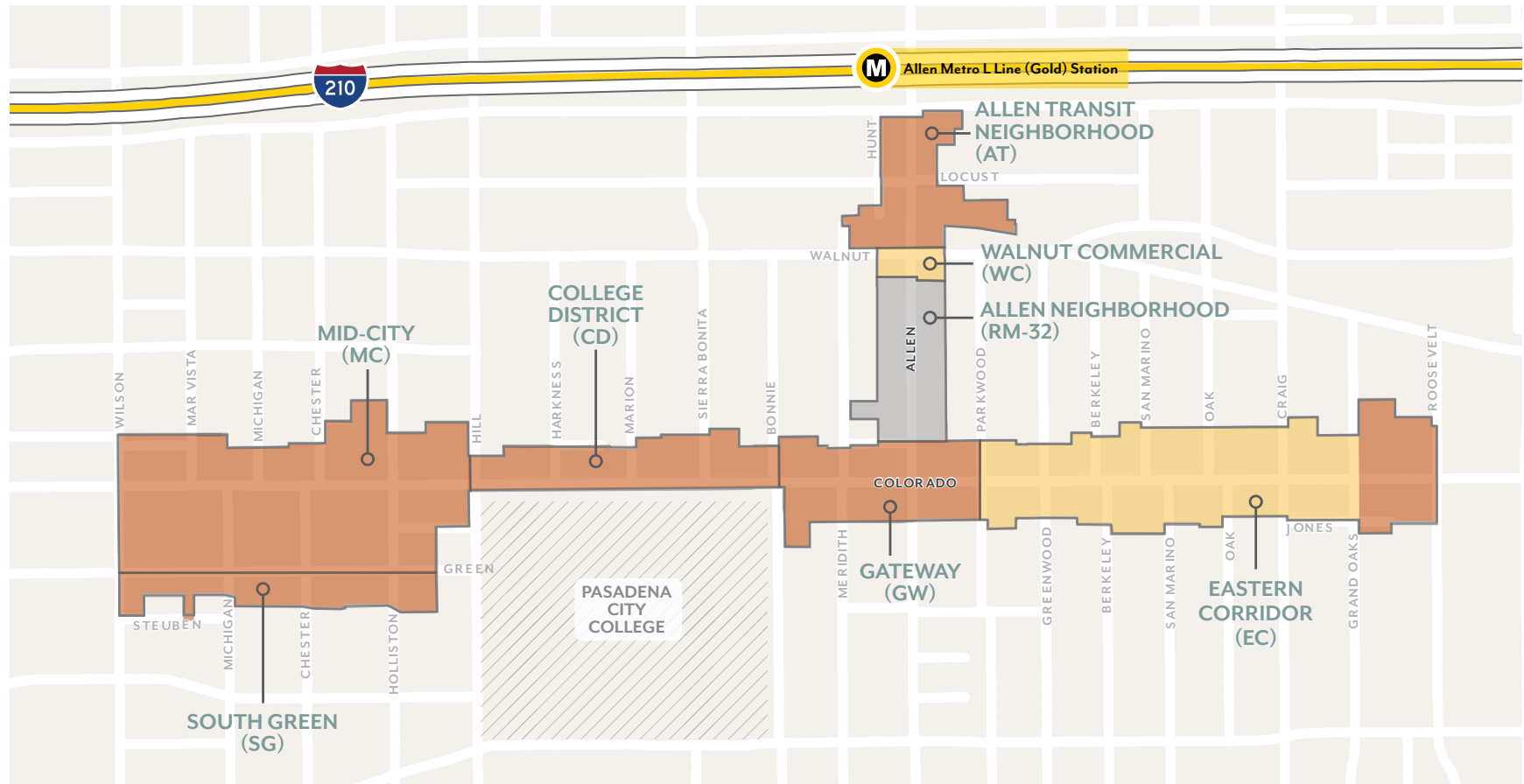
Figure 6.2-1: Maximum Height



Height is measured from the existing grade of the site to an imaginary plane located above but parallel to the grade. A limited projection area may exceed the maximum building height to achieve variation in the roof line.

Note: Diagram used for measurement illustration purposes only.

Map 6.2-2: Maximum Floor Area Ratio (FAR)



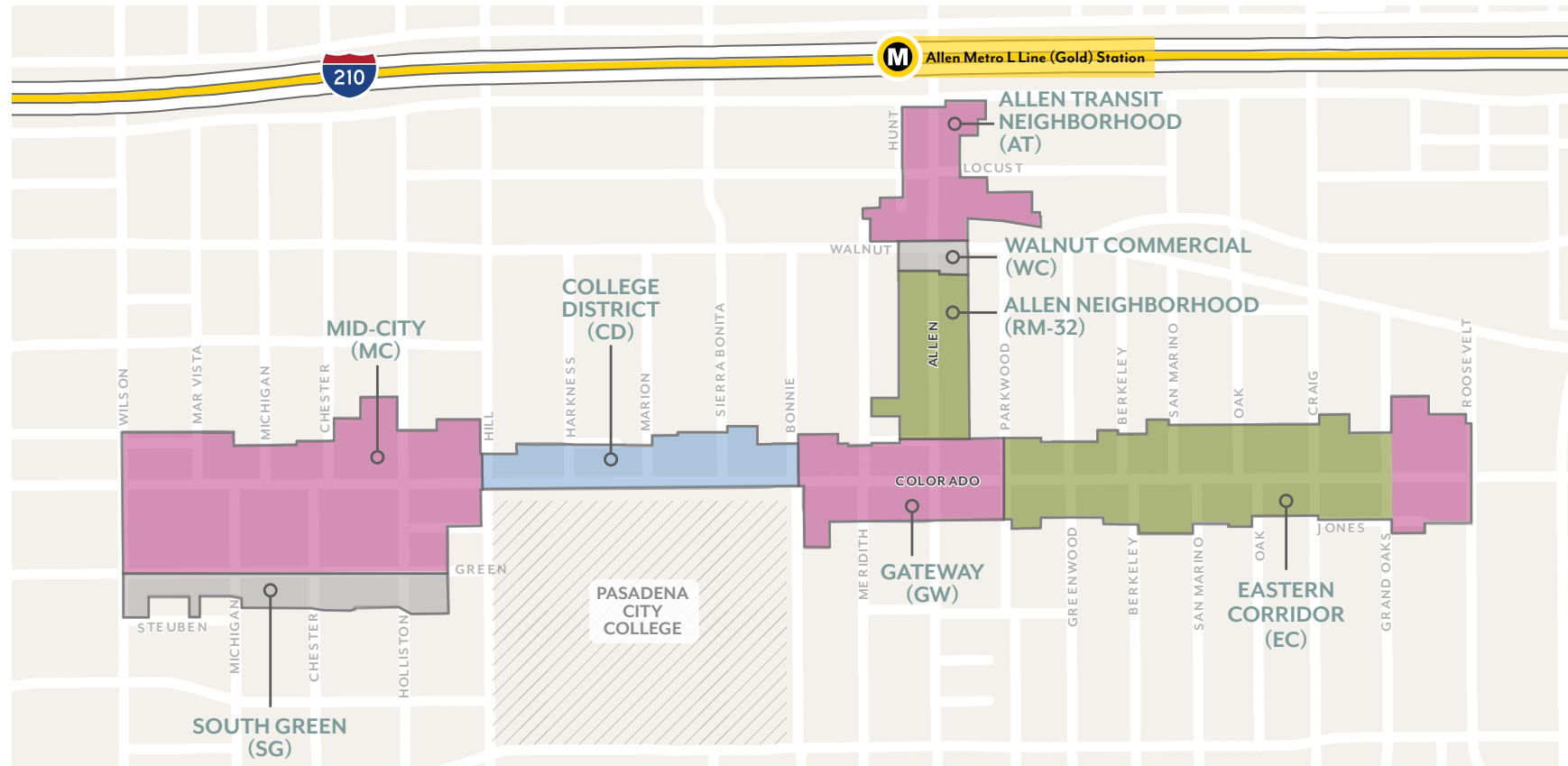
Maximum Floor Area Ratio (FAR)

Note: Applies to commercial and mixed-use projects

- 1.0
- 2.25
- Commercial Not Permitted

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Map 6.2-3: Maximum Density (du/ac)



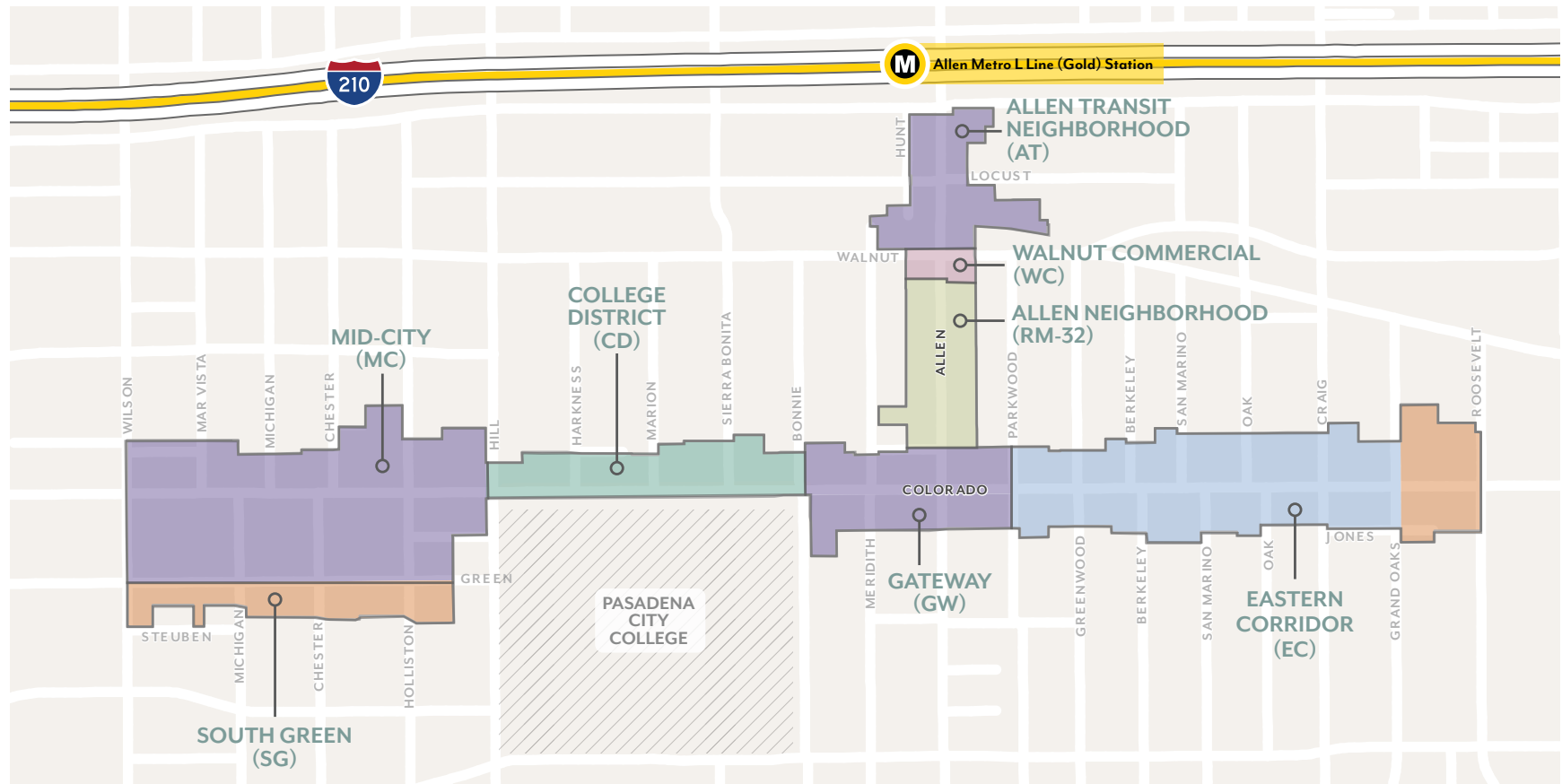
**Maximum Density
dwelling units per acre (du/ac)**

- Residential Not Allowed
- 32 du/ac.
- 64 du/ac.
- 87 du/ac.

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Development Standards & Design Guidelines

Map 6.2-4: Maximum Building Height



Maximum Building Height

 32 ft.	 51 ft.
 36 ft.	 63 ft.
 39 ft.	
 48 ft.	

Note: Any parcel with ECSP-MU1, -MU2, -MU3, and -MU5 adjacent to existing residential must step down to 36 feet height within 20 feet of the residential property line. Any parcel within EC-CGI and -MU4 adjacent to existing residential must step down to 55 feet within 20 feet of the residential property line.

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HEIGHT EXAMPLE IMAGES

The images above reflect a range of building heights that are allowed in sub-areas throughout the East Colorado Specific Plan area. Architectural features such as roof shape, setbacks, and modulation can add variation to the roof line and reduce visual impact of building height.



Example of approximately 35 foot building



Example of approximately 40 foot building



Example of approximately 45 foot building



Example of approximately 50 foot building



Example of approximately 55 foot building



Example of approximately 60 foot building

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6.3 MASSING

The standards in this section are intended to:

- » Shape development in a manner that creates a defined public realm and appropriate scale of buildings for a visually appealing community
- » Reduce building massing adjacent to RM zones through setback and stepback requirements that create appropriate transitions to residential neighborhoods
- » Protect existing ficus trees and support new large canopy street trees through additional setback and stepback requirements
- » Support high-quality architecture and urban design through modulation requirements and limitations in façade length
- » Require appropriate transitions to registered historic structures

The following standards are covered in detail in this section:

- » 6.3.1 Setbacks
- » 6.3.2 Streetwall
- » 6.3.3 Stepbacks
- » 6.3.4 Historic Adjacency
- » 6.3.5 Façades & Modulation

SHAPE & DESIGN OF DEVELOPMENT

Building massing contributes to the overall shape and design of development. Through building setbacks, developments can allow for landscaping, seating and shade structures, as well as public plazas and open space. Between buildings, development can step back from the property line to help ensure context-sensitive massing transitions, including transitions to residential neighborhoods or historic properties. Streetwall height and façade modulation work together with the range of massing tools listed above to contribute to attractive and pedestrian-scaled buildings by balancing linear visual consistency with interest and variety.



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6.3.1 SETBACKS

- A. **Street Setback.** Projects shall comply with the Setback ranges and minimums set in Table 6.3-1. Setback ranges shall be met for the percent of primary street frontage set in Table 6.3-1. While the remaining percentage of street frontage may be beyond the maximum, Setbacks less than the minimum are prohibited. Street Setbacks are measured from the minimum sidewalk line.
1. **Exceptions** allowed per PMC17.40.160 (Table 4-1).
 2. **Allowed features** within the Street Setback include landscape, hardscape (stoops, patios), planters, seating, shading, and other open space features per Design Review/Director approval.

- B. **Interior Setback.** Projects shall comply with the Interior Setback minimums set in Table 6.3-2. Interior Setbacks are measured from the property line.
1. **Exceptions** allowed per PMC17.40.160 (Table 4-1)

Table 6.3-1: Street Setbacks by Zoning

	MC	SG	CD	GW	EC	WC	AT
Street Frontage	75%	75%	75%	75%	50%	50%	75%
Colorado Blvd	0-3'	—	0-3'	0-3'	0-5'	—	—
Green St	0-5'	0-5'	—	—	—	—	—
Green St (below grade)	5'	5'	—	—	—	—	—
Allen Ave	—	—	—	5-10'	—	5-10'	0-3'
Other streets	0-15'	0-15'	0-15'	0-15'	0-15'	0-5'	0-15'

“—” = Not Applicable

Table 6.3-2: Interior Setbacks by Zoning

	MC	SG	CD	GW	EC	WC	AT
Adjacent to Residential	15' minimum						
Adjacent to Non-Residential, Mixed-Use, or Public-Semipublic	None required						

Figure 6.3-1: Setback Range (MC, SG, CD, GW, AT)

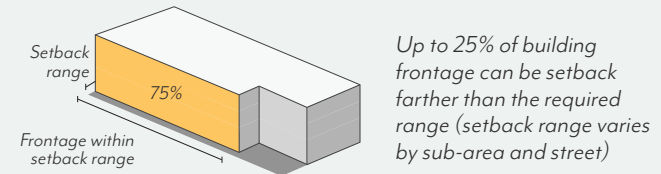


Figure 6.3-2: Setback Range (EC, WC)

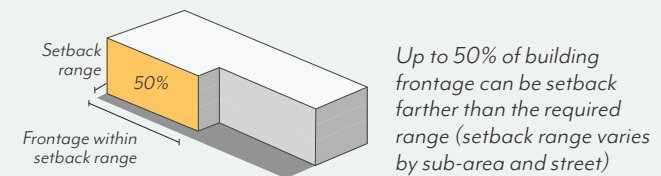
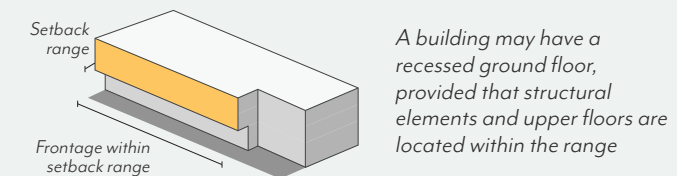
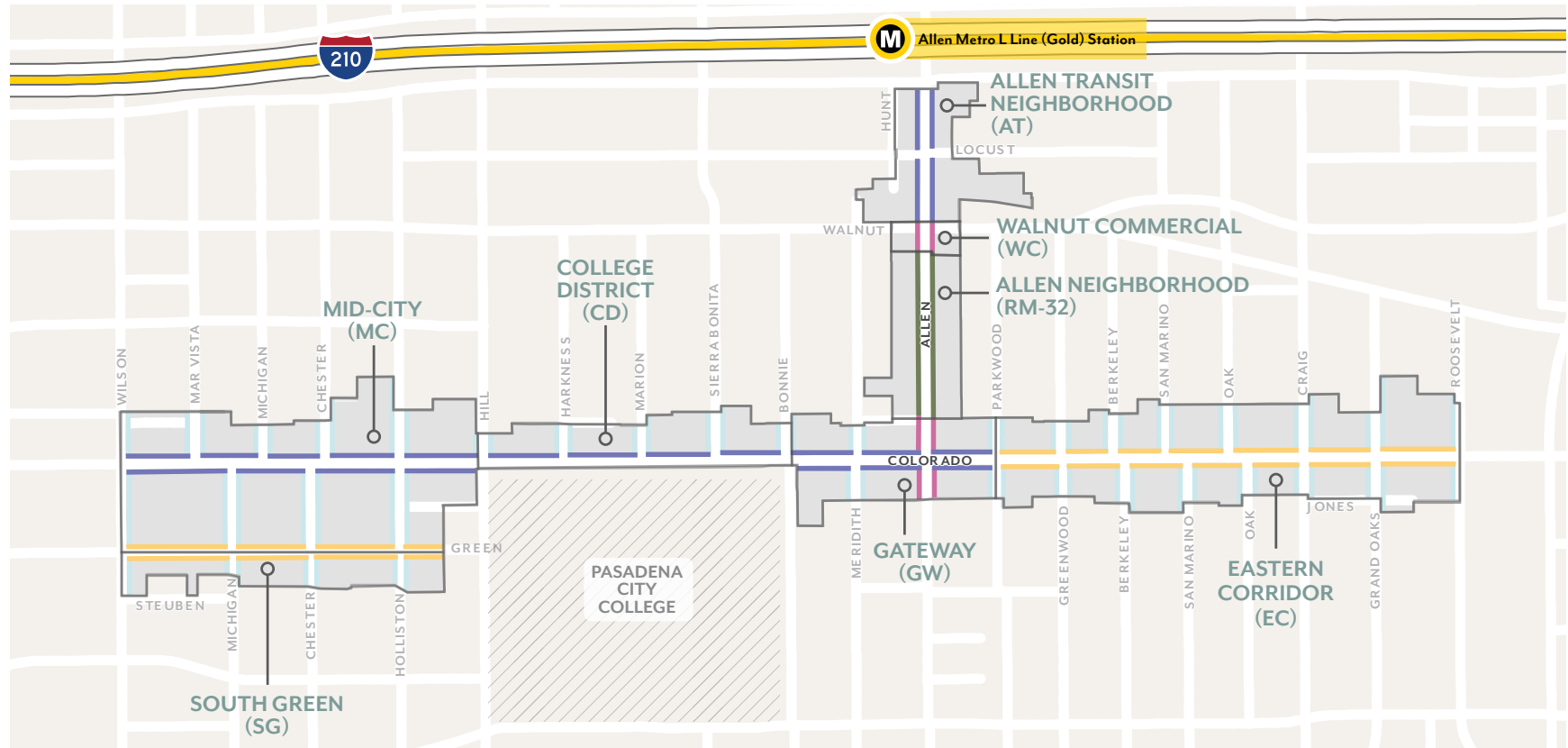


Figure 6.3-3: Recessed Ground Floor Condition



Note: Diagrams used for measurement illustration purposes only.

Map 6.3-1: Street Setbacks



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Street Setbacks

Minimum-Maximum setback range from minimum sidewalk line

— 0 - 3 ft.

— 0 - 5 ft.

— 0-15 ft.

— 5 - 10 ft.

— Refer to RM-32 Zoning Regulation

STREET SETBACK EXAMPLE IMAGES

Street setbacks refer to the space between the public sidewalk and a building. The images above reflect a range of setback conditions allowed in sub-areas throughout the East Colorado Specific Plan. Setback standards create a consistent streetwall and help achieve an appropriate level of interaction between the public realm and private properties. Setbacks can enhance the building frontage zone by providing room for landscaping and outdoor dining. Wider setbacks provide a buffer between the sidewalk and residential properties.



Example of 0 - 3 foot setback



Example of 3 - 5 foot setback



Example of 5 -10 foot setback



Example of 10 - 15 foot setback



Example of Recessed Ground Floor



Example of Arcade

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6.3.2 STREETWALL

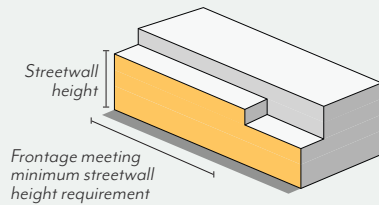
- A. **Streetwall.** Buildings shall meet or exceed the minimum streetwall height set in Table 6.3.3 for at least 75% of frontage if the number of stories is greater than or equal to the Streetwall requirement.
1. Height is measured from the lowest elevation of the existing grade on the Minimum Sidewalk Line.
 2. Streetwall is not required to be continuous. Breaks are allowed for articulation and modulation.

Table 6.3-3: Streetwall (stories) by Sub-area

	MC	SG	CD	GW	EC	WC	AT
Colorado Blvd	3	—	2	3	2	—	—
Green St	1	1	—	—	—	—	—
Allen Ave	—	—	—	—	—	1	3
All other streets	2	—	—	—	—	—	—

“—” = Not Applicable

Figure 6.3-4: Minimum Streetwall Height



Buildings shall meet the minimum Streetwall height set in Table 6.3.3 for at least 75% of frontage if the overall building height is greater than the minimum

Note: Diagram used for measurement illustration purposes only.



A SENSE OF PLACE THROUGH STREETWALLS

A continuous streetwall creates an engaging commercial environment, with architectural consistency and visual interest. A streetwall of at least two stories on major commercial corridors contributes to a sense of place and enclosure.

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6.3.3 STEPBACKS

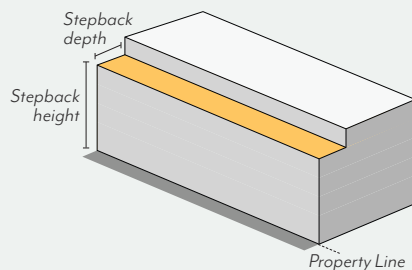
- A. **Upper Story Stepback.** Projects shall not exceed the height specified in Table 6.3-4 before stepping back the specified depth. Stepbacks are measured from the existing grade of the site.
 - 1. **Allowed uses** within the Stepback include balconies, patios, trellises, green roofs, and other open space features per Design Review/Director approval.

Table 6.3-4: Stepbacks by Subdistrict

		MC	SG	CD	GW	EC	WC	AT
Street	Depth	Height						
Colorado	15'	51'	—	45'	51'	—	—	—
Green St	8'	15'	15'	—	—	—	—	—
	50'	51'	—	—	—	—	—	—
All other streets	8'	51'	—	45'	51'	—	—	51'
Interior adjacent to RM/RS	25'	45'						
	35'	51'						
Other interior	—	None required						

“—” = Not Applicable

Figure 6.3-5: Stepbacks



Projects shall step back the depth from the property line at the height set in Table 6.3-4.

Note: Diagram used for measurement illustration purposes only.



NEIGHBORHOOD TRANSITIONS

Stepbacks help ensure that building mass and height is distributed appropriately, creating transitions between the highest point of a building and neighboring structures. Interior stepbacks from adjacent residential properties create scale transitions between zones. Each street has a street section diagram on the following pages identifying the stepback requirements in more detail.

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Development Standards & Design Guidelines

Map 6.3-2: Massing Cross Sections by Sub-Area Key Map



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MASSING CROSS SECTIONS BY SUB-AREA

The colored bars and numbered labels in this map correspond to the numbered cross sections in Figure 6.3-6 through Figure 6.3-14. The arrows indicate the direction of the views represented in each cross section diagram.

MASSING | CROSS-SECTIONS BY SUB-AREA

Figure 6.3-6: Mid-City (North Side of Green St)

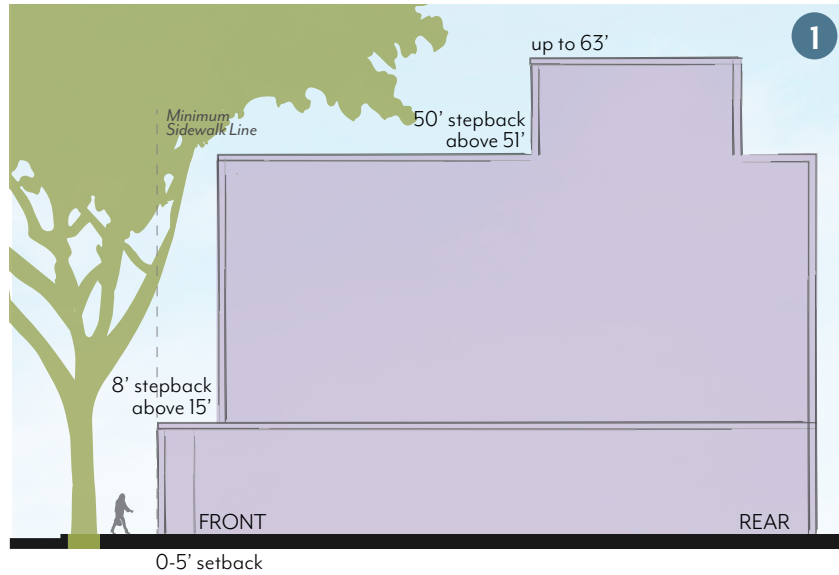


Figure 6.3-7: South Green (South Side of Green St)

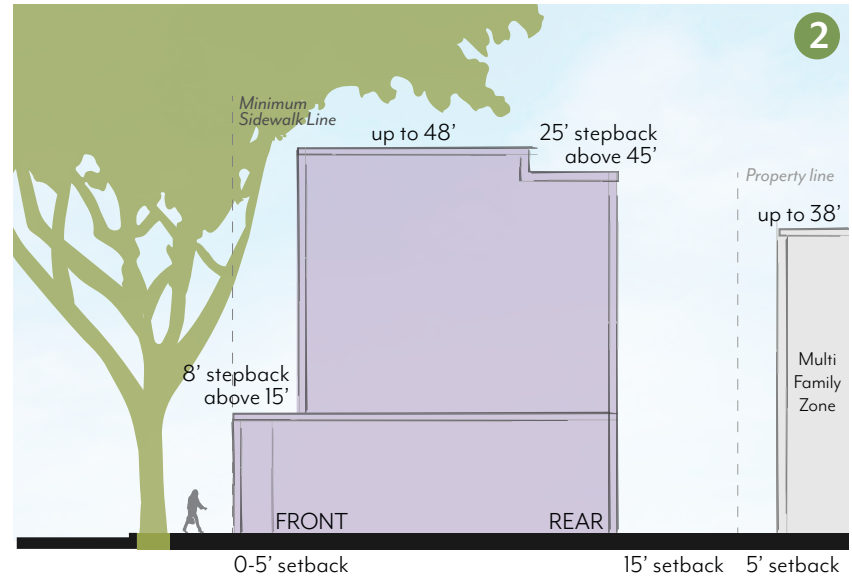


Figure 6.3-8: Mid-City (Colorado Boulevard)

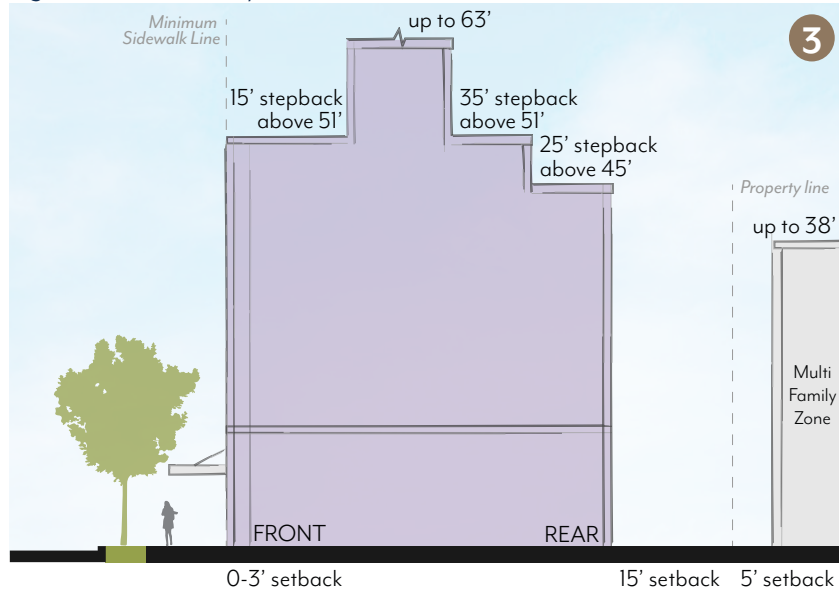
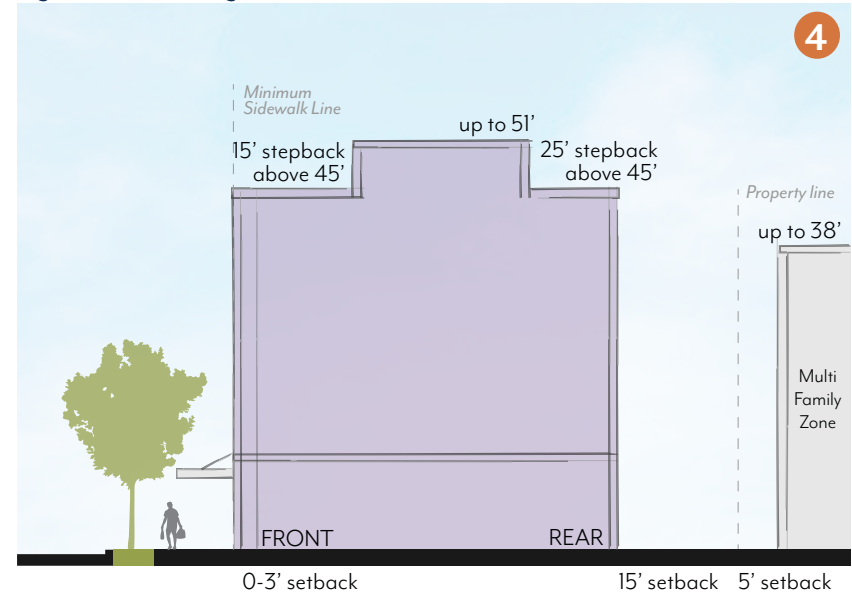


Figure 6.3-9: College District (Colorado Blvd)



Notes: Diagrams used for measurement illustration purposes only. Multi-Family Zone height limits represent existing standards as of July 2020 and are subject to change.

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MASSING | CROSS-SECTIONS BY SUB-AREA

Figure 6.3-10: Gateway (Colorado Blvd)

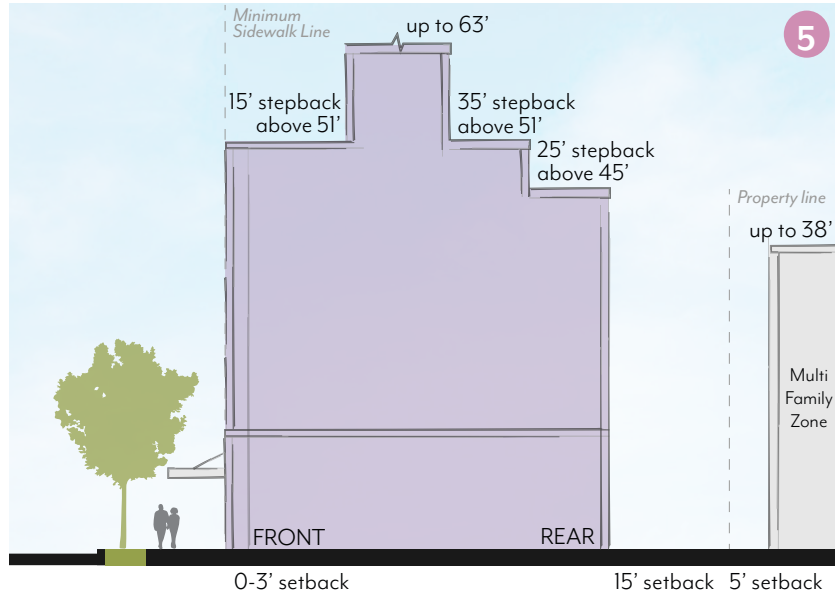
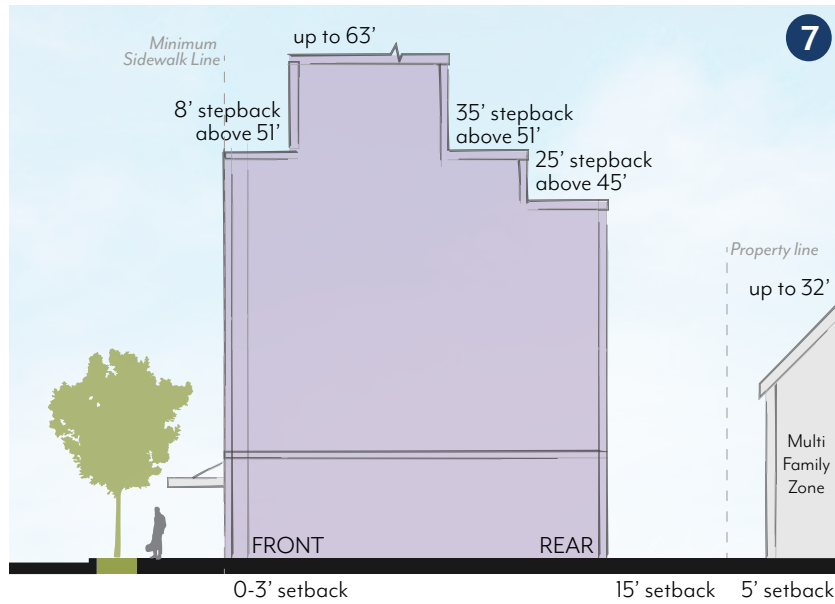


Figure 6.3-12: Allen Transit Neighborhood (Allen Ave)



Notes: Diagrams used for measurement illustration purposes only. Multi-Family Zone height limits represent existing standards as of July 2020 and are subject to change.

Figure 6.3-11: Eastern Corridor (Colorado Blvd)

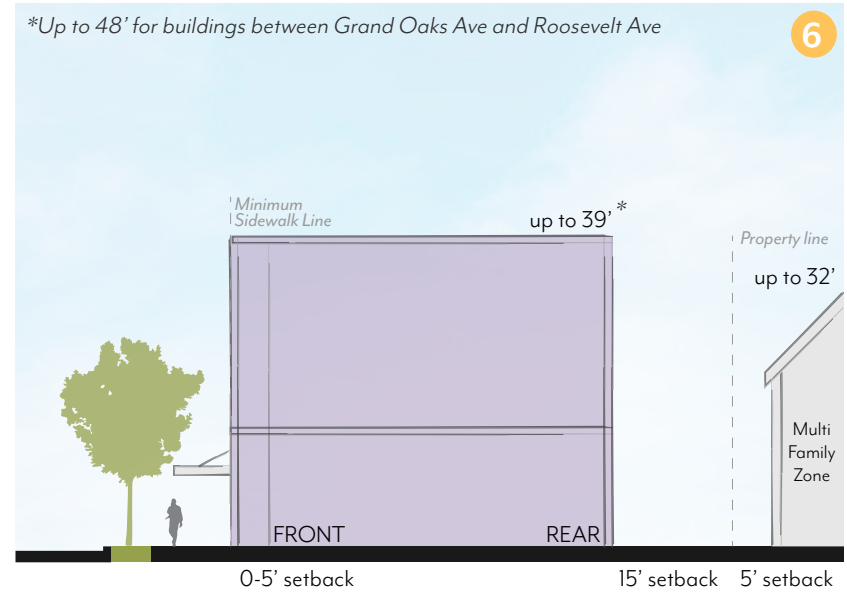
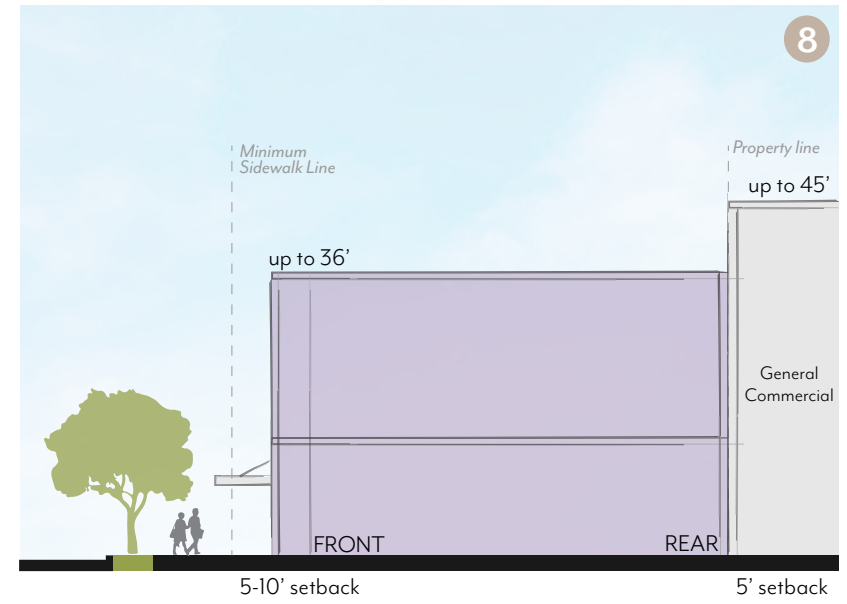


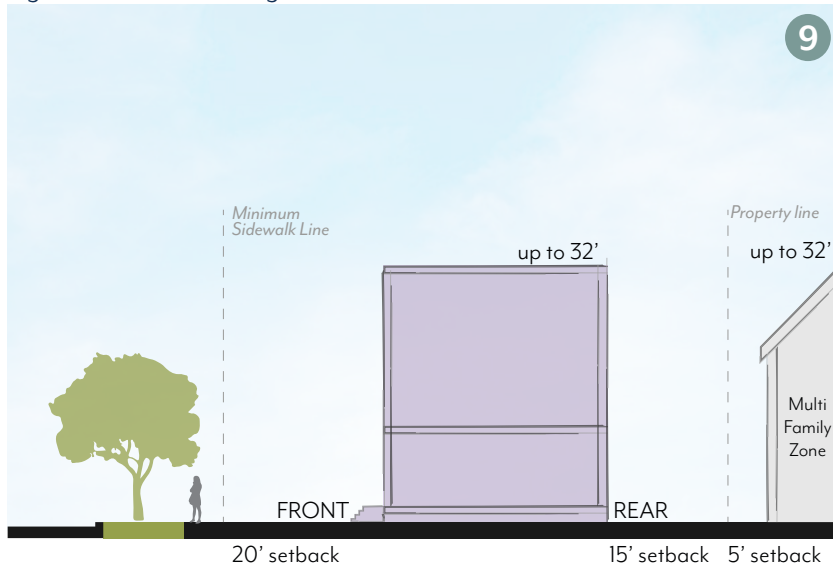
Figure 6.3-13: Walnut Commercial (Allen Ave)



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MASSING | CROSS-SECTIONS BY SUB-AREA

Figure 6.3-14: Allen Neighborhood (Allen Ave)



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Notes: Diagrams used for measurement illustration purposes only. Multi-Family Zone height limits represent existing standards as of July 2020 and are subject to change.

6.3.4 HISTORIC ADJACENCY

- A. **Transition Massing.** Projects shall use the following transition massing when adjacent designated historic properties.
1. A modified street setback shall be an average of the setback in Table 6.3-1 and that of the resource for a minimum of 20 feet closest to the shared property line. If between two resources, the street setback shall be an average of the setbacks of the two resources.
 2. A modified streetwall height shall be no higher than the height of the historic resource for a minimum of 20 feet closest to the shared property line. A setback of 10 feet is required above this height.
 3. A modified setback on the interior property line adjacent the resource shall not exceed an encroachment plane sloping upward and inward at a 30-degree angle measured from the vertical, commencing six feet above the existing grade at the property line.

HONORING HISTORIC SIGNIFICANCE

In addition to preserving historic landmarks throughout the district, modified standards for adjacent properties ensure that historic structures do not appear diminished or incongruous with new developments that take form in the surrounding area.



Kindel Building



Rose City Dental



Howard Motor Co. Building and Holliston United Methodist Church

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6.3.5 FAÇADES & MODULATION

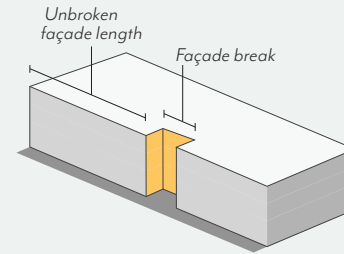
- A. **Façade length.** Façades over 150 feet in length shall include a break at least 20 feet wide and 10 feet deep, open to the sky.
 - 1. Residential buildings with individual unit entrances may be up to 200 feet in length before a break is required.
 - 2. Windowless façades on upper stories shall not exceed 30 feet in length unless required by building code (e.g. on an interior property line).
- B. **Façade modulation.** Façades over 50 feet in length and 2 stories in height shall modulate a minimum of 25% of the area above the ground floor at least 2 feet in depth.
 - 1. Modulation may include any street-facing façade within 10 feet of the Setback except for any required Stepbacks.
 - 2. Modulation is not required to be continuous or open to the sky, and may be recessed or projected, but not beyond the minimum sidewalk line.
 - 3. Windows shall be recessed by at least 2 inches from the facade.
- C. **Materials.** Projects of a primary façade material shall provide relief of at least 5% of the façade area in a secondary material, excluding those used in windows, doors, and railings.

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CREATING VISUAL INTEREST AND BREAKING UP MASS

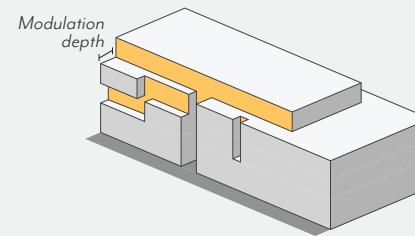
Façade modulation refers to variations in depth of a building's façade. Modulation can be achieved through architectural elements such as fenestration patterns and window bays, stepbacks, balconies, and full façade breaks. Modulation breaks up building massing, creates visual interest, and provides opportunities for open space.

Figure 6.3-2: Façade Length



Façades over 150 feet in length shall include a break at least 20 feet wide and 10 feet deep, open to the sky.

Figure 6.3-3: Façade Modulation



Façades over 50 feet in length and 2 stories in height shall modulate a minimum of 25% of the area above the ground floor at least 2 feet in depth.

Note: Diagrams used for measurement illustration purposes only.

FAÇADE & MODULATION EXAMPLE IMAGES

The images below reflect examples of appropriate façade and modulation treatments. These examples are illustrative and may not reflect all applicable development standards.



Balconies and other variations in wall plane depth create visual interest



A break in the façade plane creates visual interest and open-air space



Façade modulation can be applied to various architectural styles



Suspended art can interact with a façade break to enhance the building entrance

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6.4 GROUND FLOOR

The standards in this section are intended to:

- » Prioritize pedestrian access by ensuring doorways are open to a public sidewalk or public open space
- » Promote shade through arcades and shade structures
- » Increase visibility into ground floor uses to create visual interest for pedestrians
- » Limit blank walls on the ground floor to enhance visual interest and pedestrian comfort

The following standards are covered in detail in this section:

- » 6.4.1 Dimensions
- » 6.4.2 Entrances
- » 6.4.3 Transparency
- » 6.4.4 Arcades
- » 6.4.5 Shade Structures
- » 6.4.6 Blank Walls
- » 6.4.7 Security Bars
- » 6.4.8 Fences

CREATING A VIBRANT STREET ENVIRONMENT

Successful ground floor design contributes to a vibrant built environment to create an inviting, visually engaging, shaded sidewalk and pedestrian environment that supports commercial activity. Altogether, ground floor treatments increase visual interest and physical access across all building uses to create active frontages.



6.4.1 DIMENSIONS

- A. **Residential uses.** Ground floor heights shall be a minimum 10 feet measured floor-to-floor. **Note:** Residential lobbies and common spaces shall follow the non-residential requirements.
- B. **Non-residential uses.** Ground floor heights shall be a minimum 15 feet measured floor-to-floor. Commercial spaces shall have a minimum average depth of 35 feet.

Figure 6.4-1: Ground Floor Height

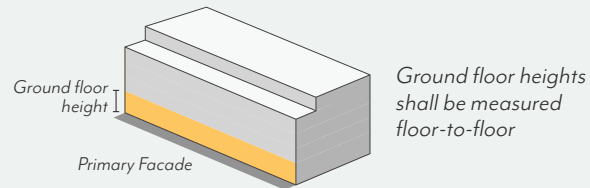
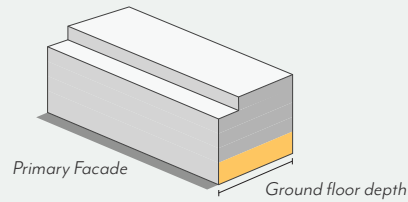


Figure 6.4-2: Ground Floor Depth



Note: Diagrams used for measurement illustration purposes only.



Example of appropriate non-residential ground floor heights



Example of an appropriate commercial ground floor depth

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6.4.2 ENTRANCES

- A. **Residential uses.** Primary entries shall be located on the primary frontage for dwelling units adjacent the street. **Note:** Residential lobbies and common spaces shall follow the non-residential requirements.
1. Primary entrances shall be distinguished through architectural features such as front porches, overhead projections, or recessed planes.
 2. Pathways from the sidewalk to any required pedestrian entrances shall be at least 3 feet in width and separate from parking and driveways.
 3. Doorways shall be set back at least 8 feet from the Minimum Sidewalk line.
- B. **Non-residential uses.** Primary entries shall be located on the primary frontage and open into the public realm (e.g. a sidewalk or public open space); secondary entrances at the side or rear of a building are permitted.
1. Entrances shall be covered architectural features such as overhead projections (e.g. a canopy or awning) or recessed planes.
 2. Grade separation, measured from finished sidewalk grade, shall be 0 feet for primary entrances facing Colorado Boulevard, Green Street, and Allen Avenue. Secondary entrances are not required to be at 0 feet if parcel frontage is sloped.



Example of appropriate entrance with awnings and a recessed plane



Example of appropriate ground floor transparency for a residential lobby (following non-residential requirements per section 6.4.3)

6.4.3 TRANSPARENCY

- A. **Residential uses.** At least 15% of the building façade shall consist of transparent openings, such as windows and doors with clear glass. The use of mirrored or highly reflective glazing is prohibited. **Note:** Residential lobbies and common spaces shall follow the non-residential requirements.
- B. **Non-residential uses.** A minimum of 60% of the ground floor façade between a height of 3 and 7 feet shall be transparent openings, defined as building openings or transparent glazing that provide views into work, display, sales, lobbies, or similar active areas. Interior blinds, drapes, posters, signage, and interior shelving for product displays visible to the public right-of-way shall obscure no more than 10 percent of the transparent areas of each respective storefront.

ACCESSIBLE AND ENGAGING FAÇADES

Entrance standards ensure that ground floor spaces are accessible, inviting, and easy to locate for both intentional visitors and passersby. Transparency standards create visual interest and engagement between ground floor uses and the public realm.

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6.4.4 ARCADES

- A. **Residential and non-residential uses.** Depth of arcades shall be at least 8 feet from back of column to building façade. Uses permitted within the arcade include seating, dining, or planters. Buildings with ground floor arcades must meet transparency requirements per 6.4.3.

6.4.5 SHADE STRUCTURES

- A. **Residential and non-residential uses.** For Projects on the north side of Colorado Boulevard, shade structures shall project at least 8 feet, but no more than 10 feet, into the public right-of-way for at least 70% of the building frontage. When an arcade or recessed ground floor provides at least five feet of unobstructed pedestrian clearance, shade structures are not required. On all other frontages, shade structures may project up to two-thirds of the sidewalk width.

TRANSITIONAL OUTDOOR SPACES

Arcades create a shaded, transitional outdoor space between the public realm and ground floor interior. Shade structures contribute to a comfortable pedestrian experience and serve as inviting design features for ground floor uses.



Example of an appropriate commercial arcade treatment



Example of an appropriate shade structure

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6.4.6 BLANK WALLS

- A. **Residential and non-residential uses.** Windowless expanses of walls on the ground floor shall not exceed 20 feet in length. These areas shall be mitigated by architectural treatments or public art per Design Review/Director approval.

6.4.7 SECURITY BARS

- A. **Residential and non-residential uses.** Exterior and interior security bars are prohibited unless they are designed to be fully hidden from view during business hours with devices such as concealed side pockets and ceiling cavities.

6.4.8 FENCES

- A. **Residential uses.** Fences are permitted within the Street Setback in front of individual dwelling units, subject to PMC17.40.180 with the following exceptions:
1. Fences within the street setback may be up to 42 inches in height, as measured from sidewalk grade at the minimum sidewalk line.
 2. Fences within the street setback shall be set back at least 2 feet from the minimum sidewalk line along street frontages, separated by planted area.
 3. Fences within the street setback shall be at least 50% open.
- B. **Non-residential uses.** Fences are permitted within the Street Setback when enclosing outdoor dining areas.
1. Fences within the street setback may be up to 42 inches in height, as measured from sidewalk grade at the minimum sidewalk line.
 2. Fences within the street setback shall be at least 50% open.



Example of a blank and windowless ground floor wall (Prohibited)



Example of exterior security bars (Prohibited)

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6.5 OPEN SPACE

The following standards are intended to:

- » Provide a variety of open space types for gathering, recreation and respite that contribute to enhanced livability within an urban setting
- » Improve building design and site planning through the integration of open space throughout development
- » Correlate open space requirements with number of residents and size of buildings
- » Provide public open spaces, such as small public plazas and pocket parks, to create a livable urban environment and provide community gathering spaces supportive of commercial uses
- » Break up new development into smaller buildings by requiring public pedestrian paseos through large blocks

The following standards are covered in detail in this section:

- » 6.5.1 Open Space Minimum Area Requirements
- » 6.5.2 Private Open Space
- » 6.5.3. Common Open Space
- » 6.5.4 Public Open Space

IMPORTANCE OF OPEN SPACE

High quality, usable and accessible open space across a variety of types contributes to an active public realm and successful building design. A combination of **Private Open Space**, such as balconies and patios, **Common Open Space**, such as shared courtyards, gardens, and pools as well as indoor community rooms and gyms, and **Public Open Space**, such as plazas and paseos, altogether serve a range of purposes, including spaces for informal dining, relaxation and community gathering for residents, employees, and visitors within an urban setting. Open spaces either on the ground floor or on upper level stories, correlated to the building use and size, can also help to break down building massing creating effective site and building design.



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OPEN SPACE CATEGORIES

- » **Private.** Private Open Spaces, e.g. patios and balconies, are not freely open to the public and are only accessible from individual units.
- » **Common.** Common Open Spaces are shared among residents within a building and often take the form of courtyards, plazas, or other amenities, such as pools. Common Open Space can also include shared indoor open space, such as community rooms or gyms.
- » **Public.** Public Open Spaces, e.g. plazas, pocket parks, and paseos, are freely available to the public to use and typically include amenities such as seating, landscaping, fountains, and public art.



Private Open Space (Balconies)



Common Open Space (Courtyard)



Public Open Space (Plaza)

6.5.1 OPEN SPACE MINIMUM AREA REQUIREMENTS

- A. **Private and Common Open Space.** Projects shall provide the minimum area of Open Space based on use and size per Table 6.5-1 below. Areas used regularly for parking, loading or storage do not count towards minimum Open Space requirements.
1. **Residential.** Residential Projects shall provide a minimum area of Open Space based on unit types set in Table 6.5-1.
 2. **Non-residential.** Projects with more than 40,000 square feet of non-residential uses shall provide 5% of the gross non-residential floor area as Open Space. Open space may be any mix of Public, Common, or Private space. Projects with 40,000 square feet or less of non-residential space are exempt from this requirement.
 3. **Mixed-use.** Projects shall comply with requirements applicable to each type of use.
- B. **Public Open Space.** Projects with primary frontage of 150 feet or more shall provide a minimum area of Public Open Space based on based on a percentage of gross floor area (GFA) set in Table 6.5-2. Projects in the Eastern Corridor sub-area are exempt from this requirement.



Private Open Space (Front Patio)

6.5.2 PRIVATE OPEN SPACE

- A. **Private Open Space Standards.** No more than 40% of the required residential Open Space shall be private to individual tenants.
1. **Dimensions.** A minimum area of 36 square feet with a dimension of at least 6 feet in each direction is required for Private Open Space.
 2. **Projections.** Balconies and patios may project up to 4 feet from the wall plane and shall not project past property lines into public right-of-way.

APPROPRIATE AMOUNT OF OPEN SPACE

Open space area requirements ensure that a building's open space correlates appropriately to the number of residents and size of the building. Private open space provides residents with access to light, air, landscaping, and views. Balconies add visual interest to building façades through articulation.

Table 6.5-1: Residential Open Space by Unit Type

	Studio	1-BR	2-BR	3+ BR
Square Feet (per unit)	125	150	200	250

Table 6.5-2: Public Open Space by Gross Floor Area (GFA)

	80,000-119,999 ft ²	120,000-159,999 ft ²	160,000-199,999 ft ²	200,000+ ft ²
Square Feet (% of GFA)	2%	3%	4%	5%

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6.5.3 COMMON OPEN SPACE

- A. **Common Open Space Standards.** At least 60% of the required residential Open Space shall be shared among the tenants of the Project.
1. **Dimensions.** Areas counted towards the minimum Common Open Space requirement must be a minimum area of 400 square feet with a minimum width of 15 feet.
 2. **Indoor/outdoor.** A minimum of 75% of Common Open Space shall be outdoors. A minimum of 80% of outdoor Common Open Space shall be open to the sky.
 3. **Hardscape.** A maximum of 25% of Common Open Space shall be paved in standard concrete. Remaining areas must use one of the following enhanced paving techniques:
 - a. brick
 - b. natural stone
 - c. unit concrete pavers
 - d. textured and colored concrete
 - e. concrete with exposed or special aggregate or other finish treatments
 - f. other enhanced paving as approved by the Director of Planning
 4. **Landscape.** A minimum of 25% of Common Open Space shall be planted area at least 30 inches in length, width and depth. Plant materials shall be selected in compliance with PMC17.44 - Landscaping.
 5. **Trees.** A minimum of one 24-inch box tree per project or per each 500 square feet of Common Open Space, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50% of trees planted shall be shade trees.
 6. **Water features.** A maximum of 5% of Common Open Space shall be fountains, reflecting pools, or other water features. Swimming pools are not considered water features.
 7. **Roof Decks.** A maximum of 40% of Common Open Space may be on a building's rooftop.
 - a. Roof decks shall cover no more than one-third of the roof area and shall be set back 5 feet from the building edge on all sides.
 8. **Access.** Common Open Spaces may be accessible to the public if desired, but are not required to meet Public Open Space requirements.



Enhanced paving can improve the aesthetics and navigation of open spaces



Landscape and trees can improve aesthetics and provide shade in open spaces

COMMUNITY GATHERING SPACES: COMMON

Common open spaces provide areas for gathering, recreation, and respite within a property that contribute to enhanced livability within an urban setting.

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6.5.4 PUBLIC OPEN SPACE

A. Public Open Space Standards.

1. **Dimensions.** A minimum area of 400 square feet with a minimum width of 20 feet is required for Public Open Space.
2. **Signage.** Public Open Space shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and including opening hours.
3. **Hours.** At a minimum, Public Open Space shall be open to the general public from 8am to 8pm.
4. **Elevation.** A minimum of 3,000 square feet of Public Open Space shall be at sidewalk elevation.
5. **Hardscape.** A maximum of 25% of Public Open Space shall be paved in standard concrete.
6. **Seating.** A minimum of 1 seat shall be provided per 300 square feet.
7. **Landscape.** A minimum of 25% of Public Open Space shall be planted area at least 30 inches in length, width, and depth. Plant materials shall be selected in compliance with PMCI7.44 - Landscaping.
 - a. Vertical landscaping (“green walls”) may be implemented as an alternative to in-ground landscaping. The area requirement of 25% of Public Open Space is unchanged.
8. **Trees.** A minimum of one 24-inch box tree per project or per each 750 of Public Open Space, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50% of trees planted shall be shade trees.
9. **Common Open Space Credit.** Public Open Space in excess of the minimum may count towards up to 30% of the Common Open Space requirement.
10. **Paseos.** Selected parcels in Mid-City, shown in Map 6.5-1, are required to meet the minimum Public Open Space through the provision of a paseo(s), or pedestrian passageway, that connects a public street to another public street or alley.
 - a. Paseos shall have an average width of 25 feet and be at least 75% open to the sky.
 - b. Paseos shall be at ground level and must be ADA accessible.
 - c. For Projects where Public Open Space requirement is insufficient to meet minimum paseo requirements above, Projects may count Common Open Space area towards Public Open Space requirement.
 - d. Refer to Paseo Guidelines in Chapter 5, Section 5.4.
11. **Gateway Plaza.** If the parcel located at the northwest corner of Colorado Boulevard and Allen Avenue (shown in Map 6.5-1 within the Gateway sub-area) is redeveloped to the extent that Public Open Space is required, the Public Open Space must be provided through the provision of a corner public plaza.

COMMUNITY GATHERING SPACES: PUBLIC

Public open spaces create a livable urban environment and provide community gathering spaces supportive of the commercial uses. Paseos break up building massing and increase pedestrian access.

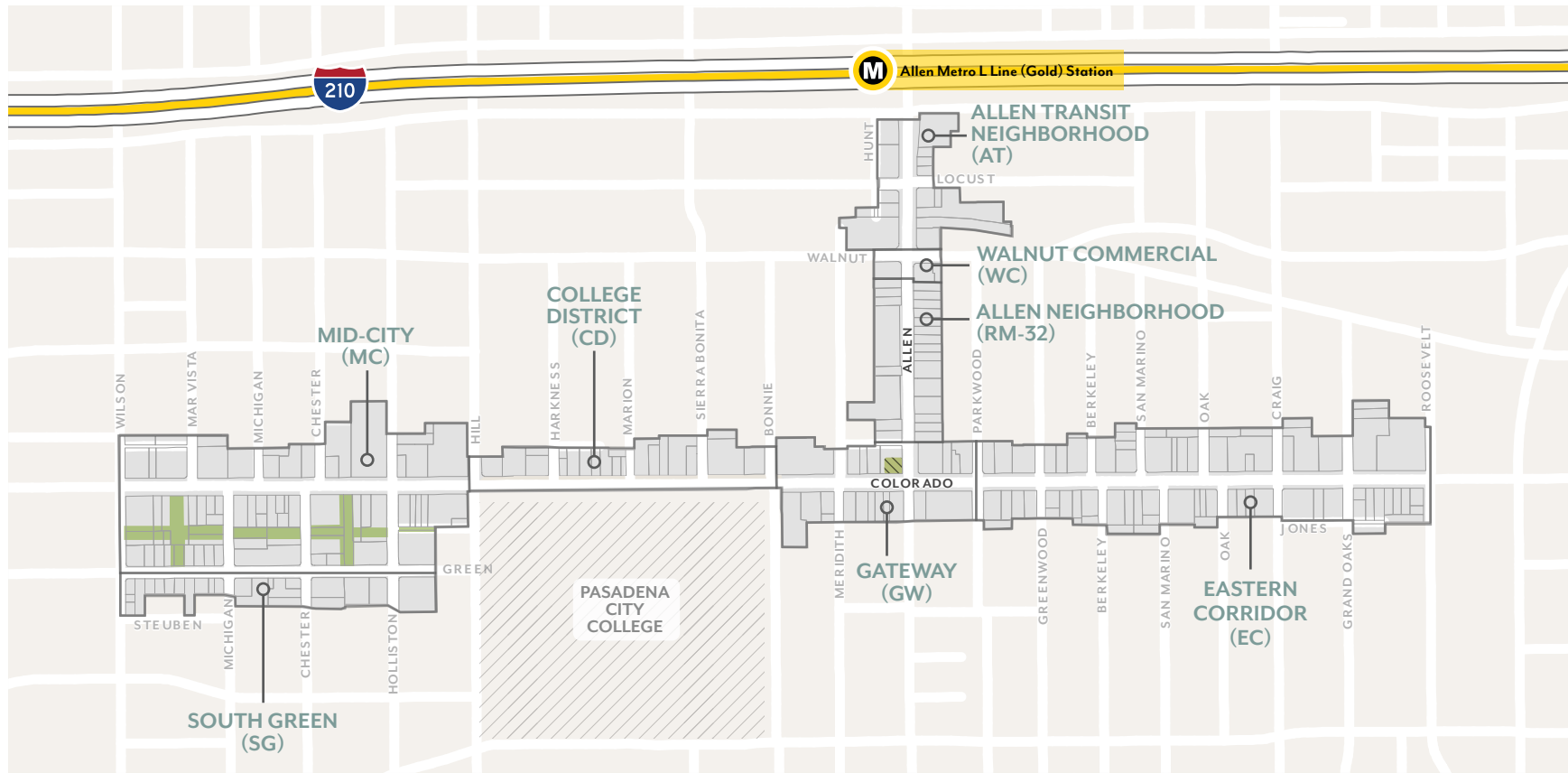


A corner plaza in the Gateway subarea will help to create a distinct landmark and improve views to Colorado Boulevard when arriving from Allen Avenue.

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Map 6.5-1: Public Space

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Required Open Space Locations

- Required Paseo Location
Exact siting of paseo subject to discretion of Planning Director to satisfy the intent of throughblock connectivity
- Required Plaza Location

6.6 ACCESS & PARKING

The access and parking standards in this section are intended to:

- » Reduce the visual impacts of parking
- » Regulate appropriate parking supply and location in a manner that prioritizes pedestrian access and multi-modal activity
- » Encourage change of use and adaptive reuse of existing buildings through parking reductions and exemptions
- » Promote a more efficient use of parking spaces through shared parking among multiple uses within a project
- » Increase design standards for parking structures through ensuring habitable floor areas between parking and street frontage and screening

The following standards are covered in detail in this section:

- » 6.6.1 Vehicle Access
- » 6.6.2 Vehicle Parking Minimums
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IMPORTANCE OF PARKING

Vehicle parking access, location and supply influences the street environment, multi-modal travel and overall development. Minimizing vehicular access, such as entries and driveways, can help to promote continuous sidewalk activity and safer travel across modes. Similarly, minimizing surface parking lot size and locations (such as placing lots behind buildings or a landscaped open space), supports the success of street-fronting activity, such as pedestrian travel and commercial frontages. The number of required parking spots is another defining factor that shapes urban travel and development. By establishing an appropriate number of parking spots by land use and size of development, residential and commercial activity can be supported while also attracting a variety of new development. Through tailored standards as well as parking reductions and exemptions for certain uses and conditions, space efficiency and cost savings are promoted.



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6.6.1 VEHICLE ACCESS

- A. **Vehicle access.** Driveways shall comply with the following standards.
1. **Location.** Driveways are not permitted on Colorado Boulevard, Green Street, or Allen Avenue when there is access from an alternative street.
 2. **Number.** For parcels less than 200 feet in width, only one two-lane driveway shall be permitted. For parcels greater than 200 feet in width, two two-way driveways shall be permitted.
 3. **Frequency.** Driveways shall be shared with adjacent properties/uses wherever feasible to reduce the number of curb cuts.

6.6.2 VEHICLE PARKING MINIMUMS

- A. **Vehicle parking.** Projects shall provide the minimum number of parking spaces based on use and size as set forth in Table 6.6-1.
1. **Dimensions.** Required parking spaces shall comply with the minimum dimensions per PMC17.46. Parking may be tandem where allowed per PMC17.46.080.
 2. **Exceptions:**
 - a. **Commercial uses less than 5,000 square feet.** For Projects seeking a building permit for uses less than 5,000 square feet, no parking is required. Commercial uses include Recreation, Education & Public Assembly; Commercial Entertainment; Commercial Recreation; Office, Professional & Business Support; Retail Sales; and Services classifications.
 - b. **Historic buildings.** No new parking shall be required for any Project within a designated historic resource. Any additions to the historic resource shall meet the minimum parking requirements.
 - c. **Changes of use in CD.** In College District, no new parking shall be required for any change of use that would result in an increased parking requirement.
 - d. **Transit-oriented development.** Reductions in parking requirements shall apply for properties within half-mile of Allen and Lake stations per PMC17.50.340.
 - e. **Shared parking.** Parking may be shared among multiple uses per PMC17.46.050.

3. **Unbundled parking.** For any building with new residential units, parking shall be unbundled from the rents, sale prices, or other fees charged for occupying living space. Automobile parking spaces shall be leased or sold separately from the rental or purchase fees, such that renters or buyers have the option of renting or buying the space at a lower price than if automobile parking was included.
 - a. **Affordable units** are not subject to this provision, and are required to include one parking space for the unit in the base rent or sales price.

6.6.3 VEHICLE PARKING LAYOUT & DESIGN

- A. **Surface parking.** Parking lots shall be set back at least 30 feet from the primary frontage and 10 feet from any secondary frontage. Parking shall be buffered by habitable floor area or landscaped open space.
1. **Landscaping.** Landscaping shall include hedges or shrubs at least 3 feet in height at the time of planting, and no more than 42 inches in height in the future. These hedges or shrubs need not be planted within the entire landscaped area but shall form a continuous visual screen.
- B. **Podium parking.** No more than one story of above-grade parking is permitted within habitable buildings. Multiple stories of above ground parking are permitted within wrap style developments or parking structures if the project meets the parking structure standards below.
- C. **Parking structures.** Structures shall be buffered with habitable floor area between the parking and any street frontage (not including alleys), except for access and driveways.
1. **Access.** Elevators and stairs shall be located adjacent sidewalks or paseos.
 2. **Screening.** Screening shall hide parking areas visible from a public street, using heavy-gauge metal, precast concrete panels, laminated glass, green walls, photovoltaic panels or other material per Design Review/Director approval.
- D. **Underground parking.** For projects adjacent to Green Street in the Mid-City and South Green sub-areas, subterranean parking shall be set back 5 feet from the Minimum Sidewalk Line on Green Street. For all other areas, subterranean parking may extend up to the property line.

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Table 6.6-1: Parking by Land Use

Retail Sales	3 per 1,000 sf ¹	
Services (except lodging)		
Office, Professional and Business Support		For Medical Offices > 5,000 sf, refer to PMCI7.46
Lodging - Hotels and Motels	0.5 per guestroom	First 15,000 sf of banquet/restaurant space excluded
Residential	≤ 1-bed: 1 per unit ≥ 2-bed: 1.5 per unit Guest: 1 per 10 units	Residential guest parking can be shared with commercial parking in mixed-use developments
All other uses	Refer to PMCI7.46	

¹ Lower minimums set in PMCI7.46 for specific use categories shall supersede these requirements

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